

Brownfield PBOA Pre-Nomination Study

City of Rochester Bull's Head Neighborhood

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TABLE OF CONTENTS

Section 1: Description of Project and Boundary

Introduction	1-1
Community Overview and Description	1-1
Project Overview and Description	1-4
Community Vision & Goals and Objectives.....	1-5
Brownfield PBOA Boundary Description and Justification	1-8
Opportunities and Constraints	1-9

Section 2: Preliminary Analysis of the Brownfield Area

Existing Land Use and Zoning	2-1
Brownfield, Abandoned and Vacant Sites	2-6
Land Ownership	2-9
Natural Resources	2-9
Summary of Preliminary Analysis and Recommendations	2-9

Maps

Community Context	Map 1
Study Area Context	Map 2
BOA Boundary	Map 3
Existing Land Use	Map 4
Existing Zoning Districts	Map 5
Underutilized Sites	Map 6
Land Ownership Patterns	Map 7
Natural Resources	Map 8

Appendix

Photo Inventory of Conditions	Appendix A
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- Section 1 -

Description of Project and Boundary

INTRODUCTION

Bull's Head is located on the west side of the city of Rochester, New York. The area's center is generally considered the intersection of West Avenue, Chili Avenue, West Main Street and Genesee Street. Most people familiar with the neighborhood know that there is a masonry bull's head protruding from an upper story façade on West Main Street, which pays homage to the neighborhood's historic roots. The area's proximity to the railroad and I-490 have attracted a range of industrial and commercial developments over the decades.

This once thriving neighborhood served as a vibrant westside gateway to downtown Rochester. It boasted active retail and shopping, housed a variety of industries, and was the home to some of Rochester's most wealthy and notable residents. Today, the area is characterized by disproportionately high percentage of vacant buildings and lots, low property values, documented and suspected environmental concerns on various sites, and overall disinvestment. The area's present-day conditions have hindered redevelopment, despite its many positive attributes, such as Unity Health System's St. Mary's Hospital, a well connected transportation system, relative proximity to the Greater Rochester International Airport and Rochester's Center city, and an array of historic and cultural attractions nearby.



Photo: Joan Roby-Davison

Over the last two decades, the area has been studied and redevelopment options have been explored. Unfortunately, the concentration of underutilized and environmentally challenged properties and the lack of investment climate in this particular area of the city has made the prospect of redevelopment too daunting for any one property owner, developer or municipal agency to tackle. The Brownfield PBOA (BOA) program presents a critical opportunity to bring all of these key stakeholders together to examine the area in a holistic way.

COMMUNITY OVERVIEW AND DESCRIPTION

Rochester, New York, located along the Genesee River and chartered in 1834, is the seat of Monroe County and home to numerous major industries, including Bausch & Lomb, Eastman Kodak and Xerox, as well as institutions like University of Rochester, Highland Hospital, and Unity Health Systems. The Community Context Map (Map 1) shows the city's geographic location within Monroe County and surrounding counties.

With a population of 210,565 people as of 2010, Rochester is the third largest city in the state behind New York City and Buffalo. For planning and operational purposes, the city is divided into four quadrants that include more than 30 distinctive neighborhoods. Bull's Head's Proposed Brownfield PBOA (PBOA) is located in the southwest quadrant and crosses multiple neighborhood, including 19th

Ward, Dutchtown, Neighborhoods United, Changing of the Scenes (COTS) and J.O.S.A.N.A. Adjacent southwest quadrant neighborhoods include the historic Susan B. Anthony, United Neighbors Involved Together (UNIT), Plymouth Exchange, Genesee-Jefferson, and historic Cornhill.

The PBOA boundary is 188 acres and generally defined by major transportation infrastructure. It is transected by West Main Street and West Avenue (NYS Route 31). The exact location and its proximity to the CSX rail line and I-490 are illustrated in Map 2 (PBOA Context) and Map 3 (BOA Boundary).



Within the PBOA, a defined sub-area has been identified and has been the focus of analysis and future land use planning. The demographic, physical and environmental attributes have been studied for the 104-parcel area that comprise this sub-area. Moving forward, future assessment and planning for this sub-area would be advanced at an accelerated rate compared to the rest of the PBOA, which has not been examined in as great detail in recent years.

History of the Area

Historically positioned as the western gateway into Rochester, the Bull’s Head neighborhood was a common resting place for pioneers and cattle drivers as they traversed the region. Venturing west from Rochester, the travelers would follow the route now known as West Main Street. Following the construction of a cattle market and tavern in the early 1800s - the tavern was adorned with a bull’s head on the front façade - travelers gradually settled in the area, constructing homes and businesses.

Many prominent Rochester individuals established businesses and homes in the area, including Joseph Field, Derrick Sibley, and Calvin Granger with many of the homes featuring grand designs and large estates. In the early 1900s, Bull’s Head became one of the more prominent working class neighborhoods in the city as well as a burgeoning commercial and industrial district. St. Mary’s Hospital (now Unity Health System) was founded in the neighborhood in 1857 near West Main Street and Genesee Street and became one of the earliest hospitals in Rochester, predominantly tending to wounded Civil War soldiers.

In the early 1800’s the Bull’s Head Tavern became Hallstead Hall, a water cure sanitarium. During the Civil War, it became the surgical annex of St. Mary’s Hospital. Maps from the era refer to the intersection of Brown Street, Genesee Street and West Avenue/West Main Street as the “West End.” The Strasenburgh Pharmacy stood where the OTB is located today. The Strasenburgh family’s successful pharmaceutical and medical supply business ultimately



resulted in philanthropic contributions elsewhere in the city (Strasensburgh Planetarium). This area's development was both prompted and served by the trolley system that ran along West Main Street and Genesee Streets.

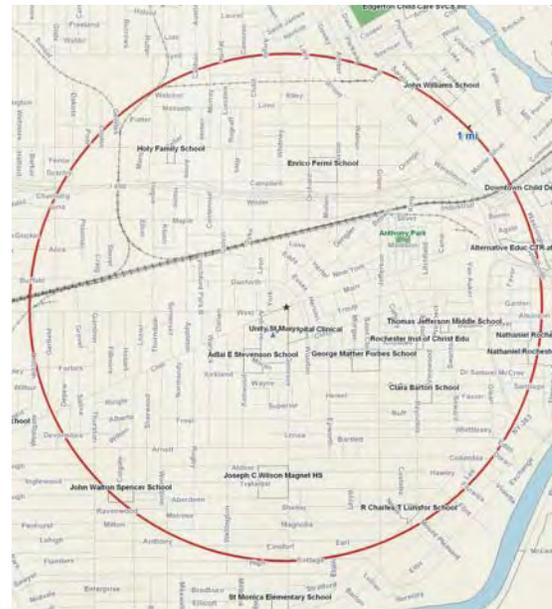
In the early 1900s, the affluence of the area was evidenced by the ornate architecture of commercial businesses located at the heart of the area. Historic photos capturing the times often included many cars parked along the main streets. In the 1940s, St. Mary's Boys' Home and St. Patrick's Girls' Home were sold and razed. Construction of the current St. Mary's hospital building began in 1941. By 1943, the trolley tracks that once carried passengers to and from the west end were removed. Various industrial development located adjacent to the rail corridor that

Between the 1970s and 1980s, the industrial base declined in the neighborhood, as was common throughout much of the country's northeast. With the exception of the neighborhood name, little remains from the area's early settlement. The original St. Mary's Hospital building was replaced in 1941. Many of the homes and businesses of the past were demolished to make way for new businesses, which have since struggled to remain open and successful. The struggle has led to many of these businesses closing and the structures becoming vacant or underutilized, contributing to a negative perception of the neighborhood. In addition, many of the larger homes have been converted to rental housing or abandoned, with the latter resulting in deteriorated structures. However, the area still holds onto its rich history and strives to build upon that connection to improve its economic and social vitality.

Demographic Overview

The study area's population, race, income, education and housing demographics provide a framework for characterizing the community and predicting potential trends. Exploring socio-economic characteristics and trends allows a greater understanding of the market opportunities and constraints that may impact future redevelopment. This information also helps demonstrate economic distress indicators that support the need for further analysis and strategic land use and redevelopment planning.

The Bull's Head area's proposed 188 acre boundary represents a small portion of the city's total land area. However, its location in the city, its role as gateway, and the declining property and economic conditions make this a critical time for redevelopment planning. Continued loss of population, reductions in property values and decreasing household income could have significant impacts on the surrounding neighborhoods and negatively influence sustainable development in the localized area as well as adjacent neighborhoods and communities.



During the pre-nomination planning efforts, initial demographic data were gathered to examine socio-economic trends in the Bull's Head area and, where possible, compared with Rochester, Monroe County and the Rochester Metropolitan Statistical Area (Monroe, Orleans, Livingston, Ontario and Wayne counties) to provide greater context of the Bull's Head area and the overall regional dynamics. It is important to note that the original data collection occurred before the 2010 Census data were available. That original assessment showed declining population in the Bull's Head area. Based on 2008 projections, housing in Bull's Head was projected to decrease as well, albeit at a low rate, while the city and County would likely see some gains projected out to 2013. Home-ownership in Bull's Head had shown an increase since 1990 and was expected to continue up to 2013. However, that observed increase, and the project future increase, was likely due to the decrease in housing stock and not necessarily a reflection of increased home buying in the area. The owner-occupied rate for Bull's Head, which was approximately 37 percent at the time of data collection, was still significantly lower than the national average of 68 percent. Household income in the Bull's Head area was the lowest compared to the city and Monroe County, with more than half of all households earning less than \$35,000.

To determine whether socio-economic demographic trends had changed significantly since the 2010 Census Data had been released, Nielson data derived from 2010 Census figures was pulled for the Bull's Head area (1-mile radius from the PBOA center) and the City of Rochester. The conditions uncovered in 2008 and 2009 had not changed significantly. In fact, economic conditions were more bleak than the projections that were based on 2000 data.

The specified indicators of economic distress, such as low resident incomes, high poverty levels, high unemployment and high vacancy rates are exhibited in the PBOA boundary. Across every metric, the PBOA is below city and statewide averages.

For the purposes of data collection, socio-economic information was obtained for a one-mile radius around the PBOA's geographic center point and compared to citywide data. The comparison emphasizes the depressed economic conditions present in this area. For example, estimated Per Capita income for this area in 2011 was \$12,551, compared to \$16,691 per capita citywide. Fifty three percent of the population in the general PBOA area have an estimated house hold income of \$24,999 (2011), compared to 44 percent citywide.

The concentration of economic distress is also evidenced by the deteriorating physical conditions, especially at the center of the PBOA boundary. Disinvestment, blighted properties, vacant lots and demolition are correlated with declining property values. The concentration of poverty and the depressed property values have hindered redevelopment opportunities.

PROJECT OVERVIEW AND DESCRIPTION

The Bull's Head PBOA presents a pivotal opportunity to address the social, environmental and economic conditions that have hindered sustainable development in and around one of Rochester's prominent western gateways. Portions of the area and/or specific sites have been the focus of planning and analysis over recent years. The most recent planning efforts included documentation of existing conditions and future land use planning for a 104 parcel sub-area within the boundary. As part of that

effort, an environmental screening was completed, which identified more than 50 percent of the properties as known or potential environmental areas of concern, which will require further environmental investigation.

The following list represents some of the more relevant studies and assessments related to the PBOA. These documents are available on the City of Rochester's website (www.cityofrochester.gov) or at Rochester City Hall:

- Bull's Head Neighborhood Design Workshop Summary Report
 - Conditions Analysis Report for the Bull's Head Redevelopment Area*
 - Environmental Screen Report for Bull's Head Area *
 - Draft Generic Environmental Impact Statement St. Mary's Hospital / Bull's Head Plan
 - Southwest Quadrant Strategic Plan
 - Summary of Environmental Work Performed at the Former Taylor Instruments site (95 Ames Street)
 - Phase 1 and Phase 2 Environmental Assessment Report for 95 Ames Street
 - Jefferson Avenue Concept Plan and Summary Report
 - Brooks Landing Phase I and Phase II
- (* Pertains only to the sub-area)

The information available via various planning efforts and studies ranges significantly in terms of specificity, consistency and relevancy (e.g. outdated). The PBOA Nomination will allow the City to leverage past planning work as it engages in a collaborative planning process to address the physical, environmental, social and economic opportunities and constraints facing this larger area. In addition to addressing the physical conditions of property condition, connectivity and public space, a Nomination study will provide important opportunities to identify strategies to preserve and celebrate this area's rich history and cultural significance and reverse the downward trends that have resulted from disinvestment, physical degradation and economic despair.

COMMUNITY VISION, GOALS AND OBJECTIVES

Community members, with support from the City of Rochester, organized a community design workshop focused on the Bull's Head neighborhood. The workshop was designed to engage residents and community stakeholders in a series of discussions and hands-on sessions to explore physical and environmental enhancements within the area. The boundary of the design session closely mirrored the PBOA boundary defined in this document and provided a much needed framework for future planning in this area. Through the workshop, residents and stakeholders shared ideas and perspectives that were molded into a vision statement, which is provided below. The vision was developed to reflect the community's overarching plan for the future and guide



The Bull's Head Physical Redevelopment Area will establish an attractive western gateway, improve the area's appearance and character, reflect Bull's Head's history, and encourage public and private investment over time. Physical redevelopment will define the area's focal point and enhance its visual quality through attractive landscaping and streetscaping and well-designed sidewalks, buildings and public spaces. Future enhancements will promote positive social and economic development and encourage high-quality construction and long-term sustainability. Ultimately, the area's redevelopment will expand business opportunities, provide critical public services and support a diverse residential population for many years to come.

subsequent policies and decision making. The vision outlines a general blueprint by which future neighborhood enhancement and progress can be achieved. The goals outlined in the following section focus on the specific issues, topics or challenges within the larger vision that will need to be addressed in greater detail.

The vision and goals identified for the PBOA are consistent with the Renaissance Campaigns of the city's Rochester comprehensive plan, adopted by City Council on April 13, 1999. The relevant campaign goals are summarized below:

- Campaign One: Involved Citizens – “Citizens, institutions and businesses will be encouraged to participate in events, activities, and celebrations that serve to ‘knit’ our community together and that are focused on the positive aspects of our community.

- Campaign Three: Health, Safety and Responsibility – “Promote neighborhoods that are safe, clean and attractive, that minimize drug sales and use, loitering, graffiti, public drunkenness, property code violations, incidents of fires and other negative quality of life issues and that ultimately reduce the demand for public safety services.”

- Campaign Four: Environmental Stewardship – “Reduce the amounts and toxicity of the various forms of pollution entering our environment and the public health threats from all forms of environmental pollution and contaminants.”, “Preserve and enhance our waterways, parks, urban forest, recreation and open space areas through a regional ‘no-net-loss’ approach and maximized environmental benefits

derived from those resources and assets.”; and, “Reclaim designated ‘brownfields’ and other contaminated land, facilities, and water-ways for useful, productive development.”

- Campaign Six: Economic Vitality – “Develop strong, economically viable and diverse neighborhood commercial areas that help to provide entry-level jobs, high-quality goods and personal services to our citizens, offer entrepreneurial opportunities and help increase our city’s economic development and growth.”

- Campaign Seven: Quality Service – “Provide a parks and recreation system and program that meet our citizens’ needs and demands and expands and safeguards our urban forest.”

- Campaign Eight: Tourism Destination – Transform our extensive and unique waterfront resources, historic and cultural assets into a regional tourism destination attraction that maximizes economic, environmental and recreational benefits in a way that enhances the quality of life for city residents.”

- Campaign Nine: Healthy Urban Neighborhoods – “Reduce the impacts of the concentrations of poverty in our community by encouraging economic diversity, appropriate neighborhood design and planning and expanded economic opportunity.”; “Develop a pedestrian circulation system that provides maximum accessibility to nearby goods and services, our parks, recreation and open space areas and other community amenities.”; and, “Support a land use development pattern in our city that balances reasonable property use right with our community’s expectation of protection from negative impacts generated by nearby uses or activities.”

These goals identified in the City’s comprehensive plan coincide with the visions and goals identified by the community.

Neighborhood Goals

Despite the current physical conditions of the neighborhood, the City and community see a unique opportunity for revitalizing Bull’s Head. The Bull’s Head neighborhood still remains a prominent gateway into the city, with the convergence of four minor arterials—West Main Street, Chili Avenue (Route 33A), West Avenue (Route 33), and Genesee Street—along with Brown Street, a local collector in the city. In addition to community desire to restore the neighborhood, the area also presents opportunities for public and private investment in existing institutions (e.g. St. Mary’s Hospital) and potential future civic spaces (e.g. a new west side police station).

In general, the goals of the area include:

- Identify opportunities for improving land use and economic development
- Address aesthetic character in both the public and private realm
- Develop conceptual development schemes for sub-areas within the boundary that identify prime locations for public and private investment.

- Promote the neighborhood’s local history and importance in Rochester
- Consider the establishment of an urban renewal district for the area to provide a means for revitalization
- Build community support, enthusiasm, and commitment to continue to drive the revitalization and redevelopment with the City and private developers
- Prioritize remediation of environmentally challenged sites and initiate planning and execution of future remediation.

BROWNFIELD OPPORTUNITY AREA BOUNDARY DESCRIPTION AND JUSTIFICATION

The PBOA contains a significant concentration of parcels and structures that are vacant, underutilized or have known or potential environmental contaminants. The environmental conditions within the proposed boundary have been examined to varying degrees over the last two decades. In 1993, a Draft Environmental Impact Statement was prepared for the St. Mary’s Hospital /Bull’s Head Development Plan. A copy of that report is on file at the City of Rochester and can be accessed at City Hall, Department of Environmental Services. Extensive environmental review (including a Phase I and Phase II Analysis) of 95 Ames Street has been conducted, along with minimal voluntary site clean up. The site, a former manufacturing facility, has extensive, well document contamination on site that has hindered redevelopment. Except for the 95 Ames site and a few other small parcels with known environmental hazards, conditions analysis within the project area has not included inspections of building interiors or



privately owned lots. Therefore, there is only limited documentation regarding existing environmental constraints, including lead levels or asbestos-containing materials. However, it is highly likely that structures built prior to 1978, which represents all but one property in the project area, may contain lead-based paint and asbestos-containing materials on the interior.

OPPORTUNITIES AND CONSTRAINTS

The Bull’s Head neighborhood has the potential to redevelop over time in a manner that takes advantage and builds upon the unique opportunities present to further the vision of the community. However, there are also various constraints present that will make redevelopment a challenge. An important component in the planning process is the identification of these opportunities and constraints in order to develop goals and specific strategies, policy-driven and/or design-oriented, to realize the potential in the area. The opportunities and constraints identified below were obtained through public input from various community meetings, key stakeholders and city staff.

Opportunities		Constraints	
<ul style="list-style-type: none"> History of the area/ neighborhood 	<ul style="list-style-type: none"> Location 	<ul style="list-style-type: none"> Number of RGRTA routes 	<ul style="list-style-type: none"> Vacancies (lots and buildings)
<ul style="list-style-type: none"> Architectural elements 	<ul style="list-style-type: none"> Dedicated and passionate people 	<ul style="list-style-type: none"> Main Street (Bull’s Head) plaza 	<ul style="list-style-type: none"> Criminal activity
<ul style="list-style-type: none"> Name/brand/iconic (“Bull’s Head”) 	<ul style="list-style-type: none"> Already has mixed use characteristics 	<ul style="list-style-type: none"> High number of rentals and transients 	<ul style="list-style-type: none"> Past ESA (env. Site assessment) on a parcel shows issues
<ul style="list-style-type: none"> Crossroads 	<ul style="list-style-type: none"> Commuter area 	<ul style="list-style-type: none"> Underutilization of vacant lands 	<ul style="list-style-type: none"> Small, odd-shaped lots
<ul style="list-style-type: none"> New residents that have moved into the area 	<ul style="list-style-type: none"> Hospital presence (Unity - St. Mary’s campus) 	<ul style="list-style-type: none"> Potential environmental issues along Main/West 	<ul style="list-style-type: none"> Inconsistent street edge design/character
<ul style="list-style-type: none"> Major route for stadiums 	<ul style="list-style-type: none"> Vacancy for redevelopment 	<ul style="list-style-type: none"> Lighting and public safety 	<ul style="list-style-type: none"> Amount of pavement or parking areas
<ul style="list-style-type: none"> Police station potential 	<ul style="list-style-type: none"> Ability to change the perception of the area 	<ul style="list-style-type: none"> Interior traffic circulation 	<ul style="list-style-type: none"> Algonquin Terrace is a dead-end street
<ul style="list-style-type: none"> Shared parking, especially between churches & businesses 	<ul style="list-style-type: none"> Expanded residential opportunities (seniors or condos) 	<ul style="list-style-type: none"> Northern census block is 3rd highest in the city for vacancy/ vacant land 	<ul style="list-style-type: none"> Brown & Main intersection is a bad design (pedestrian crossing and vehicle accidents)
<ul style="list-style-type: none"> RGRTA satellite facility transfer study 	<ul style="list-style-type: none"> Food or public market potential for residents and visitors 	<ul style="list-style-type: none"> Working with a lot of renters – is there enough buy-in? 	
<ul style="list-style-type: none"> city is a large landowner 	<ul style="list-style-type: none"> High traffic area 		

- Section 2 -

Preliminary Analysis of the Brownfield Area

EXISTING LAND USE AND ZONING

Land Use

The Bull’s Head Proposed Brownfield Opportunity Area (PBOA) is characterized by predominantly residential development with a prominent commercial presence along West Main Street and West Avenue and some limited active industrial development on main arterials and less traveled roads near the rail line. Commercial nodes are located sporadically throughout the area, as shown in Map 4 (Existing Land Uses). This land use composition is consistent with neighborhood areas throughout the city, with residential uses found on neighborhood streets and higher concentrations of commercial uses located on major arterials. According to the Real Property land use codes designated for each property by the City Assessor’s office, residential and commercial uses each make up approximately one-third of the PBOA area. The average size of the residential properties are less than one eighth of an acre (5,445 square feet), which is typical for single-family residential properties in the city. Of the 409 residential

Figure 2.1
Existing Land Use Breakdown

Property Class/Description		No. of Properties	Acreage	Percent Total	Assessed Value	Percent Total
100	Agricultural	0	0.00	0.0%	\$ -	0.0%
200	Residential	409	48.68	34.4%	\$ 14,747,000.00	30.5%
300	Vacant	113	11.57	8.2%	\$ 285,700.00	0.6%
400	Commercial	95	50.28	35.6%	\$ 16,477,100.00	34.1%
500	Recreation/ Entertainment	0	0.00	0.0%	\$ -	0.0%
600	Community Services	13	24.59	17.4%	\$ 15,035,500.00	31.1%
700	Industrial	6	5.91	4.2%	\$ 1,743,000.00	3.6%
800	Public Services	2	0.19	0.1%	\$ 76,200.00	0.2%
900	Conservation/ Parkland	0	0.00	0.0%	\$ -	0.0%
0	No Data	2	0.12	0.1%	\$ -	0.0%
TOTAL		640	141.35	100.0%	\$ 48,364,500.00	100.0%

(Parcel data based on 2011 property tax information from Monroe County)

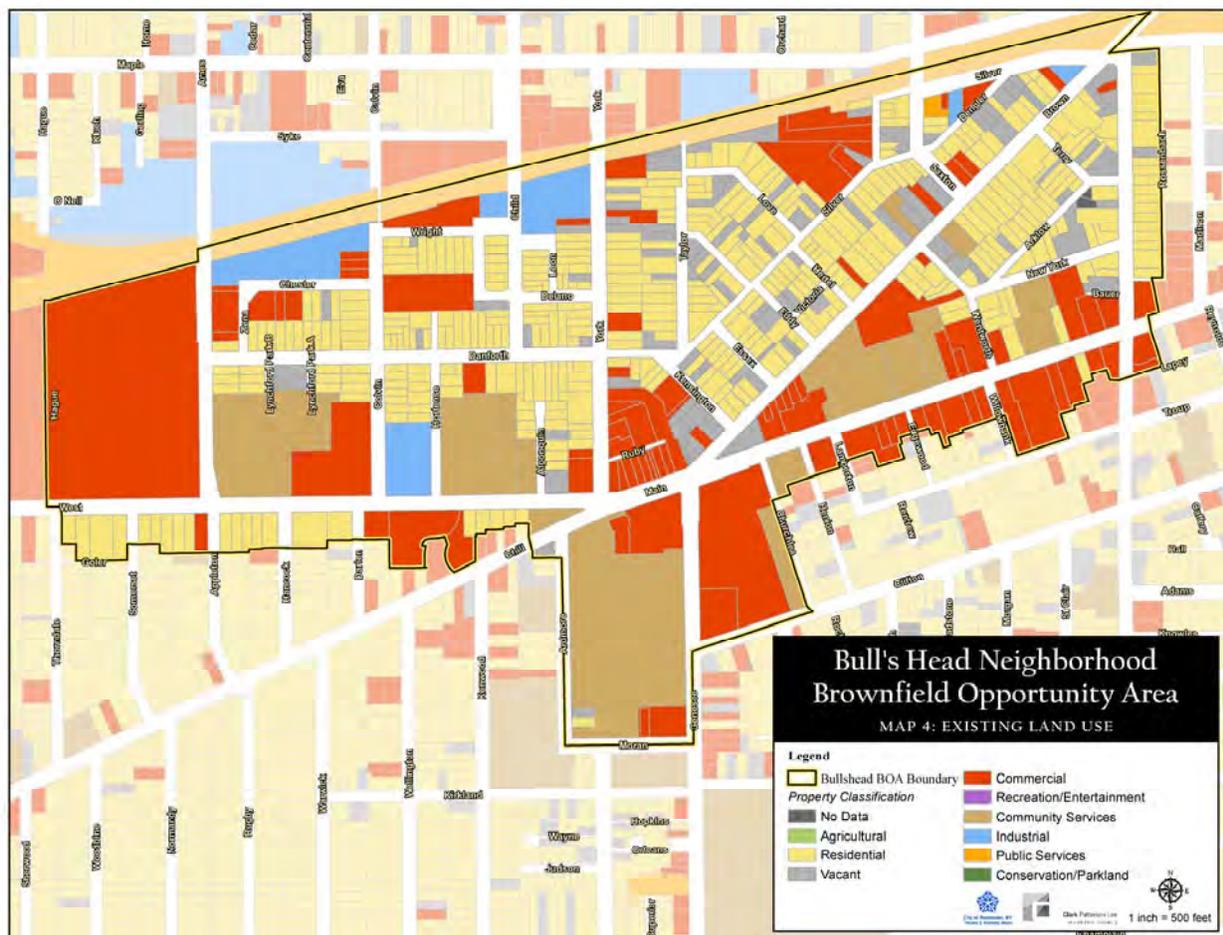
uses, approximately 72 percent of them are classified as single-family with the remaining parcels consisting of dwellings containing two or more families.

Although some of the commercial properties are large, the total acreage is deceiving when compared with the actual use of the land or the size of the structure located on it. This is especially evident on the Bull’s Head Plaza parcel at the corner of West Main Street and Genesee Street and the parcel at the corner of West Avenue and Ames Street (vacant former industrial site). On each of these parcels, more than half, if not all of the property is dedicated to surface parking or vacant.

The other largest land uses consist of community services, consisting of Unity Hospital, St. Mary’s Campus; the Danforth Community Center; Rhema Life Community Church on West Avenue; and the DePaul complex on West Main Street. Although the community services uses make up only 17.4 percent of the total land in the PBOA, the assessed value of the properties are the second highest overall; commercial uses have the highest total assessed value.

The second largest number of properties in the PBOA consist of vacant properties, although by acreage they only contribute 8.2 percent of the total land area. The majority of these properties are found in the northeastern portion of the PBOA and include a number of parcels located on Brown Street and West Main Street, which are major roadways for local and regional traffic.

Buildings along West Main Street block consist mainly of a mixture of brick and concrete block structures that are between one and three stories in height, becoming less dense and lower in height moving westward away from Center City, with the exception of the two residential towers on West Avenue. Commercial development includes the Bull’s Head Plaza, which is a suburban scaled strip plaza at the corner of West Main Street and Genesee Street. Although the plaza was fully leased, the plaza is aging and does not fit well within the context of an urban mixed use commercial node. Most of



the other commercial buildings in the area are built at or close to the property line and contiguous to one another. For the most part, many of the newer structures are easily discernible as they are built with greater setbacks at the front and side. Full width sidewalks are found throughout the area, connecting the commercial areas to residential areas on the outskirts. The commercial buildings along West Main Street exhibit various design styles - some with more ornate architectural features - as well as in various conditions.

The housing stock that makes up the remainder of the PBOA varies by construction, ownership/occupation, and condition. The vast majority of the residential properties have a tree lawn, sidewalk, and front yard with street trees located on the backside of the sidewalks. The residents who have made upgrades and enhancements to their individual homes and properties easily stand out among other properties, with new or maintained siding and trim, landscaped yards, and generally maintained lawns. Of the structures in the PBOA, approximately 419 of them were constructed before World War 2 - 168 of them built prior to 1900. Only 27 were built within the past decade. Although the ages of many of the structures may contribute to a historical preservation aspect in the area, the use of modern building materials and methods may have significantly altered any architectural or historical features that relate to the original buildings.

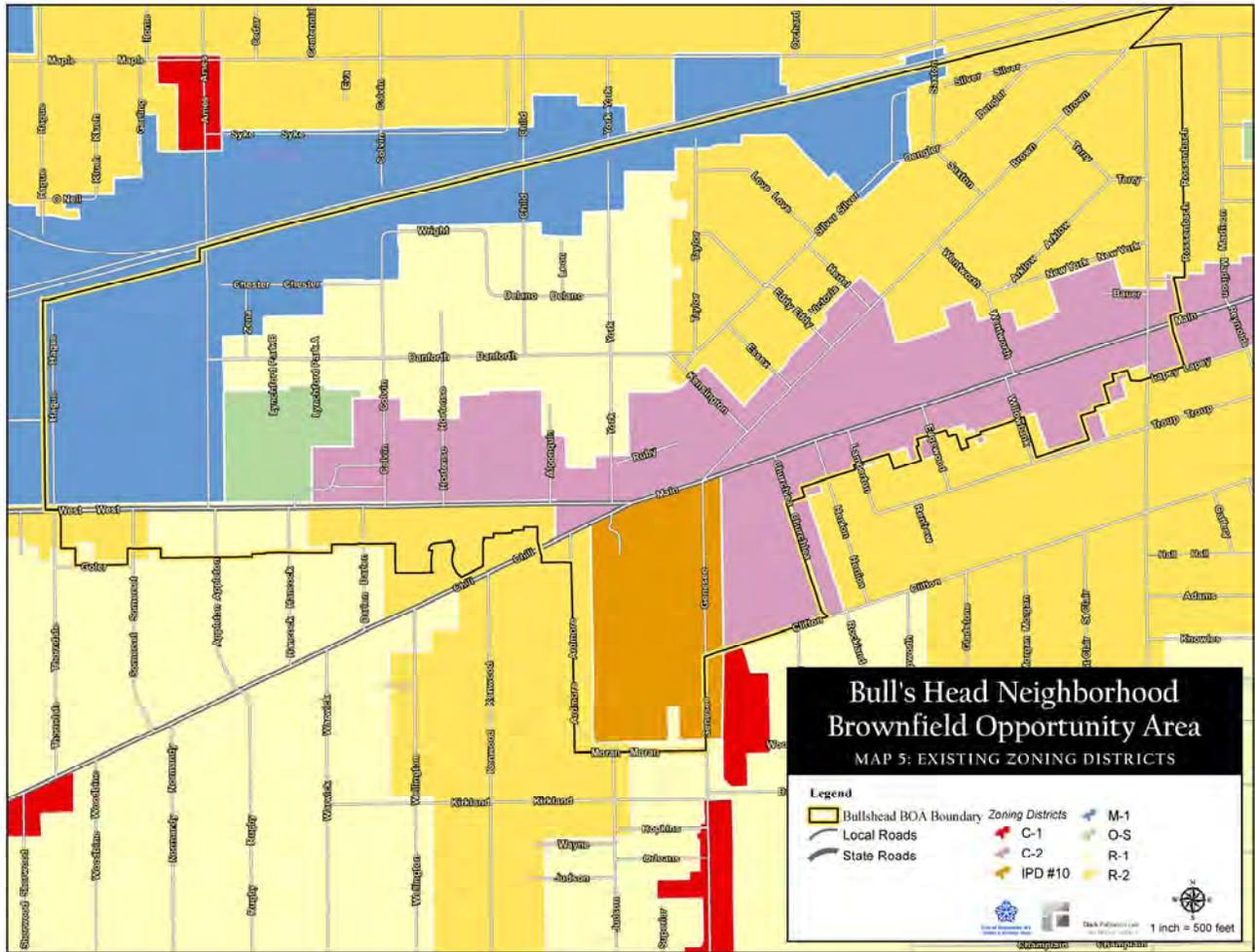
Surrounding Area

The uses surrounding Bull's Head mirror those found within the neighborhood with commercial uses primarily along main thoroughfares and residential dwellings located on the periphery. Farther north and west of the area, larger commercial and industrial uses are found, taking advantage of both rail and interstate access. Commercial uses become more prominent moving eastward along West Main Street approaching Rochester's Center City.

More recent developments in and around the area, including Susan B. Anthony neighborhood/West Main Street improvement project, Jefferson Avenue Reconstruction and Brooks Landing Phases 1 and 2, reflect the rebirth and reinvestment taking place in the City's southwest quadrant. These projects have resulted in improved physical aesthetics, increased availability of goods and services, enhanced pedestrian and bicycle amenities, all of which has increased the community's collective motivation to continue its redevelopment efforts.

Zoning

The PBOA is split up into six zoning districts as shown in Map 5 (Existing Zoning): community center (C-2), low-density residential (R-1), medium-density residential (R-2), open space (O-S), industrial (M-1) and an institutional planned development district (IPD #10). The community center district, located along West Main Street, Brown Street and West Avenue, is intended to provide a diverse mix of commercial and residential uses along major corridors and in neighborhood centers. The commercial



uses specified within the district regulations are geared towards providing goods and services to the community and adjacent residential areas. The regulations for the district include design guidelines to preserve, enhance, and reinforce the urban aesthetics and pedestrian atmosphere that make up the district. This district extends farther east along West Main Street before ending near the center city.

Encompassing the central portion of the PBOA, the low-density residential district (R-1) is characterized by “predominantly owner-occupied, single-family detached and attached homes.” The district also references the other various higher density residential uses that exist, but primarily seeks to protect the character of the district as one with a lower density by not permitting multi-family homes and residential conversions. Similar in scope, but allowing multi-family residential dwellings, the medium-density residential district (R-2) seeks to provide a wider range of housing styles and choices while maintaining the dimensional requirements of the low density district. This district is found in the northeastern portion of the PBOA between Taylor Street and Rossenbach Place, the eastern boundary of the BOA.

The manufacturing district, located on the western and northern edges of the area, permits a wide range of industrial uses as well as the repurposing of existing industrial structures for commercial purposes,

with some uses limited to only a specific percentage of the total floor area. The variety of industrial uses that are permitted must have activities that are fully located within an enclosed structure. Similar to other districts in the city, the manufacturing district also includes design guidelines and standards to preserve, enhance, and reinforce the character and aesthetics of the district. The manufacturing district extends further north and west from the PBOA along the CSX railline, encompassing the a large section of the west side of Rochester.

The intent of the open space (O-S) district is “...preserve and enhance Rochester’s open spaces and recreational areas ... [by] strictly limiting the development of these areas.” Permitted uses in the district are centered around recreational and cultural resources, such as parks, open areas, gardens, cemeteries and public marinas. Within the PBOA, the only area zoned as open space is the open field and lands of the Danforth Community Center on West Avenue. Open space districts are also classified as critical environmental areas (CEA) in Monroe County according to the NYS Department of Environmental Conservation, which makes these lands subject to closer examination for any environmental reviews.

Transportation Network

The relationship between land use, development and transportation systems is symbiotic, in that changes to one element often impact conditions and needs of the other. Public infrastructure improvements, such as streetscape enhancements, can serve as a catalyst for profound improvements in community development and private investment. Thinking about future redevelopment in the Bull’s Head areawill require a careful consideration of the existing transportation network and identification of modifications that will enhance the transportation network’s design, performance and ability to sustain redevelopment over time.

The PBOA is serviced by three primary arterials, West Main Street, West Avenue and Chili Avenue.



West Avenue carries four lanes of traffic. West Main Street is comprised of five travel lanes, which includes a dedicated turn lane at the intersection with West Avenue and Brown Street. On-street parking is allowed on West Main only on the north side between York Street and Brown Street for the various commercial properties located there.

West Main Street and West Avenue, along with Chili Avenue, serve as a major east-west connectors for residents in the west and southwest neighborhoods of the city and

neighboring towns. Chili Avenue is a two-lane street that has a wide shoulder that can be utilized for on-street parking on both sides. Brown Street, similar to Chili Avenue, is a two-lane street with a wide shoulder on both sides of the street that allows limited on-street parking. These corridors function as gateways to the Rochester's city Center and historic neighborhoods (e.g. Susan B. Anthony).

The remaining streets are two-lane residential streets that have varying right-of-way width to accommodate on-street parking. However, the current configuration controls speeds through the residential streets.

The project area features a generally well connected street grid. However, there is one dead end street (Algonquin Terrace). The residential side streets had lower volumes of traffic and no noticeable issues. All of these streets were controlled by stop signs.

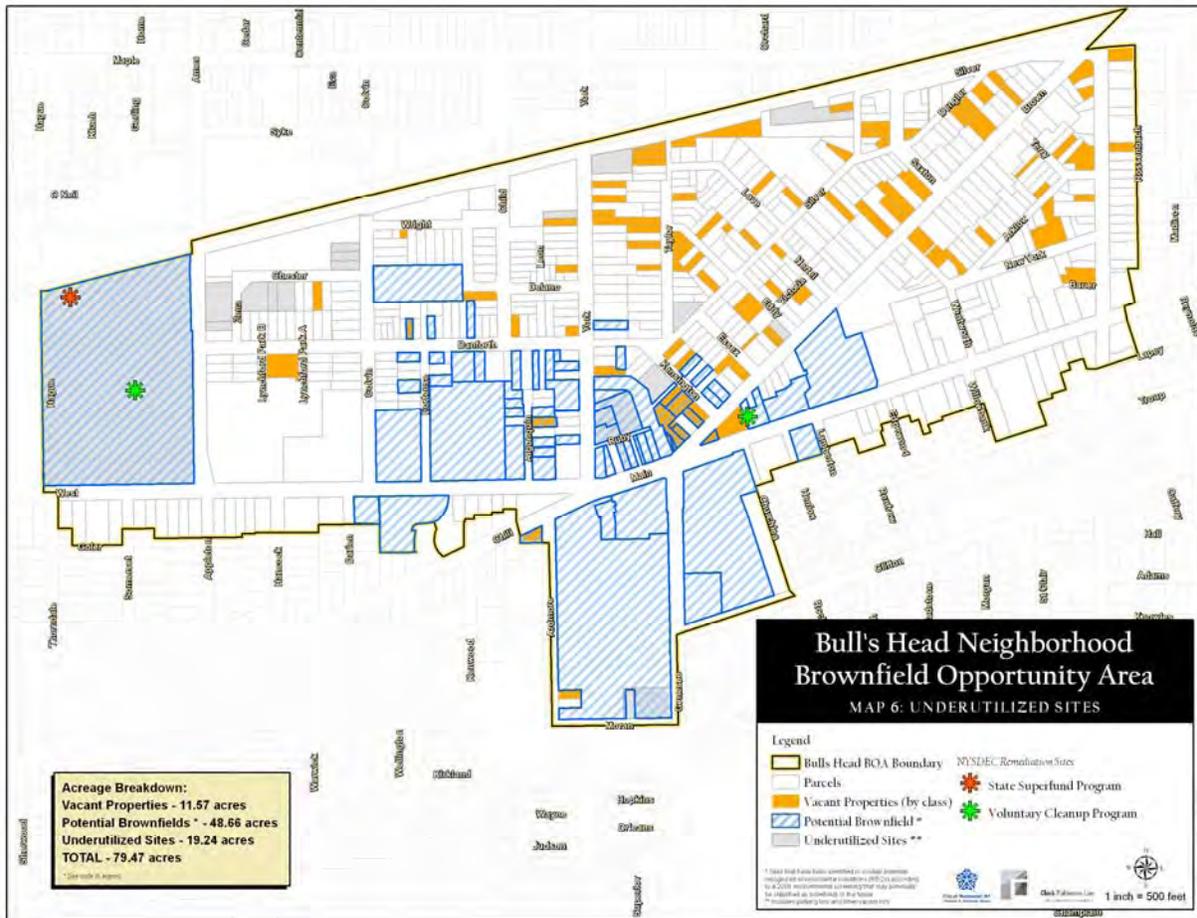
Traffic conditions in the PBOA have been the focus of past and recent studies, given the challenging five point intersections at the heart of the project area and the high volumes that utilize West Main Street, West Avenue and Chili Avenue. The short distance (less than 400 LF) between the intersection of West Main, Brown & Genesee and West Avenue, York Street, Chili Avenue & West Main also makes this intersection's geometry atypical and challenging. Pedestrian access at these intersections is a challenge due to traffic volumes, turning movements and crossing widths. All of these major intersections are controlled by traffic signals with dedicated turning lanes utilizing signalized turning arrows.

A recent traffic study was conducted in March 2011 to examine conditions at the two primary intersections as well as existing and future conditions of nearby streets. The study was prepared to document potential traffic impacts associated with redevelopment scenarios being considered in the sub-area. However, that traffic analysis would need to be expanded to include all of the major intersections with the PBOA to fully understand transportation system opportunities and constraints. Future study would also need to formally document pedestrian and bicycle access and safety, which is suspected to be challenged in this area due to lack of adequate facilities and challenging roadway geometry.

RGRTA maintains five bus routes through the PBOA, including routes 2, 4, 8, 12 and 27. The neighborhood and surrounding area have a complete network of sidewalks that connect all residential and commercial uses. The sidewalks are located on both sides of the streets, but crosswalks are limited only to the West Main Street-West Avenue-Chili Avenue area.

BROWNFIELD, ABANDONED AND VACANT SITES

The proposed boundary is comprised of a high percentage of underutilized, vacant and brownfield sites, which are provided on the following table. This table and accompanying map were developed based on



past environmental screenings and/or city staff's knowledge of known or suspected environmental hazards.

For many properties within the PBOA, the known/suspected environmental issues are related to the presence of potential harmful contaminants associated with historic building materials (e.g. asbestos and lead) . Some properties' current or past industrial or commercial uses may present some hazardous environmental conditions that may need to be addressed as part of any redevelopment. The sub-surface conditions in the project area largely undocumented and will likely need further investigation prior to redevelopment. The environmental conditions associated with auto-repair shop on York Street and the light industrial facility on West Avenue (between Hortense and Colvin Streets) will also need to be examined. 95 Ames Street presents the most serious environmental hazards, which have been well documented in previous assessments. The future redevelopment of that site will be limited significantly to avoid disturbance of contaminated (and capped) soils and minimize impacts to human health.

The table provided on the following pages includes all properties located within in the PBOA boundary. The properties highlighted in yellow include vacant, underutilized and/or potential brownfield sites.

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Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Algonquin Terrace	2	120.42	1	50	1	0.09	Private	Residential	R-1	x		
	2.5	120.42	1	50	2	0.01	Public	Vacant	R-1			x
	4	120.42	1	51	0	0.09	Private	Residential	R-1	x		
	6-6.5	120.42	1	52	0	0.10	Public	Residential	R-1			
	7	120.42	1	60	0	0.08	Private	Residential	R-1			
	8	120.42	1	53	0	0.10	Private	Vacant	R-1	x		x
	9	120.42	1	59	0	0.08	Private	Residential	R-1	x		
	10	120.42	1	54	0	0.10	Private	Residential	R-1	x		
	11	120.42	1	58	0	0.08	Private	Residential	R-1	x		
	12	120.42	1	55	0	0.09	Private	Residential	R-1			
	14	120.42	1	56	0	0.09	Public	Residential	R-1			
	15	120.42	1	57	0	0.07	Private	Residential	R-1	x		
Ames Street	64	120.41	1	2	0	0.11	Private	Residential	R-1			
	70	120.41	1	3	0	0.11	Private	Residential	R-1			
	80	120.41	1	4	0	0.11	Private	Residential	R-1			
	90	120.41	1	7	0	0.11	Private	Commercial	M-1		x	
	95	120.41	1	1	2	14.41	Private	Commercial	M-1	x	x	
	110-116	120.41	1	8	0	0.47	Private	Commercial	M-1		x	
	126	120.41	1	9	0	0.06	Private	Commercial	M-1			
Appleton Street	5-11	120.49	1	10	0	0.24	Private	Commercial	R-1			
Ardmore Street	104	120.50	2	57	0	0.09	Private	Vacant	IPD #10			x
	110	120.50	2	56	0	0.09	Private	Residential	IPD #10			
Arklow Street	4	120.35	3	50	0	0.03	Public	Vacant	R-2			x
	6	120.35	3	49	0	0.03	Public	Vacant	R-2			x
	8	120.35	3	48	0	0.10	Private	Residential	R-2			
	9	120.35	3	26	0	0.10	Private	Residential	R-2			
	10	120.35	3	47	0	0.07	Private	Residential	R-2			
	12	120.35	3	46	0	0.15	Private	Residential	R-2			
	13	120.35	3	27	0	0.05	Private	Residential	R-2			
	14	120.35	3	45	0	0.09	Private	Residential	R-2			
	16	120.35	3	44	0	0.10	Private	Residential	R-2			
	18	120.35	3	43	0	0.11	Private	Residential	R-2			
	20	120.35	3	42	0	0.11	Private	Residential	R-2			
	22	120.35	3	41	0	0.08	Public	Vacant	R-2			x
	24	120.35	3	40	0	0.11	Private	Residential	R-2			
	26	120.35	3	39	0	0.11	Private	Residential	R-2			
	28	120.35	3	38	0	0.11	Private	Residential	R-2			
30	120.35	3	37	0	0.12	Private	Residential	R-2				
Brown Street	505	120.35	3	2	0	0.13	Public	Vacant	R-2			x
	506	120.35	2	18	0	0.46	Private	Industrial	R-2			
	511	120.35	3	3	0	0.11	Private	Residential	R-2			

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Brown Street	516	120.35	2	19	0	0.15	Private	Commercial	R-2			
	524	120.35	2	20	0	0.11	Private	Residential	R-2			
	530	120.35	2	21	0	0.11	Private	Residential	R-2			
	531	120.35	3	7	1	0.22	Private	Residential	R-2			
	532	120.35	2	22	1	0.05	Private	Vacant	R-2			x
	534	120.35	2	22	2	0.05	Private	Vacant	R-2			x
	536	120.35	2	23	0	0.08	Private	Residential	R-2			
	539	120.35	3	9	4	0.07	Private	Residential	R-2			
	544	120.35	2	24	0	0.12	Private	Residential	R-2			
	550	120.35	2	25	0	0.13	Private	Residential	R-2			
	556	120.35	2	26	1	0.21	Public	Vacant	R-2			x
	570	120.35	2	29	2	0.14	Private	Residential	R-2			
	571	120.35	3	63	1	0.22	Private	Residential	R-2			
	577	120.35	3	64	1	0.14	Private	Residential	R-2			
	578	120.35	2	31	1	0.14	Private	Residential	R-2			
	582	120.35	2	32	0	0.08	Private	Residential	R-2			
	583	120.35	3	65	2	0.18	Private	Residential	R-2			
	588	120.35	2	33	0	0.15	Private	Commercial	R-2			
	589	120.35	3	65	3	0.18	Private	Residential	R-2			
	594	120.35	2	34	0	0.15	Private	Commercial	R-2			
	595	120.35	3	66	1	0.17	Private	Residential	R-2			
	601	120.35	3	67	2	0.19	Private	Residential	R-2			
	607	120.35	3	68	1	0.19	Private	Residential	R-2			
	613	120.35	3	69	1	0.16	Private	Residential	R-2			
	614	120.35	2	36	1	0.22	Public	Vacant	R-2			x
	616-618	120.35	2	37	1	0.21	Private	Commercial	R-2			
	621-623	120.35	3	71	1	0.32	Private	Community Service	R-2			
	628	120.35	2	39	0	0.23	Public	Vacant	R-2			x
	629	120.35	3	72	1	0.17	Public	Vacant	R-2			x
	632	120.35	2	40	0	0.13	Public	Vacant	R-2			x
	638	120.35	2	41	0	0.22	Private	Community Service	R-2			
	641-645	120.35	3	80	0	0.06	Private	Commercial	R-2			
	644	120.35	2	42	0	0.20	Public	Vacant	R-2			x
647	120.35	3	81	0	0.05	Private	Residential	R-2				
648-652	120.35	2	43	1	0.26	Private	Residential	R-2				
651-653	120.35	3	82	0	0.15	Private	Residential	R-2				
656-662	120.35	2	45	0	0.26	Private	Residential	R-2				
657-659	120.35	3	83	0	0.13	Private	Residential	R-2				
666	120.35	2	46	0	0.13	Private	Residential	R-2				
670-674	120.35	2	47	1	0.26	Private	Residential	R-2				
680	120.35	2	49	0	0.13	Private	Commercial	R-2				

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Brown Street	681	120.43	1	14	0	0.82	Private	Commercial	R-2			
	688	120.35	2	50	0	0.12	Private	Residential	R-2			
	696-698	120.43	1	12	0	0.11	Private	Residential	C-2			
	702	120.43	1	11	0	0.06	Private	Residential	C-2			
	708-714	120.43	1	7	1	0.21	Private	Residential	C-2			
	718	120.43	1	6	0	0.11	Private	Residential	C-2			
	728	120.43	1	55	0	0.09	Private	Residential	C-2		x	
	732	120.43	1	56	1	0.05	Public	Vacant	C-2			x
	734	120.43	1	56	2	0.05	Private	Vacant	C-2			x
	738	120.43	1	57	0	0.09	Private	Residential	C-2			
	743	120.43	1	50	0	0.09	Private	Commercial	C-2			
	749	120.43	1	49	0	0.09	Private	Commercial	C-2			
	750	120.43	1	59	4	0.19	Private	Residential	C-2			
	751-753	120.43	1	48	0	0.09	Private	Commercial	C-2			
	757	120.43	1	47	0	0.07	Private	Commercial	C-2			
	762	120.43	2	31	0	0.09	Public	Vacant	C-2			x
	767	120.43	1	45	0	0.06	Private	Commercial	C-2			
	768	120.42	2	32	0	0.10	Private	Residential	C-2			
	774	120.42	2	33	0	0.09	Private	Residential	C-2			
	778	120.42	2	34	0	0.01	Public	Vacant	C-2			x
	780	120.42	2	35	0	0.11	Private	Residential	C-2	x		
	784-786	120.42	2	36	0	0.08	Public	Residential	C-2	x		
	796-798	120.42	2	49	0	0.08	Public	Vacant	C-2			x
	800-802	120.42	2	53	0	0.08	Public	Vacant	C-2	x		x
	806-810	120.42	2	54	0	0.12	Private	Commercial	C-2			
	812-814	120.42	2	55	0	0.06	Public	Vacant	C-2	x		x
	814.5	120.42	2	56	0	0.02	Private	Vacant	C-2			x
	816-822	120.42	2	57	0	0.11	Public	Vacant	C-2	x		x
876	120.42	2	58	0	0.02	Public	Vacant	C-2	x		x	
515-525	120.35	3	6	2	0.38	Private	Residential	R-2				
547-563	120.35	3	60	1	0.62	Private	Residential	R-2				
Chester Street	19	120.41	1	16	0	0.12	Private	Residential	R-1			
	25	120.41	1	15	0	0.12	Private	Vacant	R-1			x
	26-64	120.33	2	39	0	2.25	Private	Industrial	M-1			
	31	120.41	1	14	0	0.12	Private	Residential	R-1			
	37	120.41	1	13	0	0.12	Private	Residential	R-1			
	41	120.41	1	12	0	0.24	Private	Commercial	M-1		x	
45	120.41	1	11	0	0.12	Private	Commercial	M-1		x		
Chester Street	47	120.41	1	10	0	0.21	Private	Commercial	M-1		x	
Child Street	15	120.42	1	13	0	0.08	Private	Residential	R-1			
	16	120.42	1	16	0	0.09	Private	Residential	R-1			

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Child Street	19	120.42	1	14	0	0.08	Private	Residential	R-1			
	20	120.42	1	17	0	0.07	Private	Residential	R-1			
	24	120.42	1	18	0	0.11	Private	Residential	R-1			
	25	120.42	1	15	0	0.10	Public	Vacant	R-1			x
	34	120.34	1	39	0	0.03	Private	Residential	R-1			
	35	120.34	1	50	0	0.06	Private	Residential	R-1			
	38	120.34	1	40	0	0.05	Private	Residential	R-1			
	41	120.34	1	49	0	0.09	Private	Residential	R-1			
	42	120.34	1	41	0	0.09	Private	Residential	R-1			
	45	120.34	1	48	0	0.09	Private	Residential	R-1			
	46	120.34	1	42	0	0.09	Private	Residential	R-1			
	50	120.34	1	43	0	0.09	Private	Residential	R-1			
	51	120.34	1	47	0	0.09	Private	Residential	R-1			
	54	120.34	1	44	0	0.09	Private	Residential	R-1			
	57	120.34	1	46	0	0.09	Private	Residential	R-1			
	63	120.34	1	45	0	0.09	Private	Residential	R-1			
75	120.34	1	58	0	0.30	Private	Industrial	M-1				
Chili Avenue	11	120.50	2	1	4	0.29	Private	Commercial	IPD #10	x		
	50	120.50	1	7	0	0.74	Private	Community Service	C-2			
	51	120.50	1	8	0	0.19	Public	Vacant	R-2	x		x
	96	120.50	1	77	0	0.27	Public	Commercial	R-2			
Clifton Street	160	120.50	2	2	3	0.79	Private	Community Service	C-2			
Colvin Street	34-36	120.41	1	59	0	1.50	Private	Industrial	C-2	x		
	40-42	120.41	1	58	0	0.09	Private	Residential	R-1			
	46-48	120.41	1	57	0	0.09	Private	Residential	R-1			
	52	120.41	1	56	0	0.08	Private	Residential	R-1			
	53	120.41	1	51	0	0.12	Private	Residential	R-1			
	56	120.41	1	55	0	0.08	Private	Residential	R-1			
	59	120.41	1	50	0	0.12	Private	Residential	R-1			
	60	120.41	1	54	0	0.08	Private	Residential	R-1			
	63-65	120.41	1	49	0	0.12	Private	Residential	R-1			
	66	120.41	1	53	0	0.08	Private	Residential	R-1			
	69	120.41	1	48	0	0.12	Private	Residential	R-1			
	70	120.41	1	52	0	0.08	Private	Residential	R-1			
	77	120.41	1	29	0	0.12	Private	Residential	R-1			
	81-83	120.41	1	28	0	0.13	Private	Residential	R-1			
	92	120.41	1	22	0	0.05	Private	Residential	R-1			
	93	120.41	1	27	0	0.13	Private	Residential	R-1			
96	120.41	1	21	0	0.08	Private	Residential	R-1				
99	120.41	1	19	0	0.13	Private	Residential	R-1				
100	120.41	1	20	0	0.08	Private	Residential	R-1				

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Colvin Street	105	120.41	1	18	0	0.13	Private	Residential	R-1			
	109	120.41	1	17	0	0.13	Private	Residential	R-1			
	121	120.33	2	36	0	0.12	Private	Commercial	M-1		x	
	124	120.33	2	35	0	0.14	Private	Residential	R-1			
	125	120.33	2	37	0	0.12	Private	Commercial	M-1		x	
	128	120.33	2	34	0	0.14	Private	Residential	R-1			
	131	120.33	2	38	0	0.12	Private	Commercial	M-1		x	
	134	120.33	2	33	0	0.14	Private	Residential	R-1			
	108-112	120.34	1	51	0	1.44	Private	Commercial	R-1	x		
	138-142	120.33	2	32	0	0.08	Private	Residential	R-1			
Danforth Street	11	120.42	1	36	0	0.03	Private	Residential	R-1	x		
	14	120.42	1	24	0	0.05	Private	Residential	R-1			
	17	120.42	1	35	0	0.12	Public	Residential	R-1	x		
	18	120.42	1	25	0	0.14	Private	Residential	R-1			
	21	120.42	1	34	0	0.11	Private	Residential	R-1			
	22	120.42	1	26	0	0.14	Private	Residential	R-1			
	25	120.42	1	33	0	0.11	Private	Residential	R-1	x		
	28	120.42	1	27	0	0.09	Private	Residential	R-1			
	29	120.42	1	32	0	0.21	Public	Residential	R-1			
	35	120.42	1	31	0	0.16	Private	Residential	R-1	x		
	36	120.42	1	28	0	0.09	Private	Residential	R-1			
	38	120.42	1	29	0	0.09	Public	Vacant	R-1			x
	41	120.42	1	30	0	0.11	Private	Residential	R-1			
	47	120.42	1	63	0	0.26	Private	Residential	R-1			
	52	120.42	1	12	0	0.08	Private	Residential	R-1			
	54	120.42	1	11	0	0.08	Private	Residential	R-1			
	59-59.5	120.42	1	64	0	0.14	Private	Residential	R-1	x		
	62	120.42	1	10	0	0.08	Private	Residential	R-1			
	64	120.42	1	9	0	0.13	Private	Residential	R-1	x		
	67-69	120.42	1	65	0	0.30	Private	Commercial	R-1	x		
	68	120.42	1	8	0	0.13	Private	Residential	R-1			
	72	120.42	1	7	0	0.14	Private	Residential	R-1			
	73-75	120.42	1	66	0	0.04	Private	Residential	R-1			
	78	120.42	1	6	0	0.14	Private	Residential	R-1			
	82	120.42	1	5	0	0.08	Private	Residential	R-1			
	86	120.42	1	4	0	0.08	Private	Residential	R-1	x		
96	120.42	1	79	0	0.07	Private	Residential	R-1				
100	120.42	1	78	0	0.06	Public	Vacant	R-1	x		x	
104	120.42	1	77	0	0.06	Private	Residential	R-1				
108	120.41	1	23	0	0.06	Private	Residential	R-1				
112	120.41	1	24	0	0.04	Private	Residential	R-1				

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Danforth Street	114	120.41	1	25	0	0.04	Private	Residential	R-1			
	118	120.41	1	26	0	0.05	Private	Residential	R-1			
	146	120.41	1	30	0	0.00	Public	Vacant	R-1			x
	148	120.41	1	31	0	0.12	Private	Residential	R-1			
	154	120.41	1	32	0	0.12	Private	Residential	R-1			
	160	120.41	1	33	0	0.12	Private	Residential	R-1			
	166	120.41	1	34	0	0.12	Private	Residential	R-1			
	170	120.41	1	35	0	0.12	Private	Residential	R-1			
	174	120.41	1	36	0	0.12	Private	Residential	R-1			
	175	120.41	1	44	0	0.40	Public	Vacant	R-1			x
	180	120.41	1	37	0	0.12	Private	Residential	R-1			
	186	120.41	1	38	0	0.12	Private	Residential	R-1			
	190	120.41	1	39	0	0.12	Private	Residential	R-1			
	195	120.41	1	41	0	0.10	Private	Residential	R-1			
	196	120.41	1	40	0	0.12	Private	Residential	R-1			
216	120.41	1	5	1	0.13	Private	Residential	R-1				
Darien Street	2-4	120.49	2	8	0	0.10	Private	Residential	R-2			
Delano Street	12	120.34	1	35	0	0.03	Private	Residential	R-1			
	16	120.34	1	36	0	0.04	Private	Residential	R-1			
Delano Street	20	120.34	1	37	0	0.04	Private	Residential	R-1			
	28	120.34	1	38	0	0.03	Private	Residential	R-1			
Dengler Street	1	120.35	2	15	0	0.07	Public	Vacant	R-2			x
	7	120.35	2	14	0	0.07	Public	Vacant	R-2			x
	13	120.35	2	12	1	0.13	Public	Vacant	R-2			x
	29	120.35	2	11	0	0.07	Private	Residential	R-2			
	35	120.35	2	96	0	0.07	Public	Vacant	R-2			x
	41	120.35	2	95	0	0.08	Public	Vacant	R-2			x
	53	120.35	2	94	0	0.08	Public	Vacant	R-2			x
	57	120.35	2	93	0	0.07	Private	Residential	R-2			
	63	120.35	2	92	0	0.07	Private	Residential	R-2			
	69	120.35	2	91	0	0.08	Private	Residential	R-2			
	70	120.35	2	8	0	0.01	Private	Vacant	R-2			x
	73	120.35	2	90	1	0.17	Private	Residential	R-2			
	87	120.35	2	88	0	0.10	Private	Residential	R-2			
	99	120.35	2	87	0	0.07	Private	Residential	R-2			
	100-102	120.35	1	20	0	0.04	Public	Vacant	R-2			x
103	120.35	2	86	0	0.10	Public	Residential	R-2				
109	120.35	2	85	0	0.11	Private	Residential	R-2				
115	120.35	2	84	0	0.11	Private	Residential	R-2				
Eddy Street	19	120.43	1	4	1	0.15	Private	Residential	R-2			
	23	120.43	1	3	1	0.15	Public	Vacant	R-2			x

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Eddy Street	28	120.35	2	59	1	0.07	Public	Vacant	R-2			x
	31	120.43	1	1	0	0.08	Public	Vacant	R-2			x
	35	120.42	2	19	0	0.08	Private	Residential	R-2			
	39	120.42	2	18	0	0.09	Private	Residential	R-2			
	63	120.34	2	42	0	0.08	Private	Residential	R-2			
	64	120.34	2	34	1	0.14	Private	Residential	R-2			
	65	120.34	2	41	0	0.08	Public	Vacant	R-2			x
	71	120.34	2	40	0	0.08	Private	Residential	R-2			
	72	120.34	2	36	1	0.16	Private	Residential	R-2			
	75	120.34	2	39	0	0.08	Private	Vacant	R-2			x
	76	120.34	2	37	0	0.11	Public	Vacant	R-2			x
	82	120.34	2	38	0	0.11	Private	Residential	R-2			
83-85	120.34	2	51	0	0.25	Public	Vacant	R-2			x	
Essex Street	15	120.42	2	30	0	0.10	Public	Vacant	R-2			x
	16	120.43	1	59	2	0.03	Public	Vacant	R-2			x
	18-22	120.43	1	61	1	0.13	Private	Residential	R-2			
	21	120.42	2	29	0	0.08	Private	Residential	R-2			
	25	120.42	2	28	0	0.08	Private	Residential	R-2			
	26	120.42	2	20	0	0.08	Private	Residential	R-2			
	29	120.42	2	27	0	0.09	Private	Residential	R-2			
	30	120.42	2	21	0	0.08	Private	Residential	R-2			
	33	120.42	2	26	0	0.08	Private	Residential	R-2			
	38-40	120.42	2	22	0	0.16	Private	Residential	R-2			
	39	120.42	2	25	0	0.08	Private	Residential	R-2			
	41-43	120.42	2	24	0	0.08	Private	Residential	R-2			
42-44	120.42	2	23	0	0.08	Private	Residential	R-2				
Genesee Street	29	120.50	2	1	2	1.39	Private	Commercial	IPD #10	x		
	68-92	120.50	2	3	0	0.90	Private	Commercial	C-2	x		
	89	120.50	2	1	6	7.80	Private	Community Service	IPD #10	x		
Hertel Street	18	120.35	2	51	0	0.09	Private	Residential	R-2			
	20	120.35	2	52	0	0.05	Private	Residential	R-2			
	22	120.35	2	53	1	0.10	Private	Residential	R-2			
	26	120.35	2	69	0	0.05	Private	Residential	R-2			
	28	120.35	2	70	0	0.05	Private	Residential	R-2			
	30	120.35	2	71	0	0.05	Private	Residential	R-2			
	33	120.35	2	67	1	0.09	Private	Residential	R-2			
Hortense Street	51	120.42	1	71	0	0.09	Private	Residential	R-1			
	53-55	120.42	1	72	0	0.09	Private	Residential	R-1			
	56	120.42	1	69	0	0.11	Private	Residential	R-1	x		
	57-57.5	120.42	1	73	0	0.13	Private	Residential	R-1	x		
	58	120.42	1	68	0	0.11	Private	Residential	R-1			

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Hortense Street	59	120.42	1	74	0	0.09	Private	Residential	R-1			
	61	120.42	1	75	0	0.09	Private	Residential	R-1			
	62	120.42	1	67	0	0.08	Private	Residential	R-1	x		
	63-65	120.42	1	76	0	0.09	Private	Residential	R-1	x		
	99	120.42	1	1	1	0.16	Private	Residential	R-1			
	104	120.42	1	2	1	0.10	Private	Residential	R-1			
Jefferson Avenue	8	120.36	1	1	0	0.17	Public	Vacant	R-2			x
	11	120.35	3	1	1	0.06	Public	Vacant	R-2			x
	12	120.36	1	88	0	0.11	Private	Residential	R-2			
	19	120.35	3	17	0	0.07	Private	Commercial	R-2			
	22	120.36	1	86	1	0.22	Private	Residential	R-2			
	25	120.35	3	18	0	0.09	Public	Vacant	R-2			x
	32	120.36	1	84	1	0.24	Private	Residential	R-2			
	33	120.35	3	19	0	0.14	Public	Vacant	R-2			x
	38	120.36	1	83	0	0.10	Private	Residential	R-2			
	39-47	120.35	3	21	1	0.21	Private	Residential	R-2			
	54	120.36	1	80	1	0.34	Private	Residential	R-2			
	55	120.35	3	22	0	0.10	Private	Residential	R-2			
	60	120.36	1	79	0	0.11	Public	Vacant	R-2			x
	61-65	120.35	3	24	2	0.20	Public	Vacant	R-2			x
	66	120.36	1	78	0	0.11	Private	Residential	R-2			
	72	120.36	1	77	0	0.11	Private	Residential	R-2			
	74-76	120.36	1	76	0	0.11	Private	Residential	R-2			
	82	120.36	1	75	0	0.11	Private	Residential	R-2			
	83-85	120.35	4	4	2	0.17	Private	Residential	R-2			
	86	120.36	1	74	0	0.11	Private	Residential	R-2			
	87-89	120.35	4	5	0	0.07	Private	Vacant	R-2			x
	92	120.36	1	73	0	0.11	Private	Residential	R-2			
	93	120.35	4	6	0	0.28	Private	Residential	R-2			
	96	120.36	1	72	0	0.11	Public	Residential	R-2			
	101-103	120.35	4	7	0	0.06	Private	Residential	R-2			
	102	120.36	1	71	0	0.11	Private	Residential	R-2			
	105-107	120.35	4	8	1	0.20	Private	Residential	R-2			
	108	120.36	1	70	0	0.11	Private	Residential	R-2			
	112-114	120.36	1	69	0	0.11	Private	Residential	R-2			
	118-120	120.36	1	68	1	0.23	Private	Residential	R-2			
123	120.35	4	9	0	0.23	Private	Residential	R-2				
127	120.35	4	10	0	0.08	Private	Residential	R-2				
130	120.36	1	66	0	0.11	Private	Residential	R-2				
133	120.35	4	11	1	0.24	Public	Vacant	R-2			x	
182-184	120.44	1	3	0	0.15	Private	Commercial	C-2				

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Kensington Street	2	120.42	2	37	0	0.08	Public	Residential	R-2			
	4	120.42	2	38	1	0.17	Public	Residential	R-2	x		
	5	120.42	2	48	0	0.17	Private	Vacant	C-2	x		x
	7	120.42	2	47	0	0.08	Public	Vacant	C-2			x
	8	120.42	2	40	0	0.09	Private	Residential	R-2	x		
	10	120.42	2	41	0	0.09	Public	Vacant	R-2			x
	12	120.42	2	42	0	0.09	Private	Residential	R-2			
	13	120.42	2	60	2	0.38	Private	Commercial	C-2		x	
	14	120.42	2	43	0	0.09	Public	Vacant	R-2			x
	17	120.42	2	46	0	0.09	Public	Residential	R-2			
	19	120.42	2	45	0	0.09	Private	Residential	R-2			
	21	120.42	2	44	0	0.09	Private	Residential	R-2			
Love Street	12	120.35	1	47	0	0.05	Private	Residential	R-2			
	18	120.35	1	48	0	0.10	Private	Residential	R-2			
	21	120.35	1	45	1	0.21	Private	Residential	R-2			
	22-24	120.35	1	49	0	0.10	Private	Residential	R-2			
	25	120.34	2	30	0	0.10	Public	Vacant	R-2			x
	26	120.35	1	50	0	0.10	Private	Vacant	R-2			x
	29	120.34	2	29	0	0.15	Private	Residential	R-2			
	30	120.35	1	51	0	0.10	Private	Residential	R-2			
	36	120.35	1	52	0	0.10	Private	Residential	R-2			
	39	120.34	2	28	3	0.18	Private	Residential	R-2			
	40	120.35	1	54	1	0.20	Private	Residential	R-2			
	43	120.34	2	27	0	0.12	Private	Residential	R-2			
	47	120.34	2	26	0	0.12	Public	Vacant	R-2			x
	48	120.34	2	22	1	0.14	Private	Residential	R-2			
	52	120.34	2	21	1	0.14	Private	Residential	R-2			
	63	120.34	2	24	1	0.21	Private	Vacant	R-2			x
	64	120.34	2	18	1	0.17	Private	Residential	R-2			
69	120.34	2	23	0	0.05	Private	Residential	R-2				
74	120.34	2	16	1	0.11	Private	Residential	R-2				
78	120.34	2	15	0	0.06	Private	Residential	R-2				
Lynchford Park A	4	120.41	1	47	0	0.10	Private	Residential	R-1			
	8	120.41	1	46	0	0.10	Private	Residential	R-1			
	16	120.41	1	45	0	0.10	Private	Residential	R-1			
Lynchford Park B	7	120.41	1	42	0	0.10	Private	Residential	R-1			
	15	120.41	1	43	0	0.10	Private	Residential	R-1			
Moran Street	10	120.50	2	1	7	0.52	Private	Commercial	IPD #10		x	
	24	120.50	2	53	0	0.12	Private	Commercial	R-1		x	
New York Street	4-4.5	120.35	4	18	0	0.10	Private	Residential	R-2			
	7	120.35	4	13	1	0.13	Private	Residential	R-2			

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
New York Street	8	120.35	4	16	2	0.37	Public	Vacant	R-2			x
	14	120.35	3	29	0	0.10	Private	Residential	R-2			
	16-18	120.35	3	30	1	0.18	Private	Residential	R-2			
	20	120.35	3	32	1	0.32	Private	Residential	R-2			
	25	120.43	1	22	0	0.11	Private	Residential	R-2			
	27	120.43	1	21	0	0.08	Private	Residential	R-2			
	32	120.35	3	36	3	0.10	Public	Vacant	R-2			x
	34	120.35	3	35	2	0.10	Private	Residential	R-2			
Saxton Street	8	120.35	2	7	0	0.02	Public	Vacant	R-2			x
	10	120.35	2	6	0	0.06	Public	Vacant	R-2			x
	11	120.35	1	17	1	0.29	Public	Vacant	R-2			x
	14	120.35	2	5	0	0.09	Private	Residential	R-2			
	17	120.35	1	16	0	0.11	Private	Residential	R-2			
	18	120.35	2	4	0	0.09	Private	Residential	R-2			
	24-30	120.35	2	1	1	0.21	Private	Public Service	R-2			
	25	120.35	1	14	2	0.33	Private	Residential	R-2			
Silver Street	44	120.27	2	64	0	0.01	Private	Public Service	R-2			
	11	120.35	2	17	0	0.07	Private	Residential	R-2			
	15	120.35	2	16	0	0.06	Private	Residential	R-2			
	17	120.35	2	10	0	0.75	Private	Commercial	R-2			
	19	120.35	2	9	0	0.21	Private	Industrial	R-2			
	22	120.35	1	27	0	0.10	Private	Residential	M-1			
	23	120.35	2	2	0	0.06	Private	Commercial	R-2			
	25	120.35	1	26	0	0.05	Private	Residential	R-2			
	28	120.35	1	28	0	0.10	Public	Vacant	M-1			x
	29	120.35	1	25	0	0.05	Private	Residential	R-2			
	32	120.35	1	29	0	0.33	Private	Commercial	M-1		x	
	40	120.35	1	30	0	0.75	Private	Commercial	M-1			
	43	120.35	1	23	0	0.05	Public	Vacant	R-2			x
	47	120.35	1	22	0	0.06	Private	Residential	R-2			
	51	120.35	1	21	1	0.06	Private	Residential	R-2			
	52	120.35	1	31	0	0.26	Private	Commercial	M-1			
	57	120.35	2	83	0	0.11	Private	Residential	R-2			
	62	120.35	1	32	0	0.15	Private	Vacant	M-1			x
	63	120.35	2	82	0	0.14	Private	Residential	R-2			
	67	120.35	2	81	0	0.12	Private	Residential	R-2			
70	120.35	1	33	0	0.25	Private	Commercial	M-1				
73	120.35	2	80	0	0.13	Private	Residential	R-2				
75	120.35	2	79	0	0.13	Private	Residential	R-2				
79	120.35	2	78	0	0.13	Private	Vacant	R-2			x	
87	120.35	2	77	0	0.13	Private	Residential	R-2				

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Silver Street	88	120.35	1	34	0	1.37	Private	Commercial	M-1			
	91	120.35	2	76	1	0.25	Public	Residential	R-2			
	96	120.35	1	35	0	0.11	Private	Residential	R-2			
	100	120.35	1	36	0	0.08	Public	Vacant	R-2			x
	101	120.35	2	74	0	0.13	Private	Residential	R-2			
	105-109	120.35	2	72	1	0.25	Private	Residential	R-2			
	106	120.35	1	37	0	0.08	Private	Residential	R-2			
	112	120.35	1	39	1	0.12	Public	Vacant	R-2			x
	122	120.35	1	40	0	0.09	Private	Residential	R-2			
	126	120.35	1	41	1	0.16	Private	Residential	R-2			
	127	120.35	2	66	0	0.06	Private	Vacant	R-2			x
	131	120.35	2	65	0	0.07	Private	Residential	R-2			
	134	120.35	1	43	2	0.04	Public	Vacant	R-2			x
	135	120.35	2	64	0	0.07	Private	Residential	R-2			
	138	120.35	1	43	1	0.04	Private	Vacant	R-2			x
	140	120.35	1	44	2	0.13	Private	Residential	R-2			
	141	120.35	2	63	0	0.07	Private	Residential	R-2			
	142	120.35	1	44	3	0.03	Private	Vacant	R-2			x
	144	120.34	2	31	0	0.11	Private	Residential	R-2			
	145	120.35	2	62	0	0.07	Private	Residential	R-2			
	148	120.34	2	32	1	0.15	Private	Residential	R-2			
	149	120.35	2	61	0	0.07	Private	Residential	R-2			
	162-164	120.34	2	44	1	0.14	Private	Residential	R-2			
	170	120.34	2	45	0	0.09	Public	Vacant	R-2			x
	174	120.34	2	46	0	0.09	Private	Residential	R-2			
	178	120.42	2	17	0	0.03	Private	Residential	R-2			
186-194	120.42	2	14	1	0.66	Private	Residential	R-2		x		
220	120.42	2	7	1	0.28	Public	Vacant	R-2			x	
239	120.42	2	77	0	0.09	Private	Residential	R-1	x			
Taylor Street	5-7	120.42	2	8	0	0.09	Private	Residential	R-2			
	15	120.42	2	9	0	0.14	Private	Residential	R-2			
	19	120.42	2	10	0	0.14	Private	Residential	R-2			
	21	120.42	2	11	0	0.14	Private	Residential	R-2			
	24	120.42	2	12	0	0.07	Private	Residential	R-2			
	30	120.34	2	47	0	0.10	Private	Residential	R-2			
	31	120.34	2	78	0	0.16	Private	Residential	R-2			
	34	120.34	2	48	0	0.10	Public	Residential	R-2			
	35	120.34	2	77	0	0.12	Private	Residential	R-2			
	38	120.34	2	49	0	0.06	Private	Residential	R-2			
	39	120.34	2	76	0	0.06	Private	Residential	R-2			
	43	120.34	2	75	0	0.06	Private	Vacant	R-2			x

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
Taylor Street	44	120.34	2	50	0	0.09	Private	Vacant	R-2			x
	51	120.34	2	74	0	0.24	Private	Residential	R-2			
	55	120.34	2	72	3	0.12	Public	Vacant	R-2			x
	61	120.34	2	72	2	0.12	Private	Residential	R-2			
	65	120.34	2	71	0	0.12	Public	Vacant	R-2			x
	69	120.34	2	70	0	0.12	Public	Vacant	R-2			x
	72	120.34	2	52	0	0.07	Public	Residential	R-2			
	73	120.34	2	69	0	0.06	Private	Residential	R-2			
	76	120.34	2	53	0	0.07	Private	Residential	R-2			
	79	120.34	2	68	0	0.06	Private	Residential	R-2			
	80	120.34	2	54	0	0.08	Private	Residential	R-2			
	83	120.34	2	67	1	0.17	Private	Residential	R-2			
	84	120.34	2	55	0	0.08	Private	Vacant	R-2			x
	90	120.34	2	56	0	0.08	Private	Residential	R-2			
	91	120.34	2	65	1	0.36	Private	Residential	R-2			
	94	120.34	2	57	0	0.06	Private	Residential	R-2			
	95	120.34	2	64	0	0.11	Private	Residential	R-2			
	98	120.34	2	58	0	0.06	Private	Residential	R-2			
	101	120.34	2	63	0	0.11	Private	Residential	R-2			
	105	120.34	2	62	0	0.11	Private	Vacant	R-2			x
107	120.34	2	61	0	0.11	Private	Vacant	R-2			x	
109	120.34	2	60	0	0.12	Public	Vacant	M-1			x	
110	120.34	2	14	0	0.25	Public	Vacant	M-1			x	
113	120.34	2	59	0	0.02	Private	Vacant	M-1			x	
Terry Street	5	120.35	3	51	0	0.05	Private	Residential	R-2			
	6	120.35	3	16	2	0.05	Public	Vacant	R-2			x
	7-7.5	120.35	3	52	0	0.11	Private	Residential	R-2			
	8	120.35	3	15	0	0.12	Private	Residential	R-2			
	9	120.35	3	53	0	0.11	Private	Residential	R-2			
	10	120.35	3	14	0	0.10	Public	Vacant	R-2			x
	11	120.35	3	54	2	0.11	Private	Residential	R-2			
	12	120.35	3	13	0	0.11	Private	Residential	R-2			
	13	120.35	3	54	3	0.05	Private	Vacant	R-2			x
	14-16	120.35	3	12	1	0.22	Private	Residential	R-2			
15	120.35	3	56	1	0.16	Private	Residential	R-2				
Victoria Street	8	120.35	2	55	0	0.07	Private	Residential	R-2			
	9	120.43	1	10	1	0.10	Public	Vacant	C-2			x
	12	120.35	2	56	0	0.07	Private	Residential	R-2			
	16	120.35	2	57	0	0.07	Private	Residential	R-2			
	20	120.35	2	58	0	0.07	Public	Vacant	R-2			x
W Main Street	600	120.36	1	65	0	0.45	Private	Commercial	C-2			

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
W Main Street	601-603	120.44	1	4	0	0.30	Private	Commercial	C-2			
	613-625	120.44	1	2	0	0.36	Private	Commercial	C-2			
	614	120.44	1	1	0	0.22	Private	Commercial	C-2			
	626	120.43	1	23	0	0.32	Private	Commercial	C-2			
	627-635	120.43	2	18	0	0.16	Private	Commercial	C-2			
	636	120.43	1	24	1	0.56	Private	Commercial	C-2			
	639-643	120.43	2	17	0	0.14	Private	Residential	C-2			
	644	120.43	1	25	1	0.16	Private	Residential	C-2			
	645	120.43	2	16	0	0.42	Private	Commercial	C-2			
	653	120.43	2	15	0	0.26	Private	Commercial	C-2			
	660-668	120.43	1	26	1	1.14	Private	Community Service	C-2			
	672-674	120.43	1	27	0	0.23	Private	Residential	C-2			
	675	120.43	2	14	1	1.31	Private	Commercial	C-2			
	684	120.43	1	28	0	0.22	Private	Commercial	C-2			
	685	120.43	2	13	1	0.47	Private	Commercial	C-2			
	700	120.43	1	29	0	0.47	Private	Commercial	C-2			
	701	120.43	2	12	0	0.17	Private	Commercial	C-2			
	706	120.43	1	30	0	0.12	Private	Commercial	C-2			
	707	120.43	2	11	0	0.17	Private	Commercial	C-2			
	712	120.43	1	31	0	0.27	Private	Commercial	C-2			
	715-723	120.43	2	10	0	0.44	Private	Commercial	C-2			
	720	120.43	1	32	0	0.57	Private	Community Service	C-2			
	731	120.43	2	9	0	0.30	Private	Commercial	C-2			
	736	120.43	1	33	0	1.29	Private	Community Service	C-2			
	737	120.43	2	8	0	0.13	Private	Commercial	C-2			
	747	120.43	2	7	0	0.13	Private	Commercial	C-2			
	750-782	120.43	1	36	3	2.78	Private	Community Service	C-2	x		
	751-757	120.43	2	6	0	0.12	Private	Commercial	C-2			
	759-763	120.43	2	5	0	0.12	Private	Commercial	C-2			
	765-771	120.43	2	4	0	0.42	Private	Commercial	C-2			
	792-814	120.43	1	40	1	0.66	Private	Commercial	C-2	x		
	795-801	120.43	2	3	0	0.34	Private	Commercial	C-2	x		
816-824	120.43	1	41	1	0.38	Private	Commercial	C-2	x			
819-827	120.43	2	2	0	0.66	Private	Community Service	C-2				
835-855	120.50	2	2	2	4.24	Private	Commercial	C-2	x			
842-848	120.42	2	51	2	0.37	Public	Vacant	C-2			x	
856	120.42	2	52	0	0.09	Public	Vacant	C-2	x		x	
878	120.42	2	59	2	0.02	Private	Vacant	C-2			x	
886	120.42	2	60	3	0.80	Private	Commercial	C-2	x			
888-892	120.42	2	61	0	0.06	Public	Commercial	C-2	x			
894-898	120.42	2	62	1	0.11	Private	Commercial	C-2	x			

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
W Main Street	900	120.42	2	63	0	0.05	Public	Commercial	C-2	x		
	904	120.42	2	64	0	0.06	Private	Commercial	C-2			
	906-910	120.42	2	65	0	0.10	Private	Commercial	C-2	x		
	912-916	120.42	2	66	0	0.10	Private	Commercial	C-2	x	x	
	918-922	120.42	2	67	0	0.13	Private	Commercial	C-2			
	924-930	120.42	2	68	0	0.14	Private	Commercial	C-2	x		
	932-938	120.42	2	69	0	0.16	Private	Commercial	C-2	x		
Wentworth Street	6	120.43	1	17	0	0.15	Private	Residential	R-2			
	10	120.43	1	18	0	0.09	Private	Residential	R-2			
	11-13	120.43	1	16	0	0.15	Private	Residential	R-2			
	14	120.43	1	20	1	0.15	Private	Residential	R-2			
	15	120.43	1	15	0	0.10	Public	Residential	R-2			
	19	120.35	3	76	0	0.08	Private	Residential	R-2			
	21	120.35	3	77	0	0.05	Private	Residential	R-2			
	22	120.35	3	74	1	0.16	Public	Vacant	R-2			x
West Avenue	23-25	120.35	3	79	1	0.16	Private	Residential	R-2			
	4-12	120.42	1	47	0	0.32	Private	Commercial	C-2			
	24-26	120.42	1	49	1	0.23	Public	Vacant	C-2			x
	40	120.42	1	61	0	0.47	Private	Community Service	C-2	x		
	45	120.50	1	6	0	0.09	Private	Residential	R-2			
	49	120.50	1	5	0	0.09	Private	Residential	R-2			
	55	120.50	1	4	0	0.12	Private	Residential	R-2			
	56	120.42	1	70	2	3.35	Private	Community Service	C-2	x		
	65	120.50	1	3	0	0.15	Private	Residential	R-2			
	73	120.50	1	2	0	0.14	Private	Residential	R-2			
	107-109	120.50	1	1	0	1.25	Private	Commercial	R-2	x		
	121-127	120.49	2	8	0	0.22	Private	Commercial	R-2			
	140	120.41	1	60	0	2.45	Private	Commercial	C-2			
	143	120.49	2	7	0	0.32	Private	Residential	R-2			
	165	120.49	2	6	0	0.55	Private	Residential	R-2			
	185	120.49	2	5	0	0.25	Private	Residential	R-1			
	195	120.49	2	4	0	0.16	Private	Residential	R-1			
	200	120.41	1	61	0	4.51	Public	Community Service	O-S			
	201	120.49	2	3	0	0.17	Private	Residential	R-1			
	205	120.49	2	2	0	0.19	Private	Residential	R-1			
219	120.49	2	1	0	0.20	Private	Residential	R-1				
235	120.49	1	9	0	0.17	Private	Residential	R-1				
241	120.49	1	8	0	0.21	Private	Residential	R-1				
247	120.49	1	7	0	0.21	Private	Residential	R-1				
253	120.49	1	6	0	0.13	Public	Residential	R-1				
253R	120.49	1	49	0	0.01	Private	Vacant	R-1			x	

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
West Avenue	261	120.49	1	5	0	0.16	Private	Residential	R-1			
	273	120.49	1	4	0	0.28	Private	Residential	R-2			
	279	120.49	1	3	0	0.47	Private	Residential	R-2			
	295	120.49	1	2	0	0.28	Private	Residential	R-2			
	303	120.49	1	1	0	0.17	Private	Residential	R-2			
Wright Street	22	120.34	1	59	1	1.20	Private	Commercial	M-1			
	23	120.34	1	57	0	0.15	Private	Residential	R-1			
	29	120.34	1	56	0	0.15	Private	Residential	R-1			
	33	120.34	1	55	0	0.15	Private	Residential	R-1			
	39	120.34	1	54	0	0.15	Private	Residential	R-1			
	45-47	120.34	1	53	0	0.15	Private	Residential	R-1			
	49	120.34	1	52	0	0.15	Public	Residential	R-1			
	55	120.33	2	31	3	0.03	Public	Vacant	R-1			x
	61	120.33	2	31	2	0.03	Private	Residential	R-1			
York Street	21-23	120.42	1	46	0	0.10	Public	Commercial	R-1	x		
	24	120.42	2	70	0	0.22	Private	Commercial	C-2	x	x	
	27	120.42	1	45	0	0.10	Private	Residential	R-1			
	32	120.42	2	71	0	0.13	Private	Commercial	C-2	x	x	
	35	120.42	1	44	0	0.09	Private	Residential	R-1			
	37	120.42	1	43	0	0.07	Private	Residential	R-1			
	42	120.42	2	72	1	0.14	Private	Commercial	C-2	x	x	
	43-55	120.42	1	40	1	0.47	Private	Residential	R-1	x		
	50	120.42	2	73	0	0.23	Private	Commercial	C-2	x		
	61	120.42	1	39	0	0.10	Private	Residential	R-1			
	64	120.42	2	74	0	0.15	Public	Vacant	R-1			x
	65-67	120.42	1	38	0	0.11	Private	Residential	R-1	x		
	68-70	120.42	2	75	0	0.11	Public	Commercial	R-1			
	71-73	120.42	1	37	0	0.10	Private	Residential	R-1			
	76	120.42	2	76	0	0.09	Public	Residential	R-1			
	86	120.42	2	4	0	0.14	Private	Residential	R-1			
	87	120.42	1	23	0	0.06	Public	Vacant	R-1			x
	90	120.42	2	3	0	0.14	Private	Residential	R-1	x		
	93	120.42	1	22	0	0.10	Private	Residential	R-1			
	98	120.42	2	2	0	0.28	Private	Commercial	R-1			
99	120.42	1	21	0	0.10	Private	Residential	R-1				
103	120.42	1	20	0	0.09	Private	Residential	R-1				
107	120.42	1	19	0	0.12	Private	Residential	R-1				
108	120.42	2	1	0	0.14	Private	Residential	R-1				
112	120.34	2	79	0	0.16	Public	Residential	R-1				
116-118	120.34	2	80	0	0.14	Private	Residential	R-1				
119	120.34	1	34	0	0.05	Private	Residential	R-1				

Bulls Head Brownfield Opportunity Area Property Information

Street	Address	Section	Block	Lot	Sub-Lot	Size (acres)	Owner Type ⁽¹⁾	Current City Use (Based on Assessment Code)	Zoning	Potential Brownfield	Underutilized Lot	Vacant (Based on Current Information)
York Street	124	120.34	2	81	0	0.20	Private	Residential	R-1			
	125	120.34	1	33	0	0.08	Private	Vacant	R-1			x
	129	120.34	1	32	0	0.05	Private	Residential	R-1			
	131	120.34	1	31	0	0.09	Private	Residential	R-1			
	132	120.34	2	82	0	0.12	Private	Residential	R-1			
	134	120.34	2	83	1	0.24	Private	Residential	R-1			
	135	120.34	1	30	0	0.11	Private	Residential	R-1			
	139	120.34	1	29	0	0.11	Private	Residential	R-1			
	142-144	120.34	2	86	1	0.12	Private	Residential	R-1			
	143	120.34	1	28	0	0.11	Private	Residential	R-1			
	147	120.34	1	27	0	0.11	Public	Residential	R-1			
	148	120.34	2	87	0	0.12	Private	Residential	R-1			
	151	120.34	1	26	0	0.11	Private	Vacant	R-1			x
	152	120.34	2	88	0	0.12	Private	Vacant	R-1			x
	156	120.34	2	89	0	0.08	Private	Vacant	R-1			x
	157	120.34	1	25	0	0.11	Private	Commercial	R-1		x	
	160-162	120.34	2	90	0	0.17	Private	Commercial	R-1			
	166	120.34	2	91	0	0.11	Public	Vacant	R-1			x
	170	120.34	2	92	0	0.11	Private	Residential	R-1			
	171	120.34	1	24	0	1.57	Private	Industrial	M-1			
174	120.34	2	93	0	0.10	Public	Vacant	R-1			x	
180	120.34	2	94	0	0.14	Private	Residential	R-1				
184-190	120.34	2	95	0	0.33	Private	Commercial	M-1		x		
No Address		120.35	4	2	2	0.00	Private					x
		120.35	4	2	3	0.00	Private					x

(1) Owner type based on City of Rochester Real Estate Master Inventory, dated February 2009.

LAND OWNERSHIP

The following map graphic depicts land ownership patterns within the PBOA. Unity Health Systems owns the largest occupied parcel within the PBOA. The City of Rochester also owns a sizeable number of parcels, especially concentrated within the heart of the PBOA. Many of the properties owned by the City of Rochester have resulted from foreclosures.

NATURAL RESOURCES

The PBOA contains few natural resources, consisting mainly of small parks and recreational fields associated with community centers or as dedicated open space. Within the neighborhood, the Danforth Community Center, located on West Avenue, provides the only recreational opportunity for residents. The Susan B. Anthony Park on Madison Street, Wilson Park, the James Madison High School on Kirkland Road and Gardner Street park provide other recreational opportunities just outside of the area.

There are no wetlands, floodplains, unique topography or land forms, streams or ponds located in the immediate area as shown in Map 8. Groundwater in the area of the PBOA and the surrounding area is not used as a source of potable water (municipal water is used in the area).

SUMMARY OF PRELIMINARY ANALYSIS AND RECOMMENDATIONS

Guiding Principles

Physical redevelopment of the area will be informed by both environmental and market conditions. As the city moves forward in assessing potential land use and physical development options, the following key principals will help inform future planning, decision making and policy affecting the PBOA.

Respecting Human Scale

Buildings and public spaces must relate to one another in a way that respects the human scale. Building size is an important consideration in this neighborhood focal point. Creating human-scaled development will also depend on how structures are sited on lots, how the property relates to the public realm, and how open space, landscaping and streetscape elements are incorporated into the design.

Sustainable Patterns of Development

The pattern of development, which is the footprint of a community, greatly impacts long-term success and viability. How and where land uses, transportation and community resources are located and connected significantly impacts how people live their lives and meet their daily needs. Sustainable development patterns maximize available land and existing infrastructure. The plan for the project site will need to enhance physical connections and encourage designs that maximize community resources,

improve inter-relationships among people and places, and ensure that all elements of community are adequately addressed.

Development patterns are influenced by the way that individual parcels are developed. The internal organization and development of these parcels will directly and indirectly impact the vibrancy, function, attractiveness and performance of the entire project site. Buildings should be located close to the street edge with zero or minimal setbacks. Vehicular access should be safely accommodated to the rear or side of buildings whenever possible. Pedestrian linkages among adjacent development should be well-defined, safe, and inviting.

Landscaping and Streetscaping

Often overlooked or undervalued, the physical and natural landscape of communities greatly impacts their perceived quality, viability, and sustainability. Landscaping includes many common types of foliage such as street trees, planters, vines, and ground cover. Streetscaping also includes sidewalks, street lights, hardscapes, and other amenities that create the edges and define the focal points of our landscaped areas. When combined, they create lush environments, shade our roadways, and enhance our physical surroundings.

Mixed Use

The traditional urban model for development incorporates multiple uses into a single area or structure. Development in these areas is typically dictated by form, not use. The result is an active area where people can live, work, and play within a walkable distance. Activity along the street adds to the liveliness and interest of an area and contributes to an ambiance of vitality and safety.

Multi-Modal Access

Successful urban neighborhoods easily accommodate multiple modes of transportation and their related accommodations. Transportation facilities and networks must connect a wide variety of uses and provide safe and secure passage for pedestrians, bicyclists and motorists.

From street patterns and roadway design to pedestrian and bicycle furnishings, the recommendations in this plan will define reasonable and attractive spaces for movement throughout the project area. The recommendations will expand opportunities for other modes of travel, creating connected, walkable places where they make the most sense and ensuring safe vehicular movement throughout.

History and Character

The neighborhood's rich history should be reflected in the physical and programmatic enhancements made over time. The project area's character has been influenced by Bull's Heads historic role as the western gateway to Rochester's Center City and its present day proximity to other historic areas and attractions. The physical character of this historic neighborhood should be reflected in Bull's Head's redevelopment, whether its current form remains or the area is newly defined. The project area's sense of place should be defined by and reflected in its design. From signage and wayfinding to building

styles and materials, a recognizable theme should be developed to tie the area together and create a logical connection to nearby neighborhoods.

People Promote Activity

Vibrant streets attract activity throughout the day and evening. Businesses and neighborhood centers thrive in areas where residential development is closely located. Infusing diverse residential living opportunities not currently available directly within the PBOA will be a critical consideration. Whether revitalizing existing residential living spaces or creating new ones, their impact on the surrounding community's vitality and future sustainability is significant.

Defensible Spaces

Public spaces need to be safe and comfortable for the residents, employees, merchants and visitors. Defensible spaces are achieved through well designed lighting, obvious connectivity, façade and site transparency, and well established relationships between structures and surrounding public spaces (e.g. sidewalks, streets, parking areas). Development should be easy to move to and through and access for all modes of transportation is obvious and well organized.

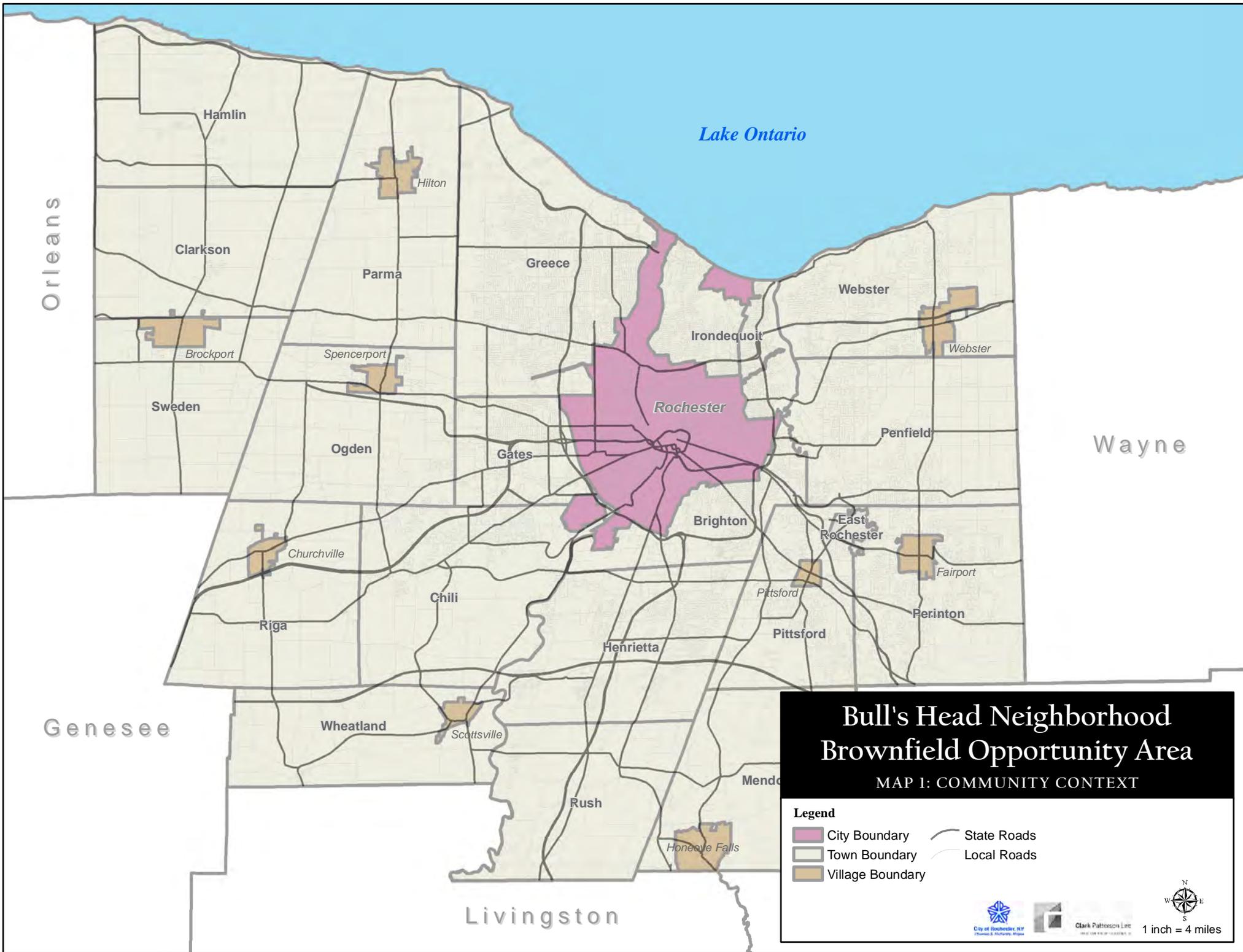
Attention to Detail

Addressing the details, in both the public and private realm, will enhance how the area looks, feels, and flows. In community planning and design, details can take many forms. Urban furnishings—lighting, benches, trash receptacles, public art, fountains, etc.—help determine the level of engagement and interest in public and private spaces. When located appropriately and in a manner that promotes safety, they provide continuity and unity and help establish a sense of place.

Target Area Planning

In order to leverage planning efforts to date, maximize investment in advanced studies and improve the likelihood of successful implementation of proposed recommendations and redevelopment alternatives, the PBOA will be divided into logical sub-areas for further study and analysis. The sub-areas will be defined based on physical and community attributes, past planning and data collection efforts to date.

Although community and boundary profiles will be compiled universally and an overall redevelopment scheme will be created for the entire PBOA, the specific goals and level of analysis of each sub-area will vary. For example, planning and analysis for the already defined sub-area will include the preparation of Phase I site assessments for each parcel to make them available (and more attractive to potential developer) for comprehensive redevelopment.



Bull's Head Neighborhood Brownfield Opportunity Area

MAP 1: COMMUNITY CONTEXT

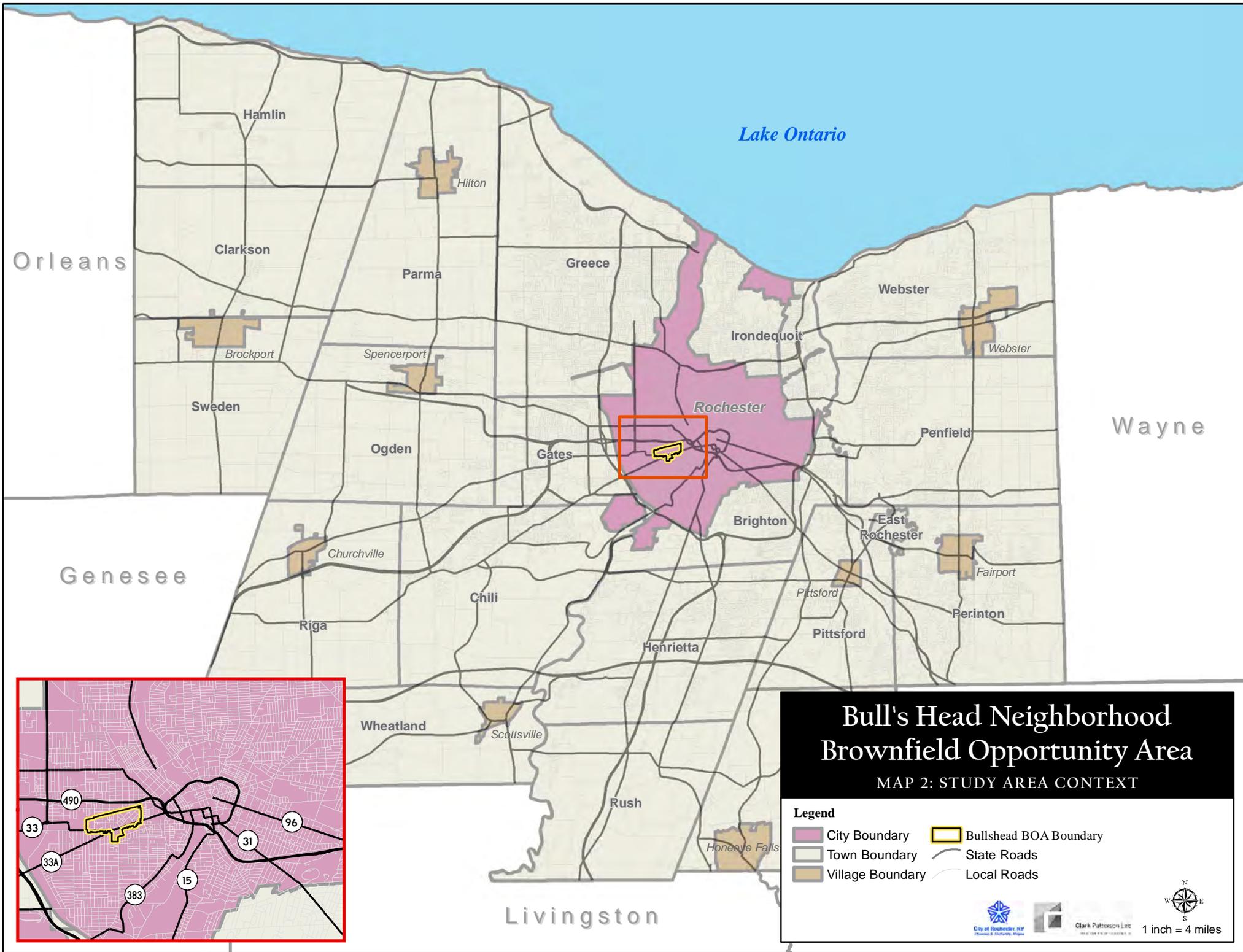
- Legend**
- City Boundary
 - Town Boundary
 - Village Boundary
 - State Roads
 - Local Roads



Clark Patterson LLP
1000 W. WOOD STREET, SUITE 200
ROCHESTER, NY 14620



1 inch = 4 miles



Orleans

Lake Ontario

Wayne

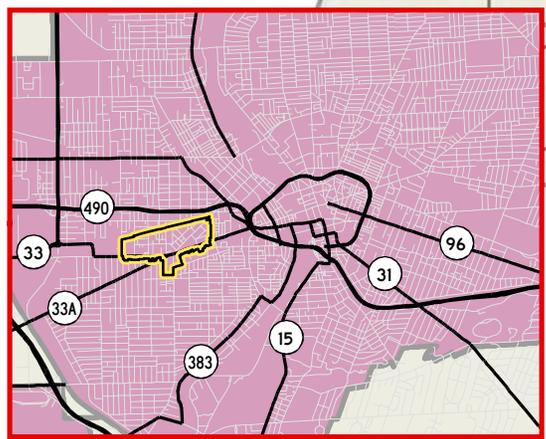
Genesee

Livingston

Bull's Head Neighborhood Brownfield Opportunity Area

MAP 2: STUDY AREA CONTEXT

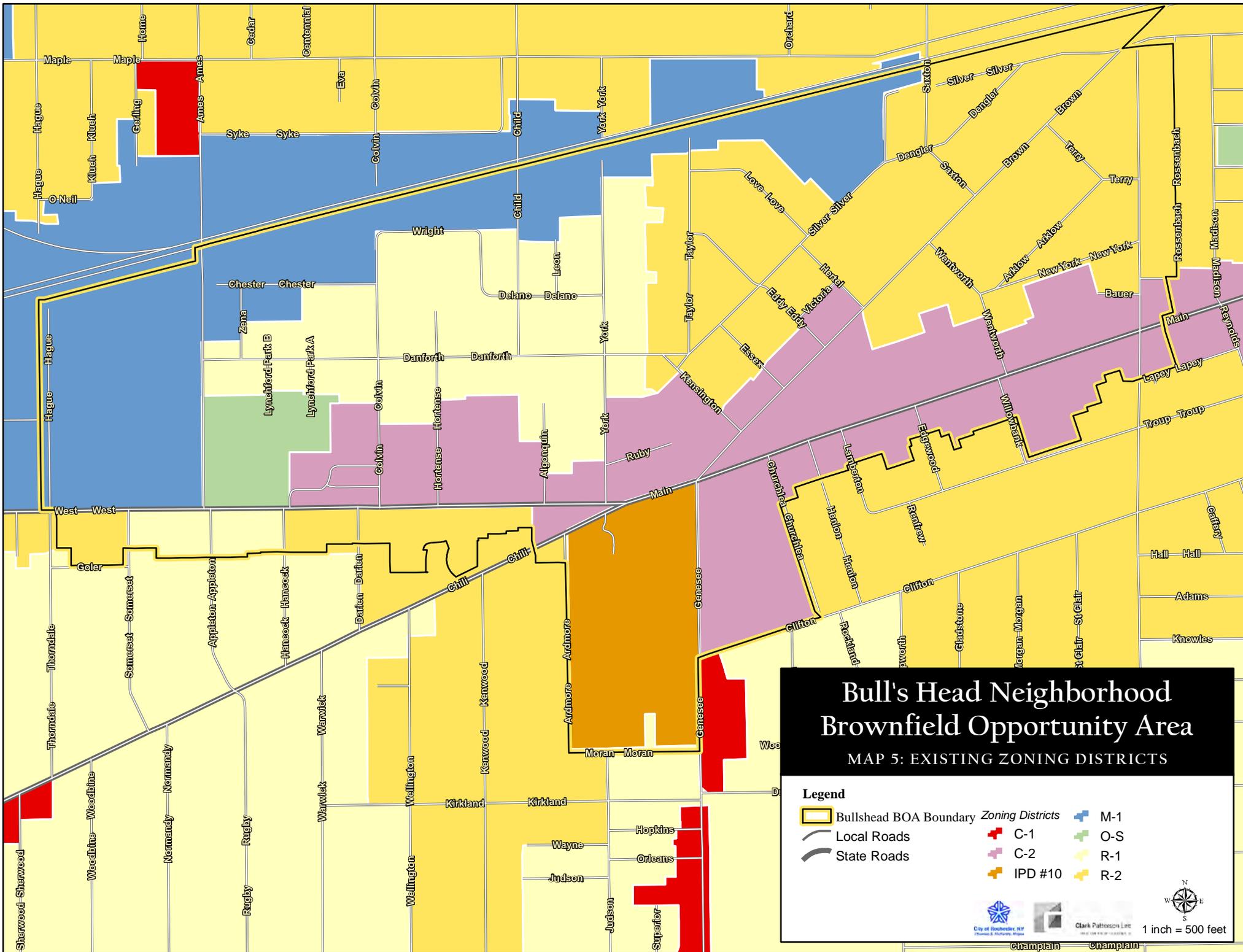
- Legend**
- City Boundary
 - Bullshead BOA Boundary
 - Town Boundary
 - Village Boundary
 - State Roads
 - Local Roads



Clark Patterson LLP
1000 ORANGE WALK, SUITE 200
ROCHESTER, NY 14618



1 inch = 4 miles



Bull's Head Neighborhood Brownfield Opportunity Area

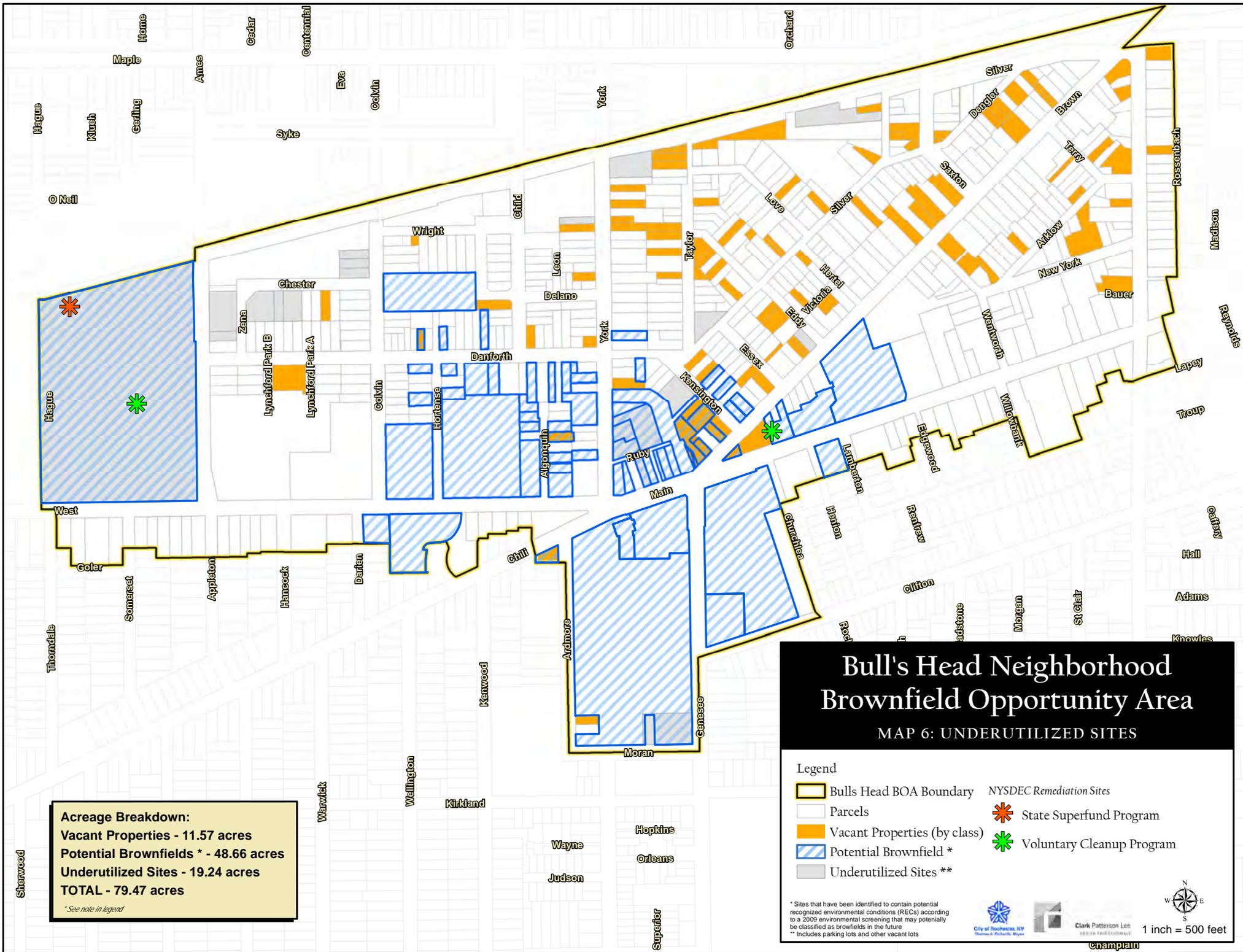
MAP 5: EXISTING ZONING DISTRICTS

Legend

Bullshead BOA Boundary	C-1	M-1
Local Roads	C-2	O-S
State Roads	IPD #10	R-1
		R-2

City of Champlain, NY
 Planning & Economic Development
 Clark Patterson LLC
 1000 CHAMPLAIN BLVD
 CHAMPLAIN, NY 12919

1 inch = 500 feet



Acreage Breakdown:
 Vacant Properties - 11.57 acres
 Potential Brownfields * - 48.66 acres
 Underutilized Sites - 19.24 acres
TOTAL - 79.47 acres

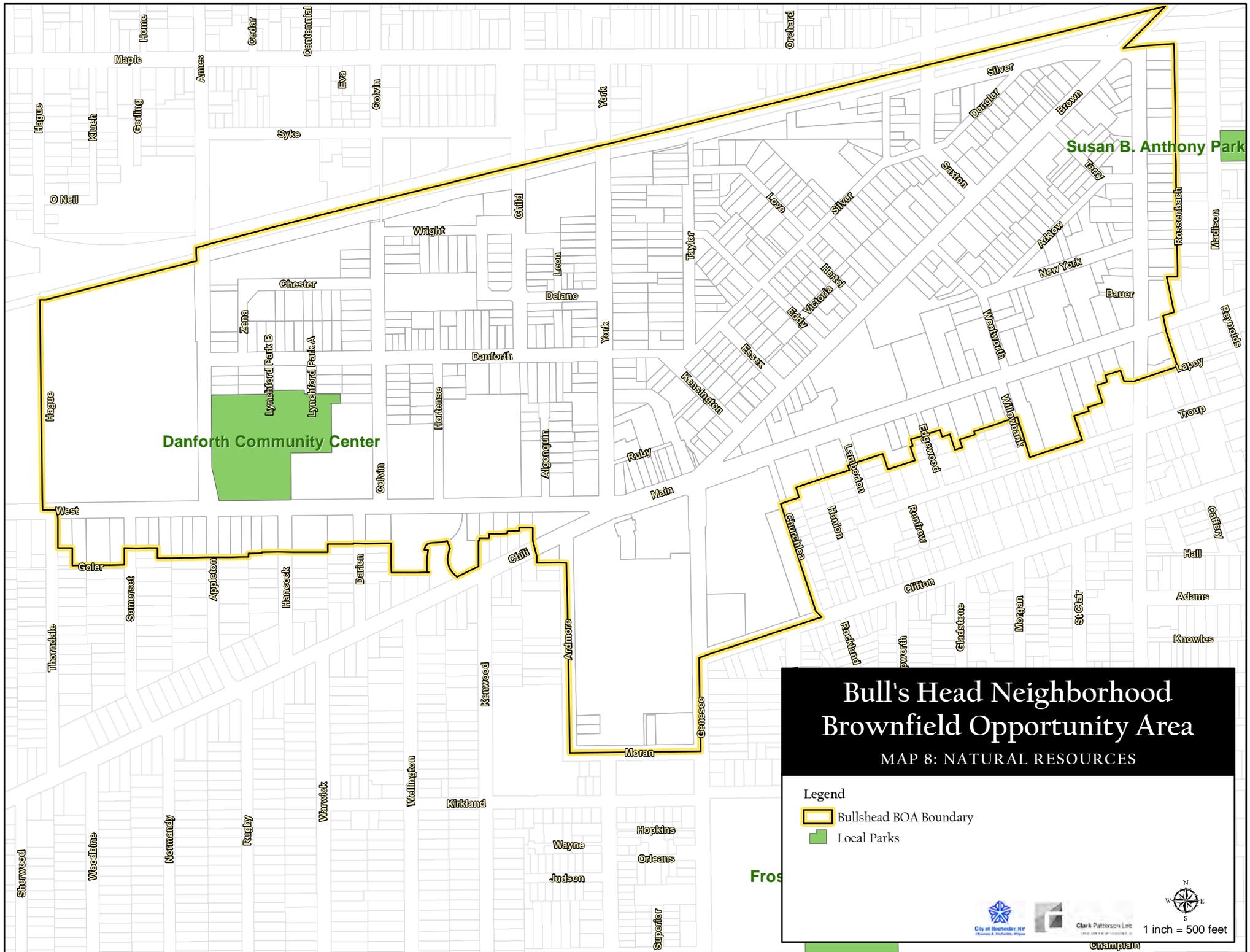
** See note in legend*

Bull's Head Neighborhood Brownfield Opportunity Area

MAP 6: UNDERUTILIZED SITES

- Legend**
- Bulls Head BOA Boundary
 - Parcels
 - Vacant Properties (by class)
 - Potential Brownfield *
 - Underutilized Sites **
 - ✱ NYSDEC Remediation Sites
State Superfund Program
 - ✱ Voluntary Cleanup Program

* Sites that have been identified to contain potential recognized environmental conditions (RECs) according to a 2009 environmental screening that may potentially be classified as brownfields in the future
 ** Includes parking lots and other vacant lots



Bull's Head Neighborhood Brownfield Opportunity Area

MAP 8: NATURAL RESOURCES

- Legend**
- Bullshead BOA Boundary
 - Local Parks



City of Rochester, NY
PLANNING & ECONOMIC DEVELOPMENT



Clark Patterson Lee
PLANNING & ECONOMIC DEVELOPMENT



1 inch = 500 feet

Champion

Appendix A

Photo Inventory

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Bull's Head Representative Images

Silver Street & Brown Street Area



Bull's Head Representative Images

Danforth Street & Colvin Street Area



Bull's Head Representative Images

West Main Street & Brown Street



Bull's Head Representative Images

West Avenue

