

PART 2 SHPO SUBMISSION FOR:

1255 University Avenue Renovation Project

1255 University Avenue
Rochester, NY 14607

April 13, 2016

DRAWING INDEX

A-000	Cover Page	A-124	Unit Plans
A-001	Symbols and Details	A-125	Unit Plans
		A-200	Exterior Elevations North
C-100	Site Plan	A-201	Exterior Elevations South
		A-202	Exterior Elevations East
A-099	Historical Building Phases	A-203	Exterior Elevations West
A-100	Existing Basement Plan	A-204	Exterior Elevations
A-101	Basement Demolition Plan	A-500	Interior Elevations
A-102	Basement Plan	A-800	Wood Sash Window Details
A-103	Existing First Floor Plan	A-801	Wood Fixed Window Details
A-104	First Floor Demolition Plan	A-802	Steel Window Details
A-105	First Floor Plan	A-803	Steel Window Details
A-106	Existing Second Floor Plan	A-804	Steel Window Details
A-107	Second Floor Demolition Plan	A-805	Steel Window Details
A-108	Second Floor Plan	A-806	Steel Window Details
A-109	Third Floor Plan	A-807	New Window Details
A-110	Existing Roof Plan	A-900	3D Views
A-111	Roof Demolition Plan	A-901	3D Views
A-112	Roof Plan		
A-120	Unit Plans		
A-121	Unit Plans		
A-122	Unit Plans		
A-123	Unit Plans		

LOCATION MAP:



CLIENT:

Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607



ARCHITECTURAL:

PA PASSERO ASSOCIATES
engineering architecture

242 West Main Street, Suite 100 (585) 325-1000
Rochester, New York 14614 Fax: (585) 325-1691

STRUCTURAL:

Jensen BRV
ENGINEERING, PLLC
Structural Engineering Consultants
1653 East Main Street
Rochester, New York 14609

MEP:

EC4B engineering, p.c.

15 Schoen Place, Suite 300
Pittsford, NY 14534

DESIGN BUILD STATEMENT:

THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED WITH MINIMAL DETAILING TO OBTAIN A BUILDING PERMIT.

THE SCOPE OF THESE CONSTRUCTION DOCUMENTS IS TO DEPICT A DESIGN INTENT.

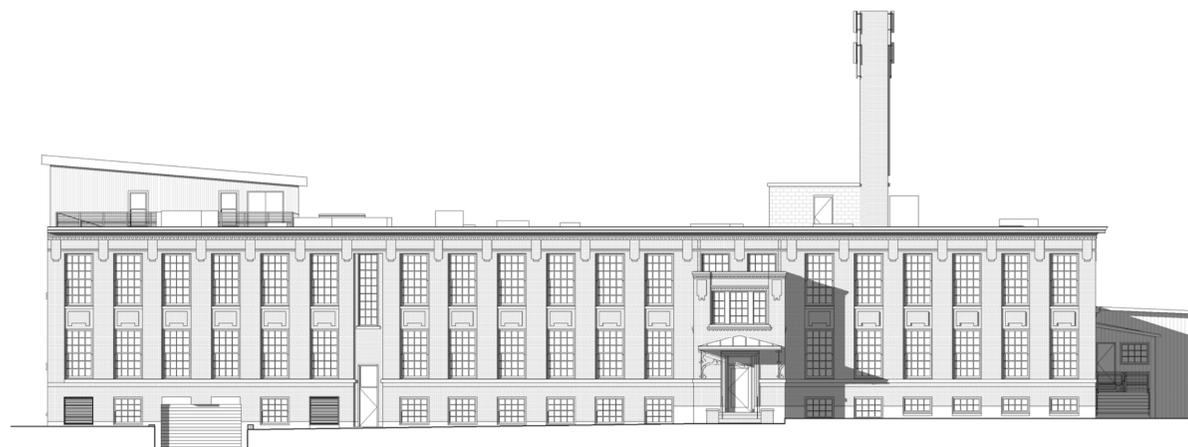
DETAIL AND SIZING OF ANY ADDITIONAL OR NEW STRUCTURAL MEMBERS WILL BE DETERMINED IN THE FIELD PRIOR TO REMOVAL OF ANY EXISTING STRUCTURAL COMPONENT.

THE OWNER, ARCHITECT, ENGINEER, AND CONTRACTOR WILL WORK AS A 'DESIGN-BUILD' TEAM TO DETERMINE FINAL DESIGN OF EACH ITEM AT EACH INSTANCE.

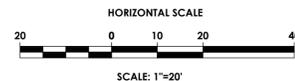
CONSTRUCTION OF PHASE #1 WILL DETERMINE THE STANDARD (DESIGN, QUALITY, ETC.) FOR THE REMAINDER OF THE PROJECT.

ALL CONTRACTORS ENGAGED ON THIS PROJECT SHALL FOLLOW ALL FEDERAL, STATE, AND LOCAL CODES AND SHALL BE RESPONSIBLE FOR ANY DEVIATIONS FROM THESE CODES.

- THE WORK IS TO BE CONDUCTED IN STRICT COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE 'ENVIRONMENTAL PROTECTION AGENCY' (EPA) REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NOTIFICATIONS, PERMITS, AND FEES REQUIRED FOR THIS WORK.



UNIVERSITY AVE.
(80' R.O.W.)



LEGEND:

- R.O.W.
- EXISTING CENTER LINE ROAD
- - - EXISTING FENCE
- - - EXISTING BUILDING
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - PROPOSED CONCRETE
- - - PROPOSED SIGN

SITE DATA

- TAX ACCOUNT NUMBER: 122.38-1-7
- PARCEL ADDRESS: 1255 UNIVERSITY AVENUE
- TOTAL PARCEL AREA: 1.364 ACRES OR 59,417 S.F.
- TOTAL PROJECT AREA: 1.364 ACRES OR 59,417 S.F.
- TOTAL IMPERVIOUS AREA: 1.364 ACRES OR 59,417 S.F.
- EXISTING & PROPOSED ZONING: C-2 COMMUNITY CENTER DISTRICT
- EXISTING USE: RETAIL & COMMERCIAL
- PROPOSED USE: MULTI-FAMILY, RETAIL & COMMERCIAL

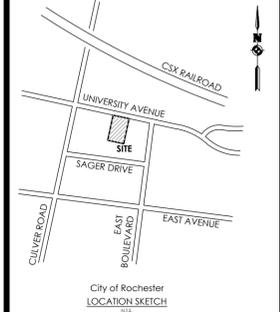
**ZONING ANALYSIS (C-2)
COMMUNITY CENTER DISTRICT - RESIDENTIAL**

	REQUIRED	PROPOSED
MIN. FRONT SETBACK	AVERAGE FRONT YARD DEPTH ON BLOCK - 22.41'	19.4'
MIN. BUILDING HEIGHT	2 STORIES OR 20 FEET	3 STORIES OR +29'
MAX. BUILDING COVERAGE	70%	81.5%*
MAX. LOT COVERAGE	80%	100%*

PARKING ANALYSIS

	EXISTING SPACES	PROPOSED REQUIRED SPACES	PROPOSED SPACES
RESIDENTIAL	N/A	11 1-BEDROOM UNITS x 1 SPC. + 6 2-BEDROOM UNITS x 1.2 SPC. = 18 SPACES	18 GARAGE SPACES
COMMERCIAL	17 ON-SITE SPC. (FRONT) + 16 PUBLIC SPC. (REAR) = 33 SPACES* (119 SPC. REQUIRED BASED ON 59,696 SF EXISTING)	36,498 SF x 2 SPC./1000 SF = 73 SPACES	28 GARAGE SPC. + 14 ON-SITE SPC. (FRONT) + 16 PUBLIC SPC. (REAR) = 58 SPACES

- * EXISTING NON-CONFORMANCE
- THERE ARE NO FEDERALLY REGULATED WETLANDS ON THIS PARCEL ACCORDING TO THE USACOE FEDERAL WETLAND INVENTORY.
 - THERE ARE NO STATE REGULATED WETLANDS ON THIS PARCEL ACCORDING TO NYSDEC WETLAND INVENTORY.
 - THERE IS NO FLOOD PLAIN ON THIS PARCEL PER FEMA FIRM MAPPING.
 - PUBLIC WATER WILL BE PROVIDED BY CITY OF ROCHESTER WATER BUREAU.
 - ELECTRIC SERVICE & GAS WILL BE SUPPLIED BY ROCHESTER GAS & ELECTRIC.
 - SANITARY SEWER WILL BE PROVIDED BY MONROE COUNTY PURE WATERS - ROCHESTER PURE WATERS DISTRICT.
 - STORM SEWER AND DRAINAGE FACILITIES WILL BE OWNED AND MAINTAINED BY PARK GROVE, LLC.
 - ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF CITY OF ROCHESTER.



Client:
Park Grove LLC
46 Prince Street
Suite 2003
Rochester, NY 14607

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: John F. Caruso, P.E.
Project Manager: Jess D. Sudol, P.E.
Designed by: Joseph J. Jacobs, P.E.



Revisions

No.	Date	By	Description
1			

SITE PLAN

1255 UNIVERSITY AVENUE

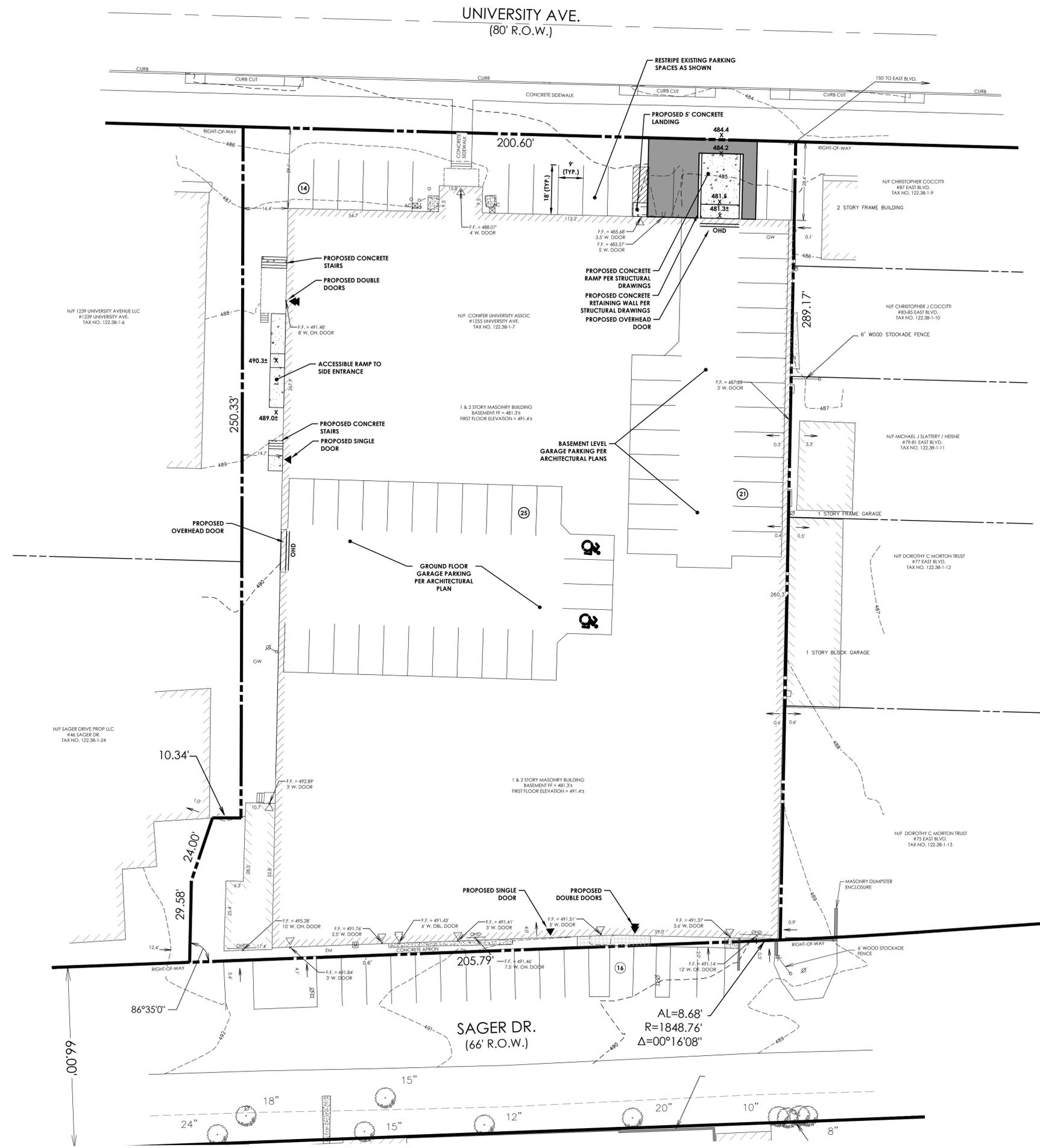
Town/City: Henrietta
County: Monroe State: New York

Project No: 20162181.0002

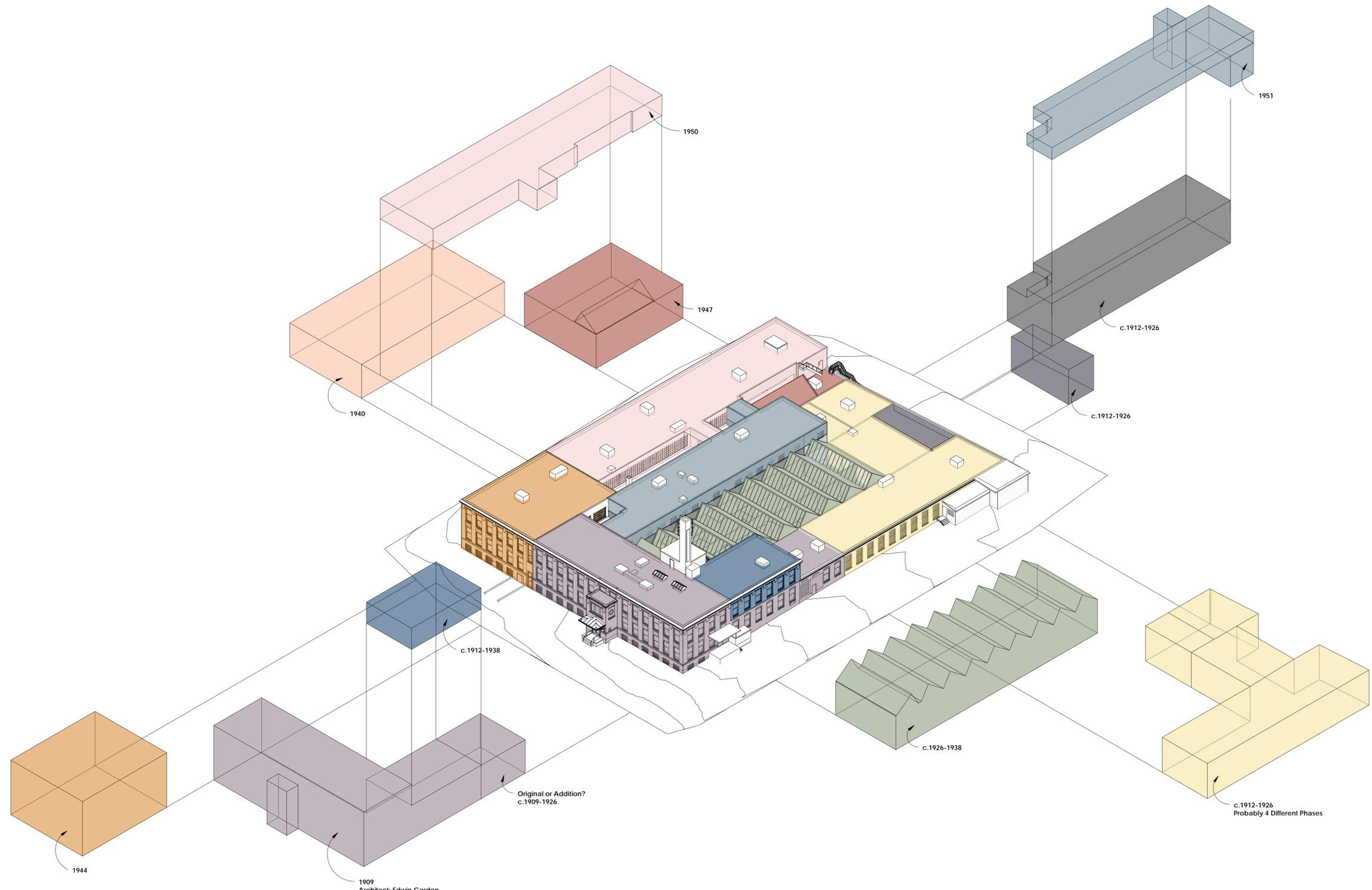
Drawing No: C101 Sheet No: 1

Scale: 1" = 20'

Date: APRIL 2016



Z:\2016\20162181\20162181.0002\DRAWINGS\ENGINEERING\STEP\PLAN.DWG 4/13/2016 11:34 AM Joe Jacobs



① Historical Construction Phases - Exploded Axon

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100
Rochester, NY 14614
Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Historical Building Phases

1255 University Avenue

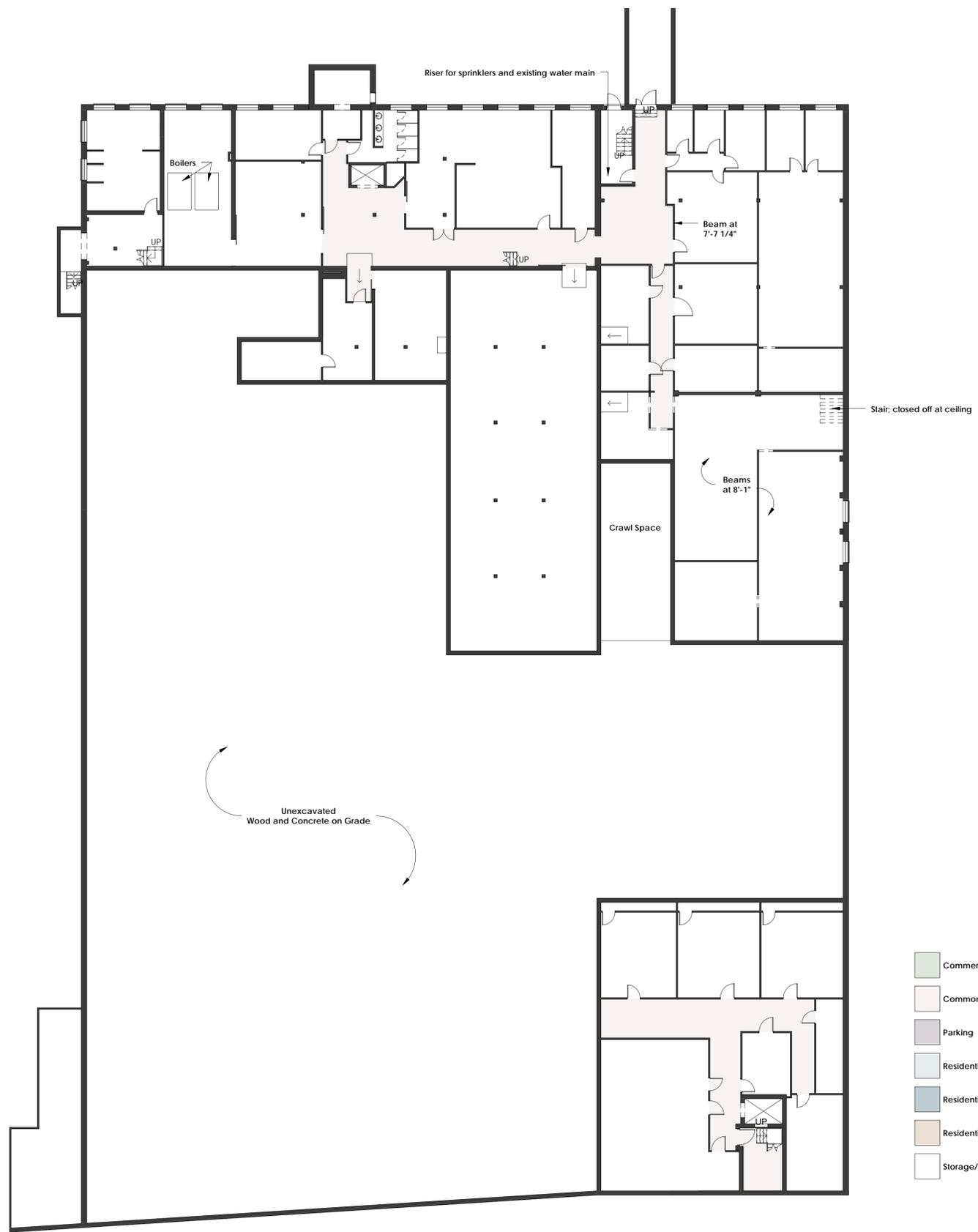
1255 University Avenue
Renovation Project
Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

Drawing No.:
A-099

Date:
April 13, 2016

SHPO Submission



- General Conditions:**
1. Visit the job site to verify existing conditions and dimensions prior to beginning any work. Notify the architect of any discrepancies prior to beginning the work.
 2. Questionable items including, but not limited to found/unknown conditions and items not shown/listed in the contract documents, shall be coordinated with the architect before removing.

- Commercial
- Common
- Parking
- Residential - 1 Bedroom
- Residential - 2 Bedroom
- Residential - Accessory
- Storage/Mechanical

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit



Existing Basement Plan

SHPO Submission

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100
Rochester, NY 14614
(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Existing Basement Plan

1255 University Avenue

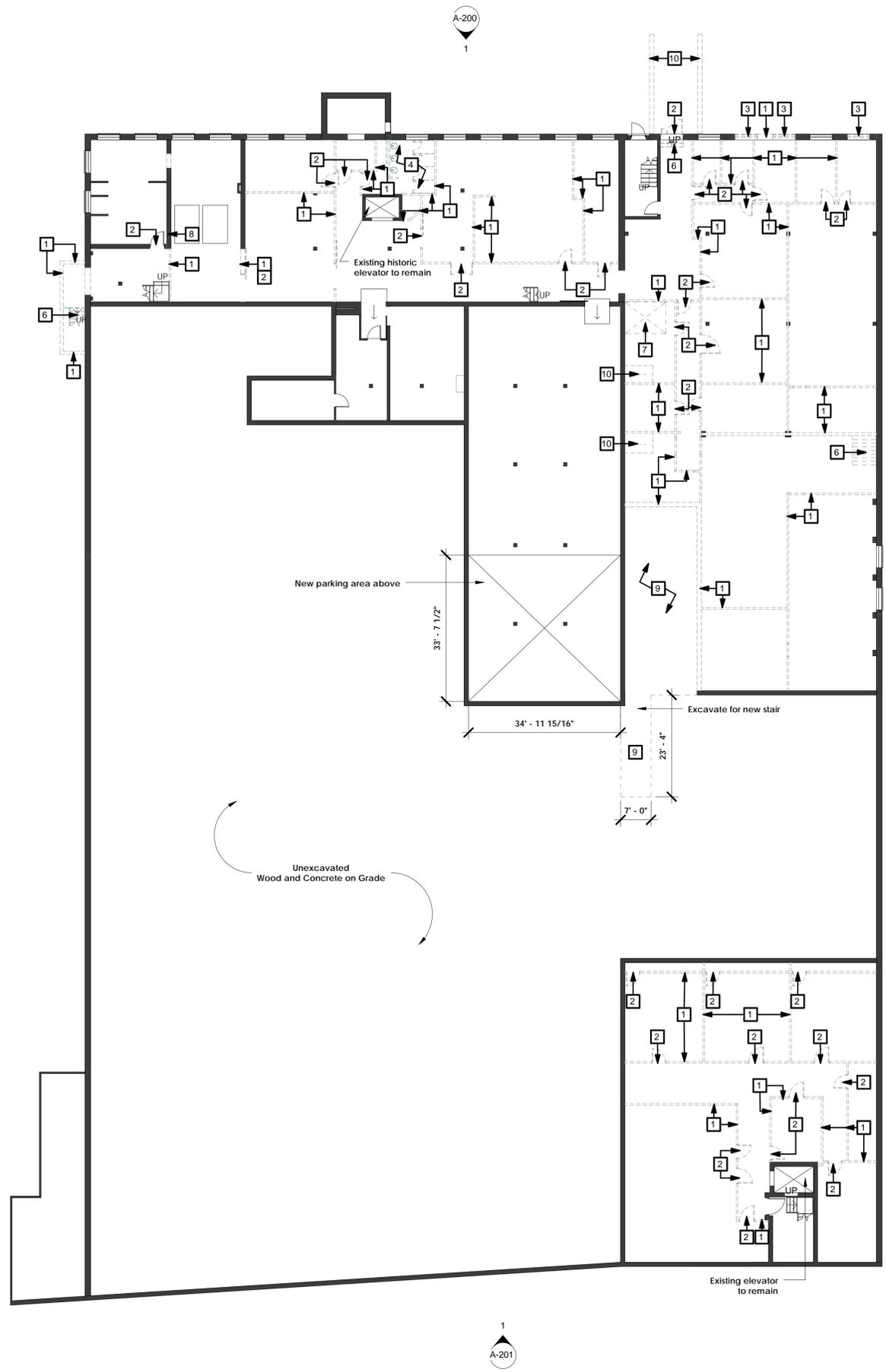
1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

Drawing No.:
A-100

Date:
April 13, 2016



Demolition Keynotes:

1. Remove existing wall.
2. Remove existing door, frame, and hardware.
3. Remove existing window.
4. Demolish existing toilet rooms. Remove all fixtures, finishes, toilet partitions, etc.
5. Remove existing fire escape.
6. Demolish existing stair.
7. Provide opening in floor for new elevator or stair. See plans and elevations for details.
8. Provide opening in wall for new door, window, or opening. See plans and elevations for details.
9. Excavate level with basement floor.
10. Demolish existing ramp.
11. Remove all sawtooth monitors.
12. Remove skylight.
13. Demolish roof.
14. Remove existing mechanical unit.
15. Demolish chimney.

*Demolition keynotes are typical and may not reflect every instance.

Demolition Scope:

1. The existing condition/demolition drawings are intended as a general guide to the demolition required for this project. Demolition is not shown in complete detail and it shall be the responsibility of the contractor to remove existing construction as required to accomplish the design intent for the work shown and reasonably implied for the project. Refer to the work shown on all other drawings in the set for the extent of demolition required to perform the work intent.

General Conditions:

1. Visit the job site to verify existing conditions and dimensions prior to beginning any work. Notify the architect of any discrepancies prior to beginning the work.
2. Questionable items including, but not limited to found/unknown conditions and items not shown/listed in the contract documents, shall be coordinated with the architect before removing.

Building Conditions:

1. Remove all existing gyp. bd. ceilings, suspended ceilings, and grids.
2. Remove all abandoned conduit, ductwork, hangers, framing, piping, etc throughout work area.
3. Existing furring at exterior walls to remain, repair/patch as required.
4. Repair existing windows to remain, typical.
5. Existing handrails to remain.

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

Basement Demolition Plan
0' 4' 8' 16' 32'

SHPO Submission

Stamp:

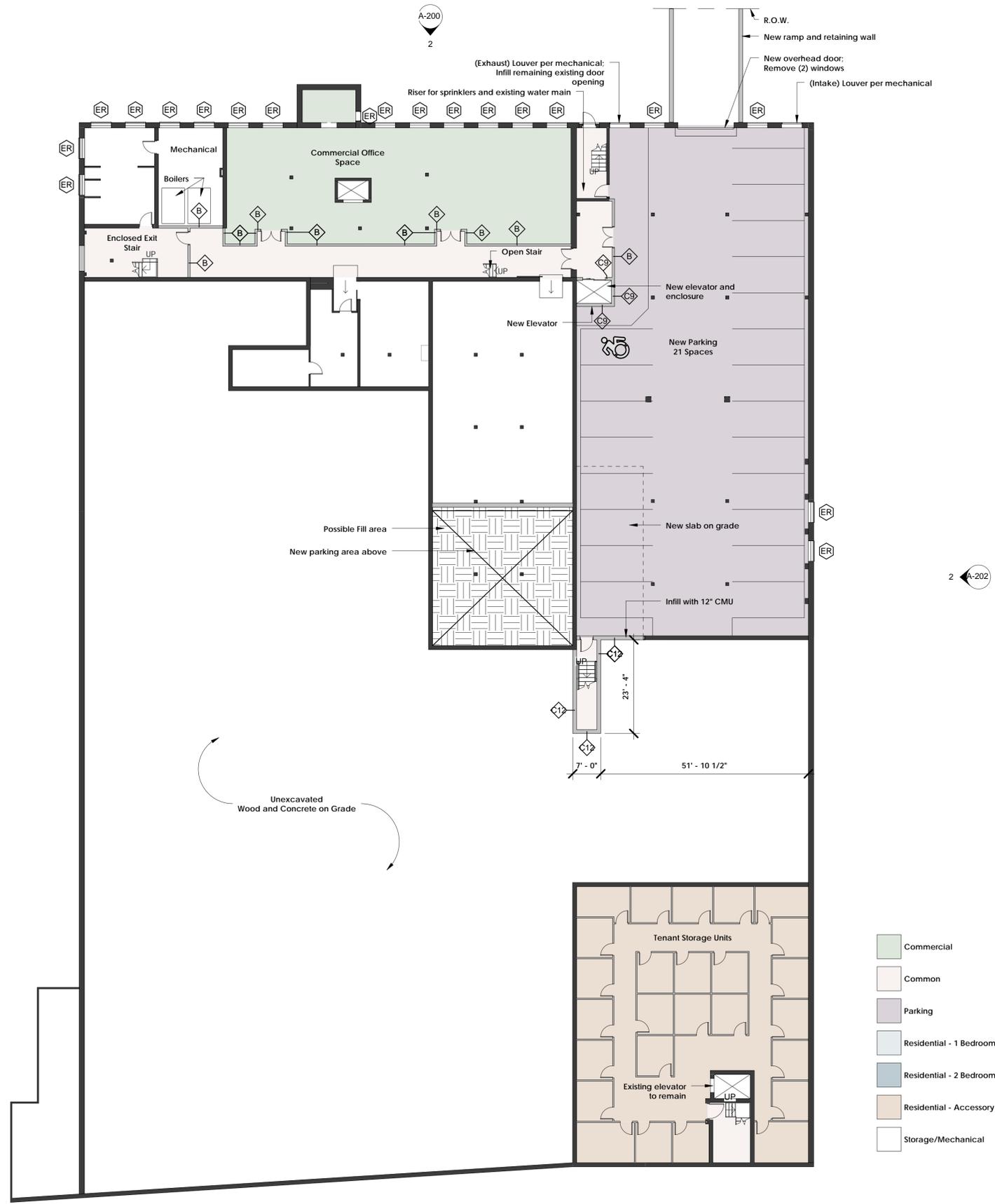
Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100 (585) 325-1000
Rochester, NY 14614 Fax: (585) 325-1691
Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Basement Demolition Plan
1255 University Avenue
1255 University Avenue
Renovation Project
Town/City: Rochester
County: Monroe State: New York
Project No.: 20162181.0001
Drawing No.: A-101
Date: April 13, 2016



- Floor Plan General Notes:**
1. Refer to Sheet A-102 for wall types.
 2. Patch existing plaster at columns, ceilings, masonry, and exterior walls to remain.
 3. Interior dimensions are to center of stud and finished face of exterior walls or existing walls to remain. *Dimensions represent design intent and should be confirmed in field prior to final placement. Dimensions that must be maintained are noted with a "hold" or "clr" designation. Walls that terminate at a window are to be centered on a major mullion.
 4. Walls that terminate at a window are to be centered on a major mullion.

WALL TYPES

<p>A4 Non-rated Full height partition A6 Non-rated Full height partition</p>	<p>B 2HR Rated partition *UL Design No. U419 (STC 61 min.)</p>
<p>C8 2 HR Rated full height partition *UL Design No. U905 C9 3 HR Rated full height partition *UL Design No. U914 C12 2 HR Rated full height partition *UL Design No. U905</p>	<p>F Non-rated Furring</p>

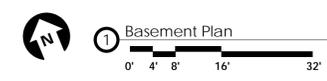
Wall Type Notes:

1. Provide moisture resistant gyp. bd. for all wet areas.

- Commercial
- Common
- Parking
- Residential - 1 Bedroom
- Residential - 2 Bedroom
- Residential - Accessory
- Storage/Mechanical

LEGEND

- Existing to Remain
- Demolished
- New Construction
- Existing Window to Remain
- New Window
- Existing Mechanical Unit



Stamp:

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46 Prince Street, Suite 2003
Rochester, NY 14607

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242 West Main Street, Suite 100 (585) 325-1000
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No.	Date	By	Description

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Basement Plan

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.: 20162181.0001

Drawing No.: **A-102**

Date: April 13, 2016

SHPO Submission



- Commercial
- Common
- Parking
- Residential - 1 Bedroom
- Residential - 2 Bedroom
- Residential - Accessory
- Storage/Mechanical

General Conditions:

1. Visit the job site to verify existing conditions and dimensions prior to beginning any work. Notify the architect of any discrepancies prior to beginning the work.
2. Questionable items including, but not limited to found/unknown conditions and items not shown/listed in the contract documents, shall be coordinated with the architect before removing.

Stamp:

Client:
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46 Prince Street, Suite 2003
Rochester, NY 14607

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242 West Main Street, Suite 100
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Existing First Floor Plan

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

Drawing No.:
A-103

Date:
April 13, 2016

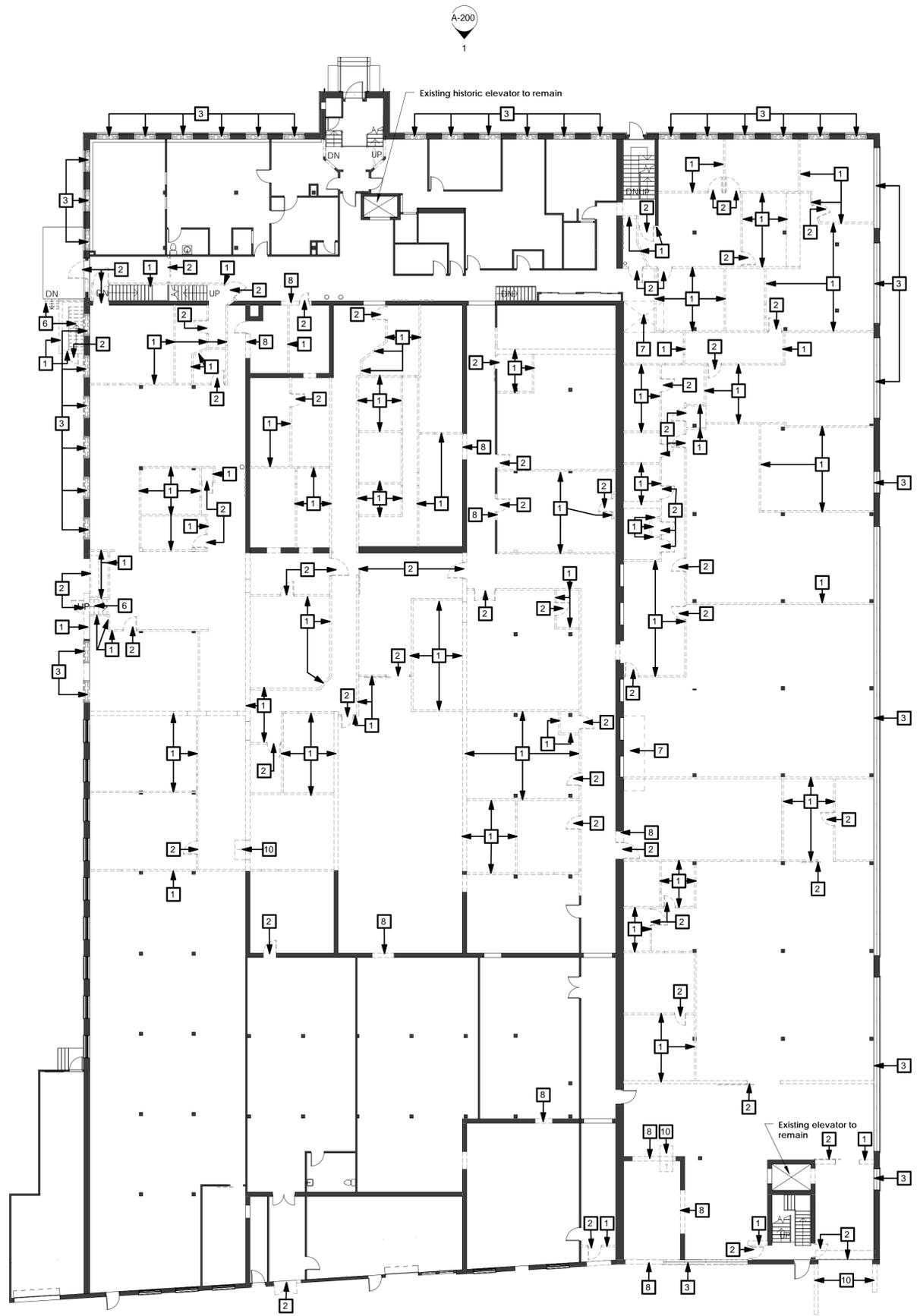
LEGEND

- Existing to Remain
- Demolished
- New Construction
- Existing Window to Remain
- New Window
- Existing Mechanical Unit

SHPO Submission



Existing First Floor Plan



- Demolition Keynotes:**
- Remove existing wall.
 - Remove existing door, frame, and hardware.
 - Remove existing window.
 - Demolish existing toilet rooms. Remove all fixtures, finishes, toilet partitions, etc.
 - Remove existing fire escape.
 - Demolish existing stair.
 - Provide opening in wall for new elevator or stair. See plans and elevations for details.
 - Provide opening in wall for new door, window, or opening. See plans and elevations for details.
 - Excavate level with basement floor.
 - Demolish existing ramp
 - Remove all sawtooth monitors
 - Remove skylight
 - Demolish roof
 - Remove existing mechanical unit
 - Demolish chimney
- *Demolition keynotes are typical and may not reflect every instance.

Demolition Scope:

- The existing condition/demolition drawings are intended as a general guide to the demolition required for this project. Demolition is not shown in complete detail and it shall be the responsibility of the contractor to remove existing construction as required to accomplish the design intent for the work shown and reasonably implied for the project. Refer to the work shown on all other drawings in the set for the extent of demolition required to perform the work intent.

General Conditions:

- Visit the job site to verify existing conditions and dimensions prior to beginning any work. Notify the architect of any discrepancies prior to beginning the work.
- Questionable items including, but not limited to found/unknown conditions and items not shown/listed in the contract documents, shall be coordinated with the architect before removing.

Building Conditions:

- Remove all existing gyp. bd. ceilings, suspended ceilings, and grids.
- Remove all abandoned conduit, ductwork, hangers, framing, piping, etc throughout work area.
- Existing furring at exterior walls to remain, repair/patch as required.
- Repair existing windows to remain, typical.
- Existing handrails to remain.



Stamp:

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 Rochester, NY 14607

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First Floor Demolition Plan

1255 University Avenue

1255 University Avenue
 Renovation Project

Town/City: Rochester
 County: Monroe State: New York

Project No.:
 20162181.0001

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

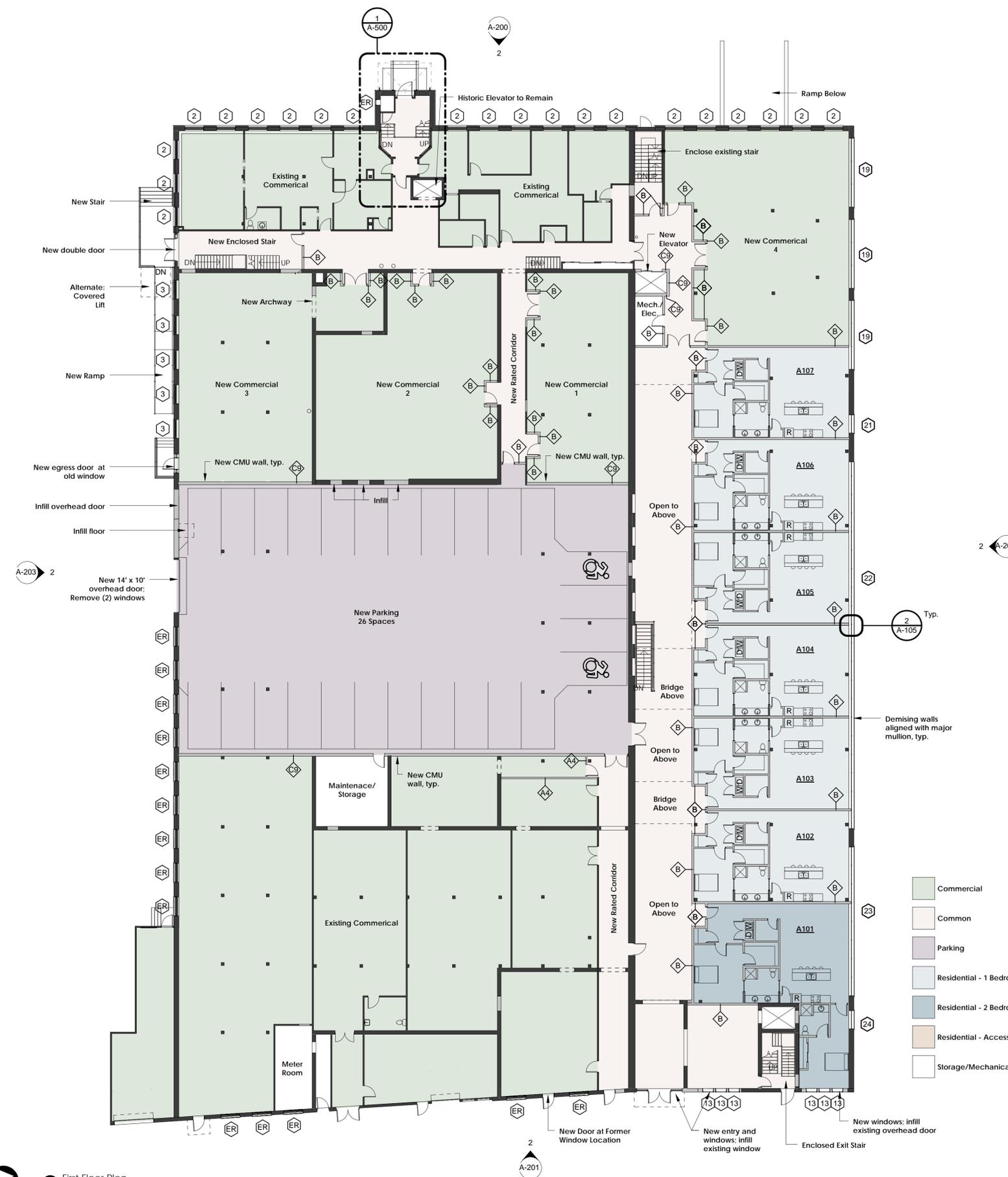
1 First Floor Demolition Plan

0' 4' 8' 16' 32'

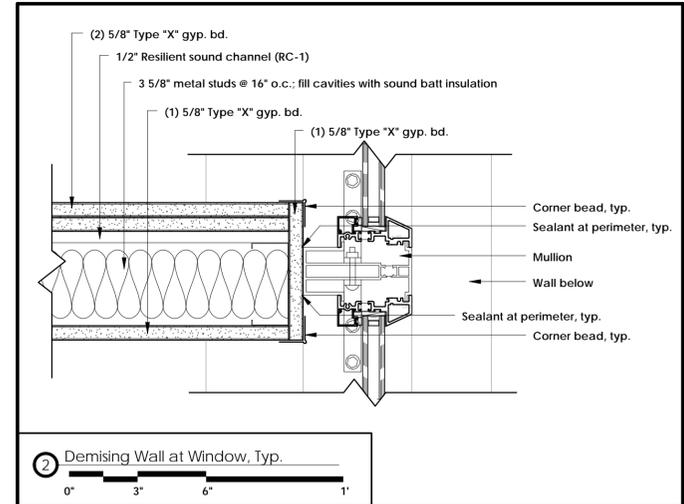
SHPO Submission

Drawing No.: **A-104**

Date: **April 13, 2016**



- Floor Plan General Notes:**
1. Refer to Sheet A-102 for wall types.
 2. Patch existing plaster at columns, ceilings, masonry, and exterior walls to remain.
 3. Interior dimensions are to center of stud and finished face of exterior walls or existing walls to remain. *Dimensions represent design intent and should be confirmed in field prior to final placement. Dimensions that must be maintained are noted with a "hold" or "cl" designation.
 4. Walls that terminate at a window are to be centered on a major mullion.



LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission



Client:
Park Grove Realty, LLC
 46 Prince Street, Suite 2003
 Rochester, NY 14607

Passero Associates
 242 West Main Street, Suite 100 (585) 325-1000
 Rochester, NY 14614 Fax: (585) 325-1691
 Principal-in-Charge: Mark D. Passero, P.E.
 Project Manager: Peter Wehner, AIA
 Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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First Floor Plan

1255 University Avenue

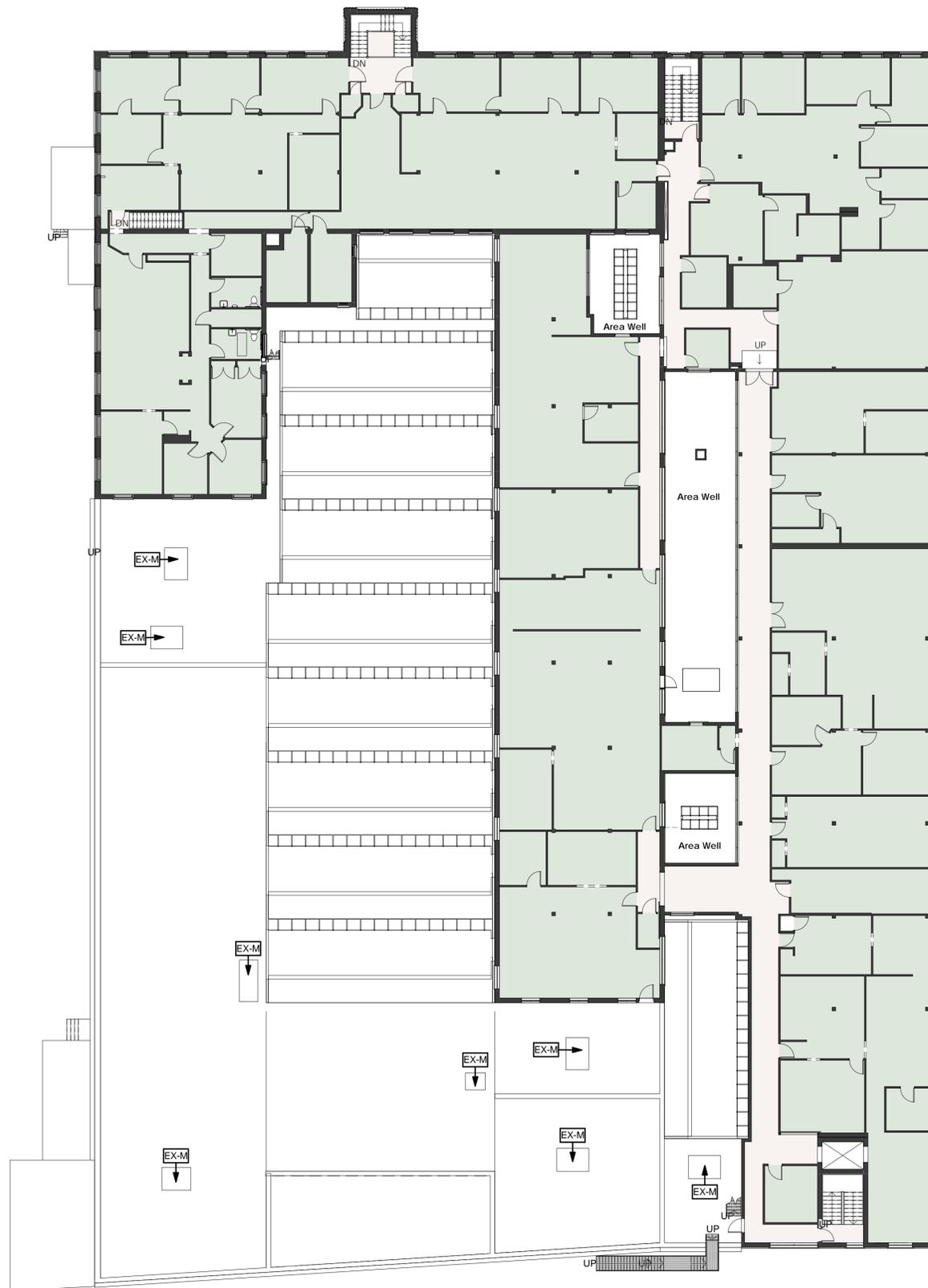
1255 University Avenue
 Renovation Project

Town/City: Rochester
 County: Monroe State: New York

Project No.:
20162181.0001

Drawing No.:
A-105

Date:
 April 13, 2016



1 Existing Second Floor Plan
 0' 4' 8' 16' 32'

- Commercial
- Common
- Parking
- Residential - 1 Bedroom
- Residential - 2 Bedroom
- Residential - Accessory
- Storage/Mechanical

General Conditions:

1. Visit the job site to verify existing conditions and dimensions prior to beginning any work. Notify the architect of any discrepancies prior to beginning the work.
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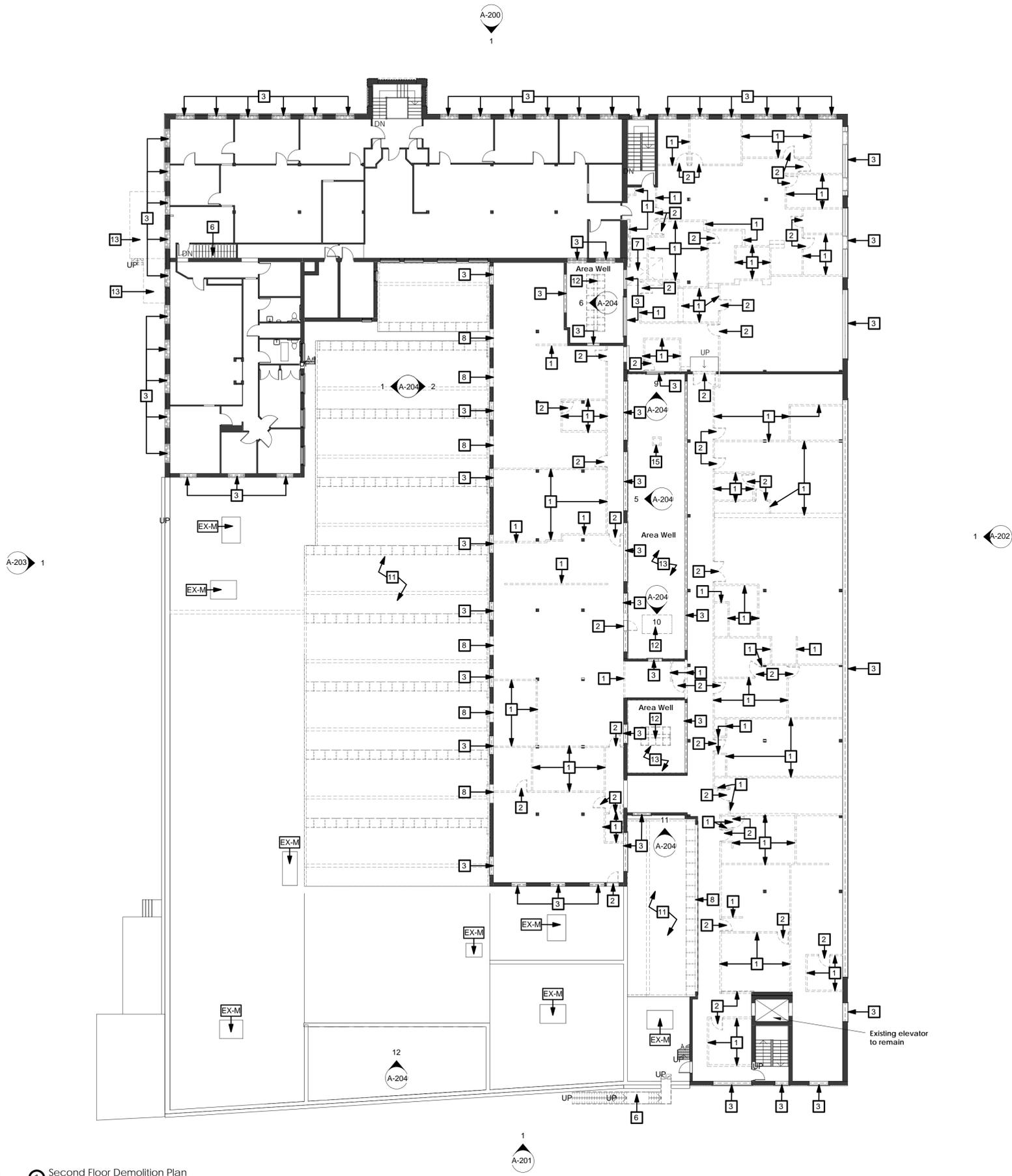
Existing Second Floor Plan
1255 University Avenue
 1255 University Avenue
 Renovation Project
 Town/City: Rochester
 County: Monroe State: New York
 Project No.: 20162181.0001

Drawing No.: **A-106**
 Date: April 13, 2016

LEGEND

	Existing to Remain
	Demolished
	New Construction
ER	Existing Window to Remain
#	New Window
EX-M	Existing Mechanical Unit

SHPO Submission



- Demolition Keynotes:**
- Remove existing wall.
 - Remove existing door, frame, and hardware.
 - Remove existing window.
 - Demolish existing toilet rooms. Remove all fixtures, finishes, toilet partitions, etc.
 - Remove existing fire escape.
 - Demolish existing stair.
 - Provide opening in floor for new elevator or stair. See plans and elevations for details.
 - Provide opening in wall for new door, window, or opening. See plans and elevations for details.
 - Excavate level with basement floor.
 - Demolish existing ramp
 - Remove all sawtooth monitors
 - Remove skylight
 - Demolish roof
 - Remove existing mechanical unit
 - Demolish chimney
- *Demolition keynotes are typical and may not reflect every instance.

Demolition Scope:

- The existing condition/demolition drawings are intended as a general guide to the demolition required for this project. Demolition is not shown in complete detail and it shall be the responsibility of the contractor to remove existing construction as required to accomplish the design intent for the work shown and reasonably implied for the project. Refer to the work shown on all other drawings in the set for the extent of demolition required to perform the work intent.

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- Questionable items including, but not limited to found/unknown conditions and items not shown/listed in the contract documents, shall be coordinated with the architect before removing.

Building Conditions:

- Remove all existing gyp. bd. ceilings, suspended ceilings, and grids.
- Remove all abandoned conduit, ductwork, hangers, framing, piping, etc throughout work area.
- Existing furring at exterior walls to remain, repair/patch as required.
- Repair existing windows to remain, typical.
- Existing handrails to remain.



Stamp:

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Second Floor Demolition Plan

1255 University Avenue

1255 University Avenue
 Renovation Project

Town/City: Rochester
 County: Monroe State: New York

Project No.:
20162181.0001

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

1 Second Floor Demolition Plan

0' 4' 8' 16' 32'

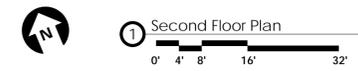
SHPO Submission

Drawing No.:
A-107

Date:
 April 13, 2016

Floor Plan General Notes:

1. Refer to Sheet A-102 for wall types.
2. Patch existing plaster at columns, ceilings, masonry, and exterior walls to remain.
3. Interior dimensions are to center of stud and finished face of exterior walls or existing walls to remain. *Dimensions represent design intent and should be confirmed in field prior to final placement. Dimensions that must be maintained are noted with a "hold" or "cl" designation.
4. Walls that terminate at a window are to be centered on a major mullion.



LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100 (585) 325-1000
Rochester, NY 14614 Fax: (585) 325-1691
Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehrner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Second Floor Plan

1255 University Avenue

1255 University Avenue
Renovation Project
Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

Drawing No.:
A-108

Date:
April 13, 2016

A-200
2

A-203
2

2
A-202

2
A-201



- Commercial
- Common
- Parking
- Residential - 1 Bedroom
- Residential - 2 Bedroom
- Residential - Accessory
- Storage/Mechanical

Floor Plan General Notes:

1. Refer to Sheet A-102 for wall types.
2. Patch existing plaster at columns, ceilings, masonry, and exterior walls to remain.
3. Interior dimensions are to center of stud and finished face of exterior walls or existing walls to remain. "Dimensions represent design intent and should be confirmed in field prior to final placement. Dimensions that must be maintained are noted with a "hold" or "clr" designation.
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Third Floor Plan

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.:

20162181.0001

Drawing No.:

A-109

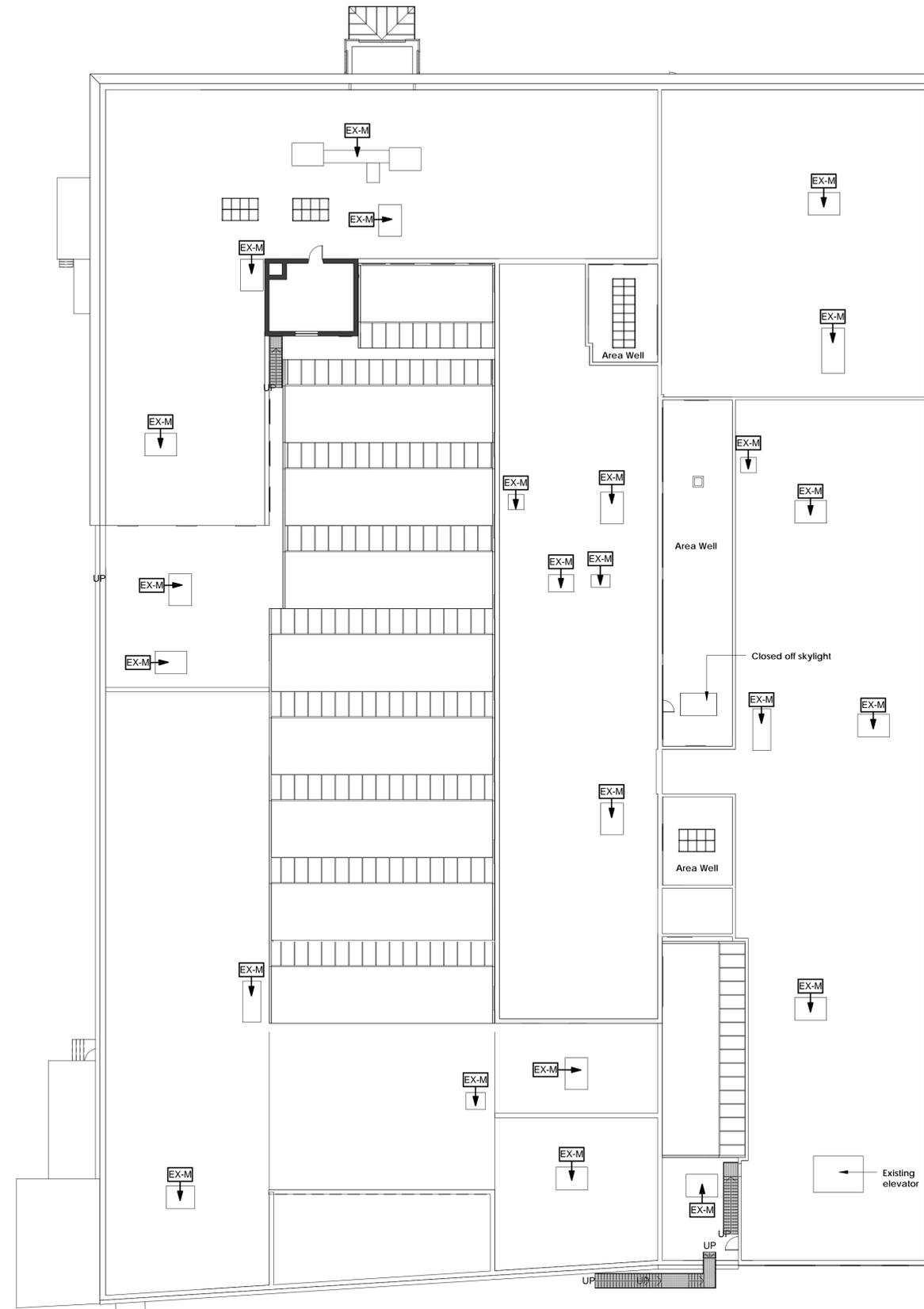
Date:

April 13, 2016



Third Floor Plan
0' 4' 8' 16' 32'

SHPO Submission



General Conditions:

1. Visit the job site to verify existing conditions and dimensions prior to beginning any work. Notify the architect of any discrepancies prior to beginning the work.
2. Questionable items including, but not limited to found/unknown conditions and items not shown/listed in the contract documents, shall be coordinated with the architect before removing.

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Rochester, NY 14607

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Existing Roof Plan

1255 University Avenue

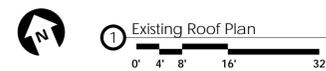
1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

Drawing No.:
A-110

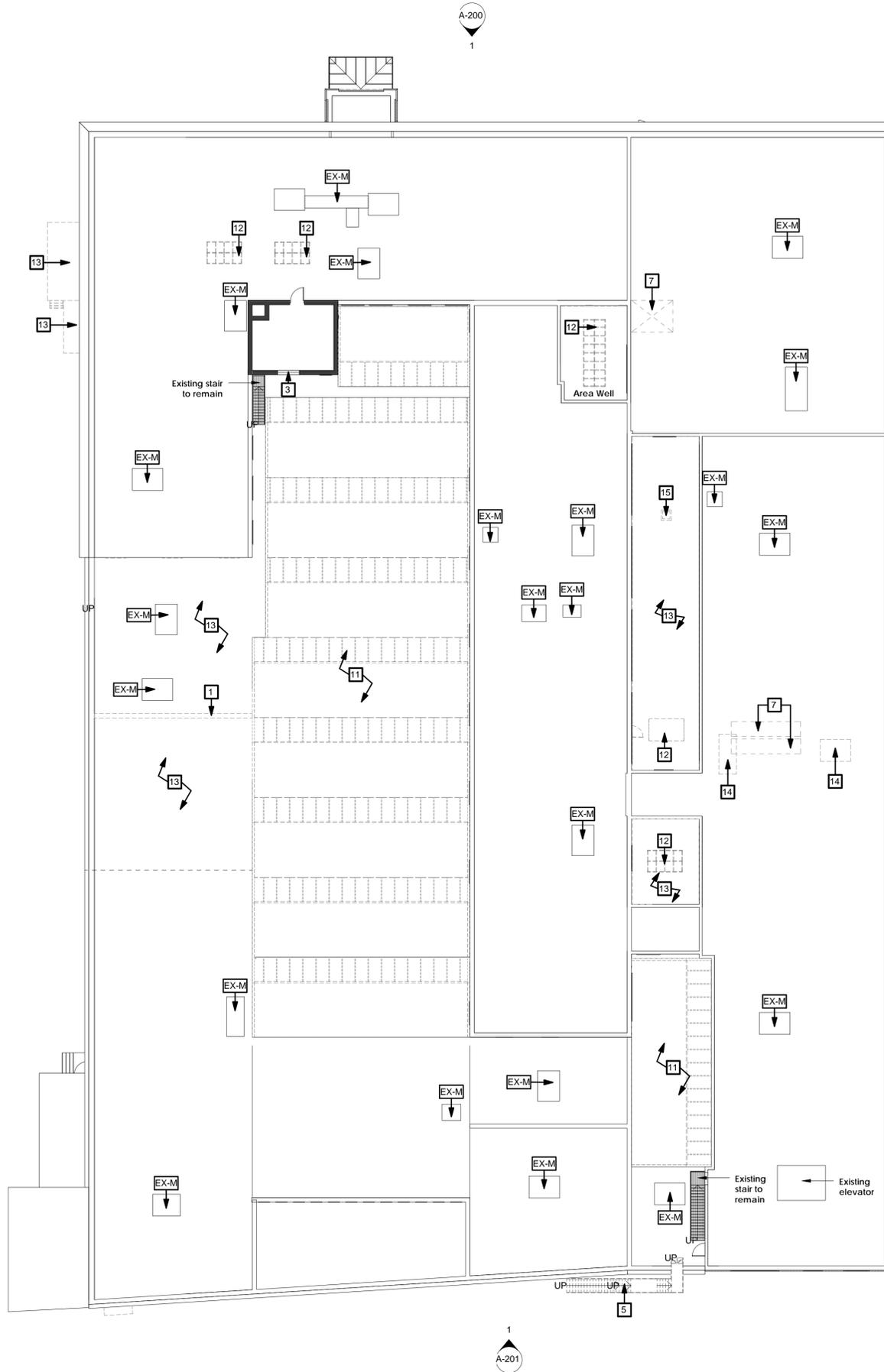
Date:
April 13, 2016



LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission



Demolition Keynotes:

1. Remove existing wall.
2. Remove existing door, frame, and hardware.
3. Remove existing window.
4. Demolish existing toilet rooms. Remove all fixtures, finishes, toilet partitions, etc.
5. Remove existing fire escape.
6. Demolish existing stair.
7. Provide opening in wall for new elevator or stair. See plans and elevations for details.
8. Provide opening in wall for new door, window, or opening. See plans and elevations for details.
9. Excavate level with basement floor.
10. Demolish existing ramp
11. Remove all sawtooth monitors
12. Remove skylight
13. Demolish roof
14. Remove existing mechanical unit
15. Demolish chimney

*Demolition keynotes are typical and may not reflect every instance.

Demolition Scope:

1. The existing condition/demolition drawings are intended as a general guide to the demolition required for this project. Demolition is not shown in complete detail and it shall be the responsibility of the contractor to remove existing construction as required to accomplish the design intent for the work shown and reasonably implied for the project. Refer to the work shown on all other drawings in the set for the extent of demolition required to perform the work intent.

General Conditions:

1. Visit the job site to verify existing conditions and dimensions prior to beginning any work. Notify the architect of any discrepancies prior to beginning the work.
2. Questionable items including, but not limited to found/unknown conditions and items not shown/listed in the contract documents, shall be coordinated with the architect before removing.

Building Conditions:

1. Remove all existing gyp. bd. ceilings, suspended ceilings, and grids.
2. Remove all abandoned conduit, ductwork, hangers, framing, piping, etc throughout work area.
3. Existing furring at exterior walls to remain, repair/patch as required.
4. Repair existing windows to remain, typical.
5. Existing handrails to remain.

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Roof Demolition Plan

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

Drawing No.:
A-111

Date:
April 13, 2016

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission



Roof General Notes:

- All exposed painted surfaces to be repainted.
- Roofing work to match existing and maintain warranty. All flashing to be manufacturer standard details.

Roof Legend:

New roof area

A-203 2

2 A-202



Roof Plan
0" 3" 6" 1"

2
A-201

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission



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46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100 (585) 325-1000
Rochester, NY 14614 Fax: (585) 325-1691
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Roof Plan

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

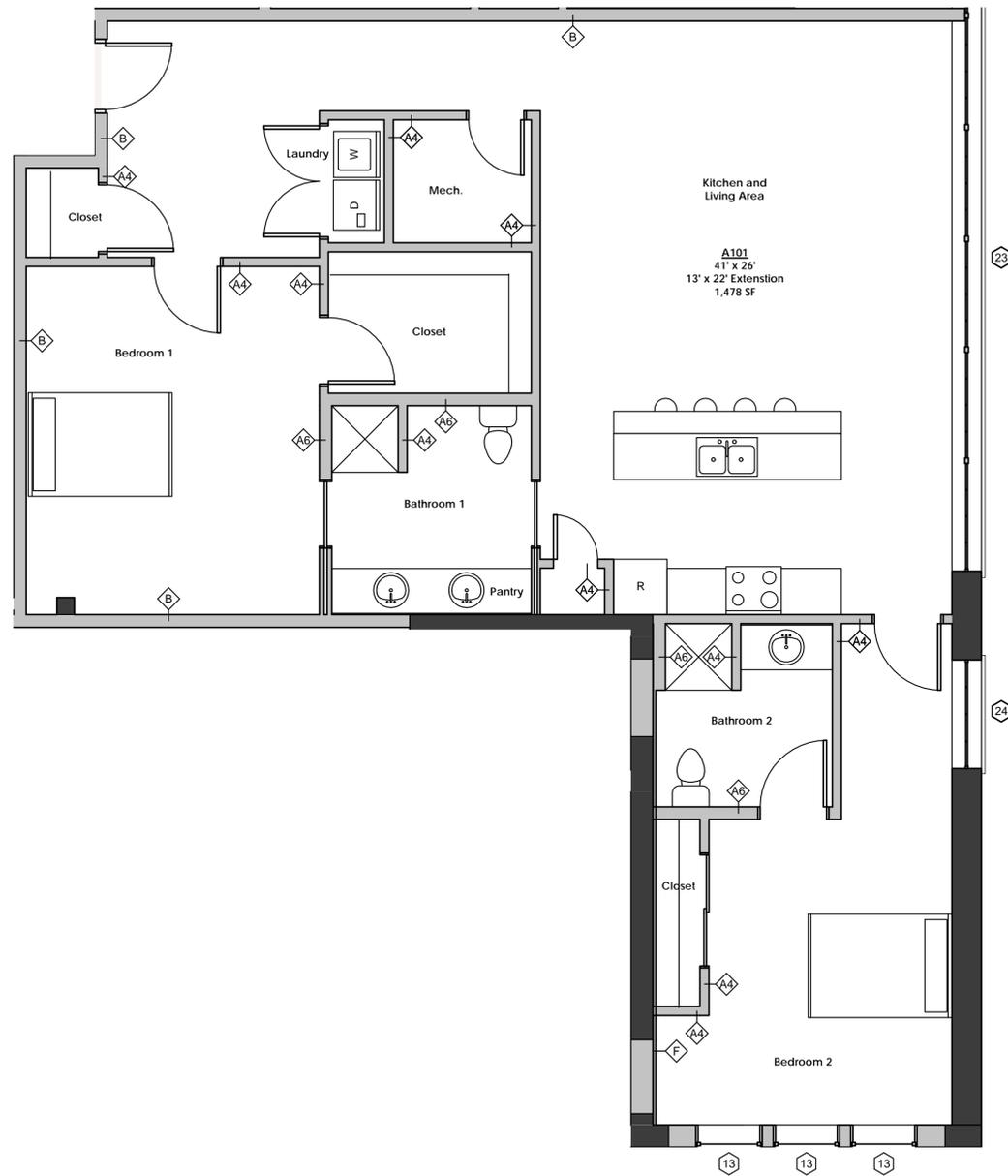
Drawing No.:
A-112

Date:
April 13, 2016

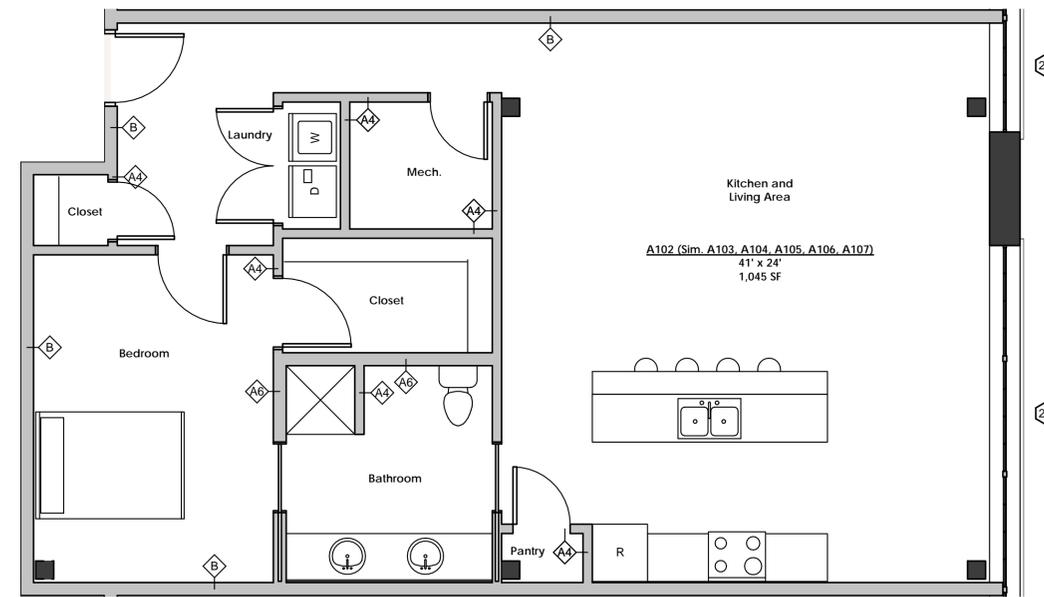
Unit Plan General Notes:

1. Refer to Sheet A-102 for wall types.
2. Interior dimensions are to center of stud and finished face of exterior walls or existing walls to remain. *Dimensions represent design intent and should be confirmed in field prior to final placement. Dimensions that must be maintained are noted with a "hold" or "cir" designation.
3. Walls that terminate at a window are to be centered on a major mullion.
4. General notes for Type 'B' units listed below, refer to 1003 of ICC/ANSI A117.1 - 2009.

- * First bathroom to be type 'A'.
- * Cabinets at sink are to be removable without replacement of lavatory. Provide floor finish under cabinetry and paint walls behind cabinetry.



1 Unit Plan - 101
0' 3' 6' 1'



2 Unit Plan - 104
0' 3' 6' 1'

LEGEND	
	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates

242 West Main Street, Suite 100 (585) 325-1000
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Unit Plans

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester

County: Monroe State: New York

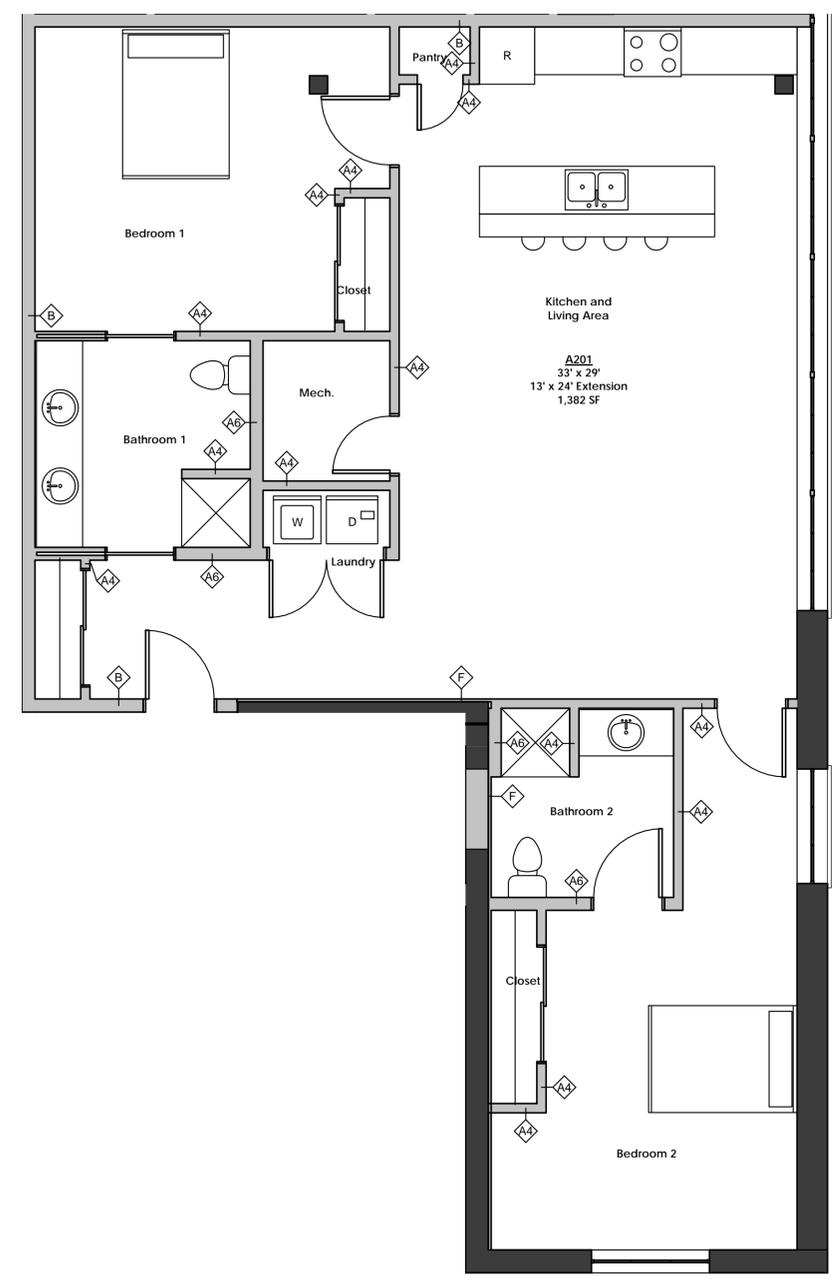
Project No.: 20162181.0001

Drawing No.: A-120

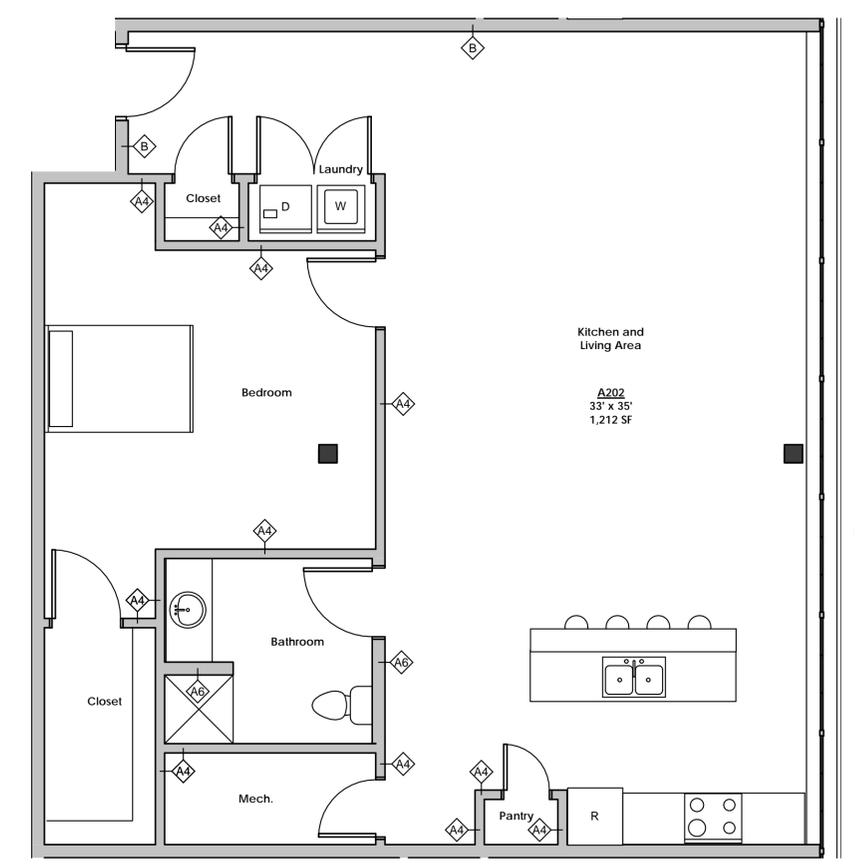
Date: April 13, 2016

Unit Plan General Notes:

1. Refer to Sheet A-102 for wall types.
2. Interior dimensions are to center of stud and finished face of exterior walls or existing walls to remain. *Dimensions represent design intent and should be confirmed in field prior to final placement. Dimensions that must be maintained are noted with a "hold" or "cl" designation.
3. Walls that terminate at a window are to be centered on a major mullion.
4. General notes for Type 'B' units listed below, refer to 1003 of ICC/ANSI A117.1 - 2009.
 - First bathroom to be type 'A'.
 - Cabinets at sink are to be removable without replacement of lavatory. Provide floor finish under cabinetry and paint walls behind cabinetry.



1 Unit Plan - 201
0" 3" 6" 1"



2 Unit Plan - 202
0" 3" 6" 1"

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission

Client:

Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates

242 West Main Street, Suite 100 Rochester, NY 14614 (585) 325-1000 Fax: (585) 325-1691
Principal-in-Charge: Mark D. Passero, P.E.
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Unit Plans

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

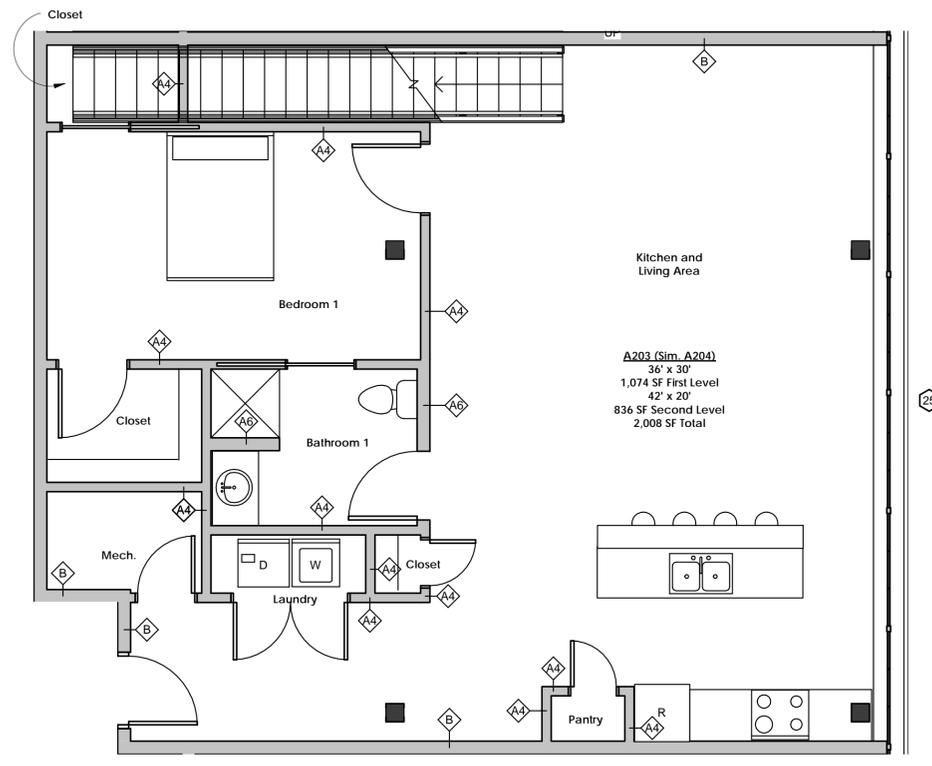
Project No.:
20162181.0001

Drawing No.:
A-121

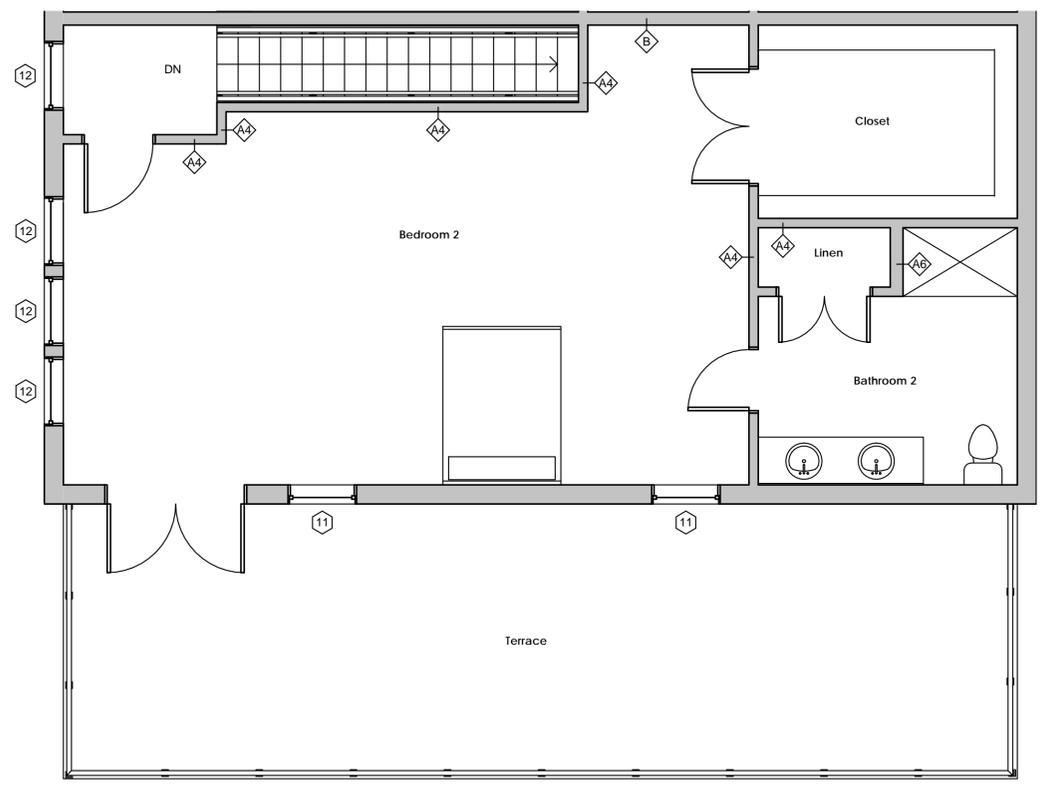
Date:
April 13, 2016

Unit Plan General Notes:

1. Refer to Sheet A-102 for wall types.
2. Interior dimensions are to center of stud and finished face of exterior walls or existing walls to remain. *Dimensions represent design intent and should be confirmed in field prior to final placement. Dimensions that must be maintained are noted with a "hold" or "clr" designation.
3. Walls that terminate at a window are to be centered on a major mullion.
4. General notes for Type 'B' units listed below, refer to 1003 of ICC/ANSI A117.1 - 2009.
 - First bathroom to be type 'A'.
 - Cabinets at sink are to be removable without replacement of lavatory. Provide floor finish under cabinetry and paint walls behind cabinetry.



① Unit Plan - 203 - First Level
0" 3" 6" 1"



② Unit Plan - 203 - Second Level
0" 3" 6" 1"

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100 (585) 325-1000
Rochester, NY 14614 Fax: (585) 325-1691
Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehrner, AIA
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Unit Plans

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

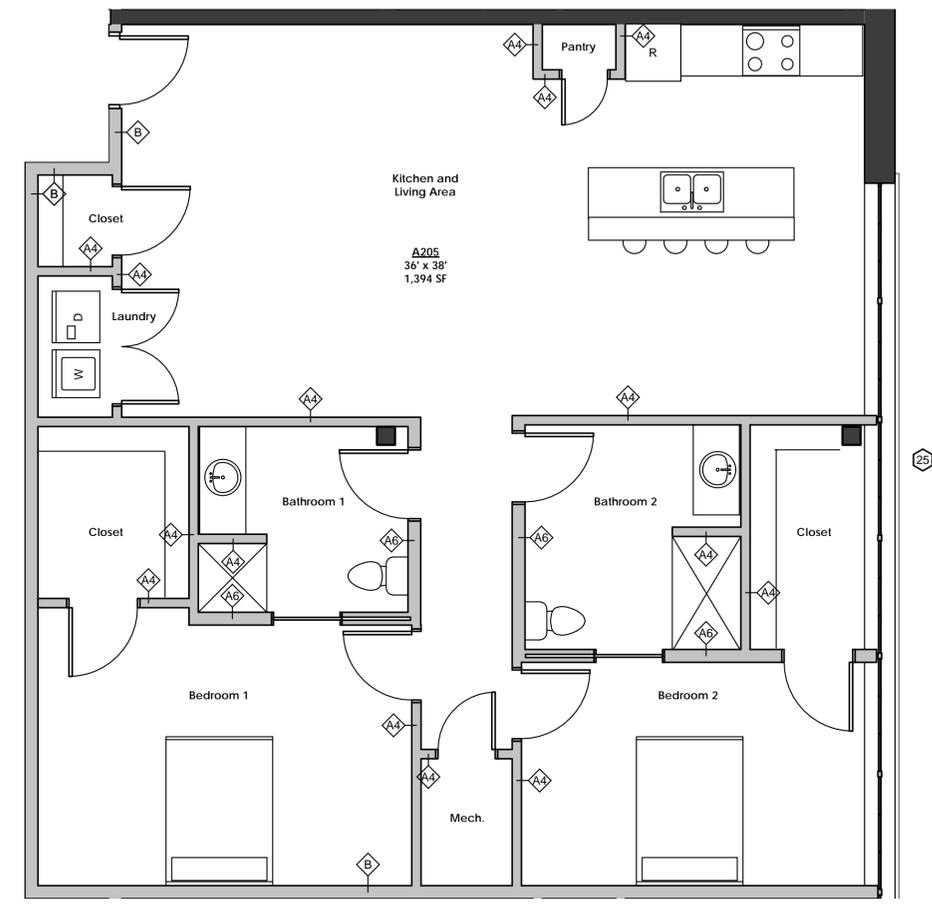
Project No.:
20162181.0001

Drawing No.:
A-122

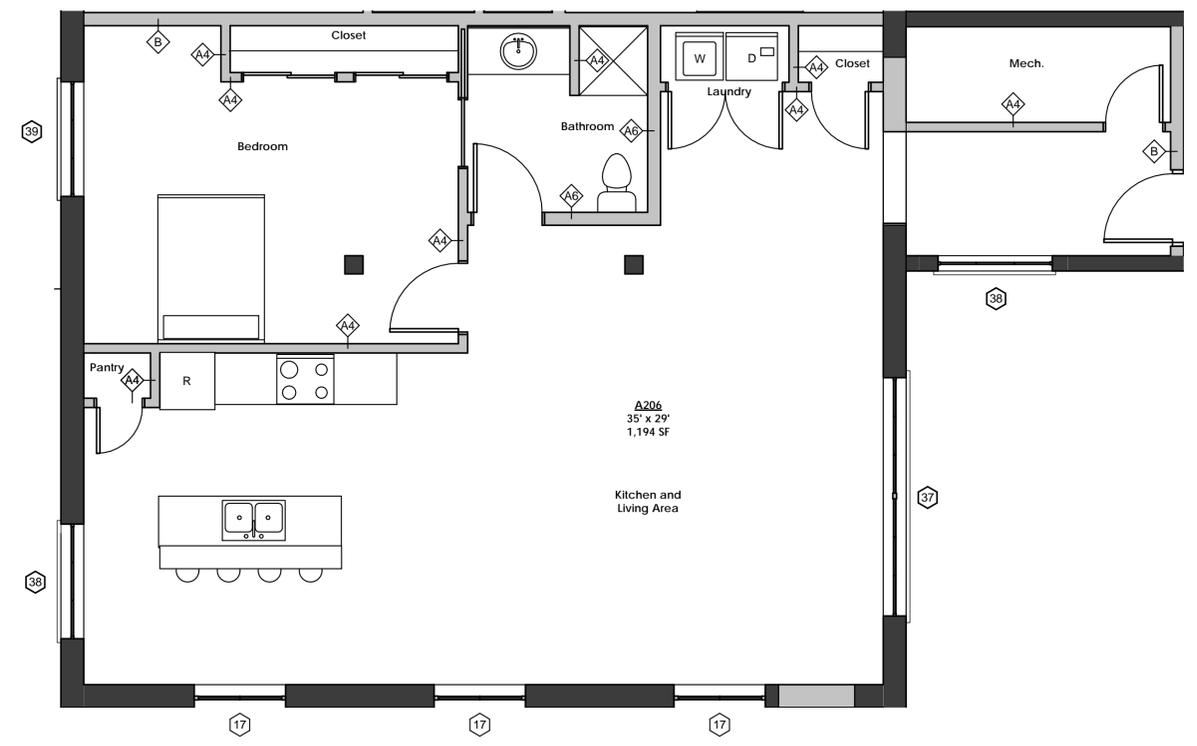
Date:
April 13, 2016

Unit Plan General Notes:

1. Refer to Sheet A-102 for wall types.
2. Interior dimensions are to center of stud and finished face of exterior walls or existing walls to remain. *Dimensions represent design intent and should be confirmed in field prior to final placement. Dimensions that must be maintained are noted with a "hold" or "ci" designation.
3. Walls that terminate at a window are to be centered on a major mullion.
4. General notes for Type "B" units listed below, refer to 1003 of ICC/ANSI A117.1 - 2009.
 - First bathroom to be type "A".
 - Cabinets at sink are to be removable without replacement of lavatory. Provide floor finish under cabinetry and paint walls behind cabinetry.



1 Unit Plan - 205
0" 3" 6" 1"



2 Unit Plan - 206
0" 3" 6" 1"

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission

Client:

Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100
Rochester, NY 14614
(585) 325-1000
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Unit Plans

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

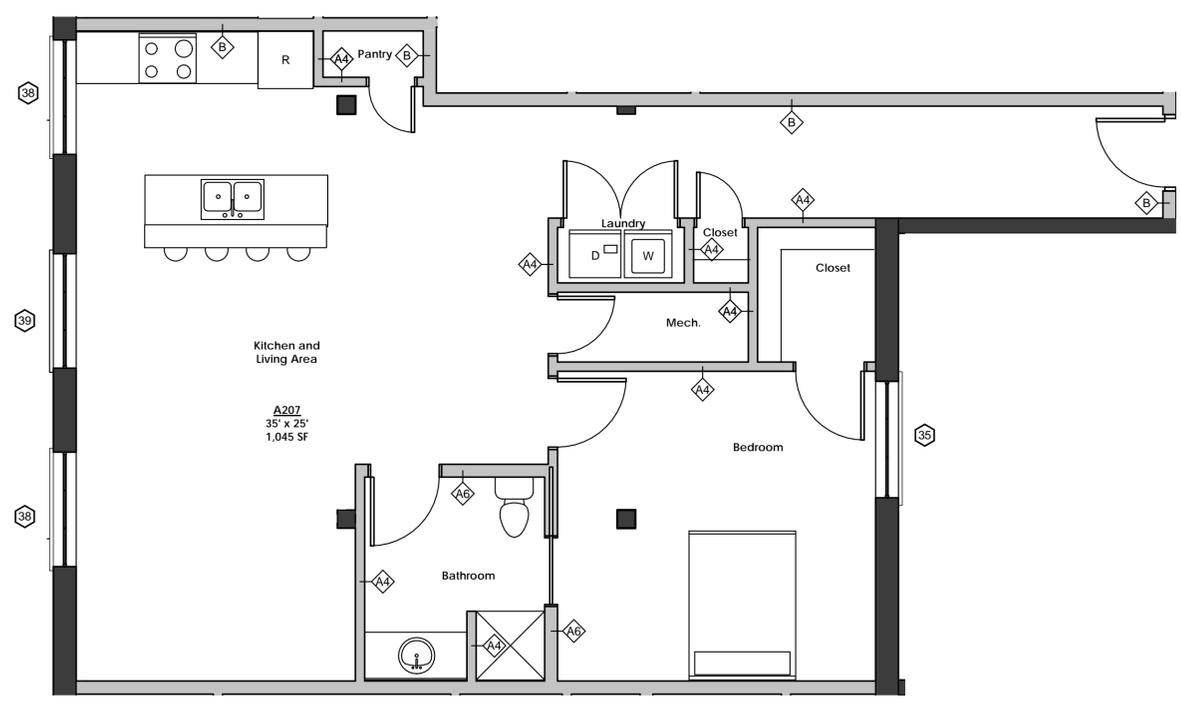
Project No.:
20162181.0001

Drawing No.:
A-123

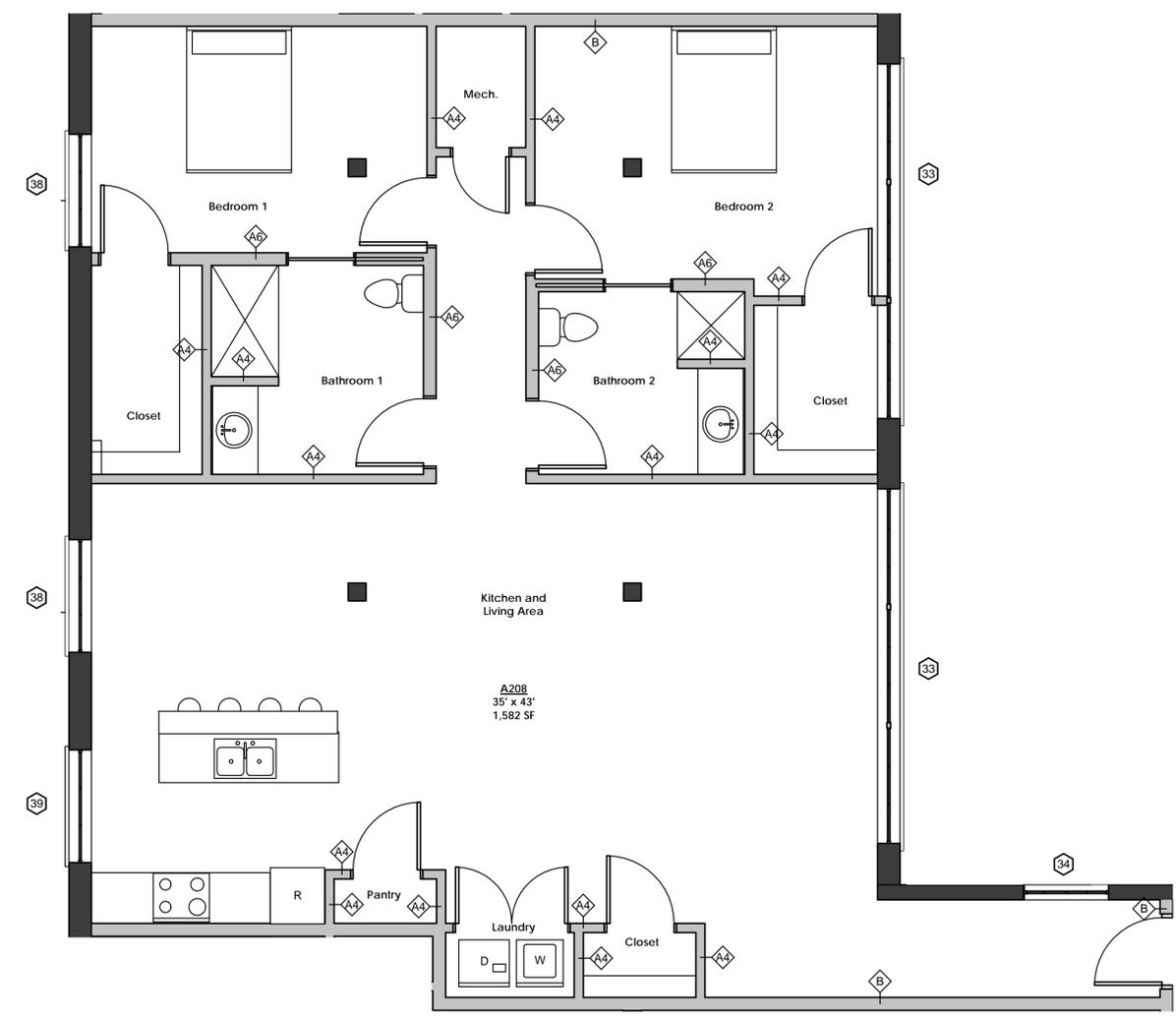
Date:
April 13, 2016

Unit Plan General Notes:

- Refer to Sheet A-102 for wall types.
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- Walls that terminate at a window are to be centered on a major mullion.
- General notes for Type 'B' units listed below, refer to 1003 of ICC/ANSI A117.1 - 2009.
 - First bathroom to be type 'A'.
 - Cabinets at sink are to be removable without replacement of lavatory. Provide floor finish under cabinetry and paint walls behind cabinetry.



1 Unit Plan - 207
0' 3' 6' 1'



2 Unit Plan - 208
0' 3' 6' 1'

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission

Stamp:

Client:
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46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
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Unit Plans

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

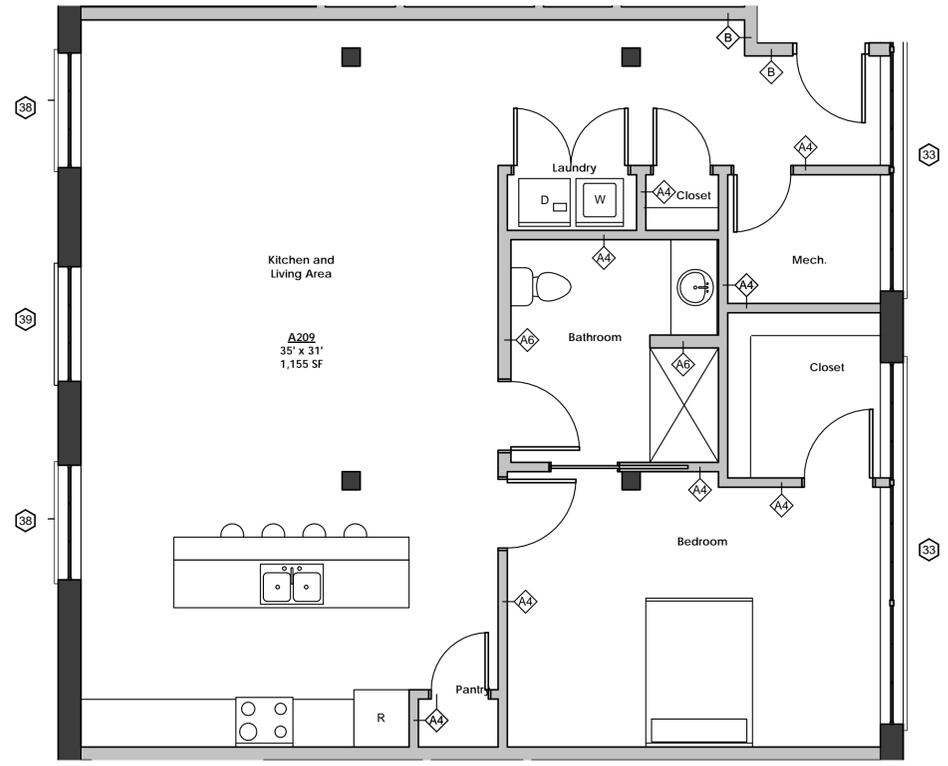
Project No.:
20162181.0001

Drawing No.:
A-124

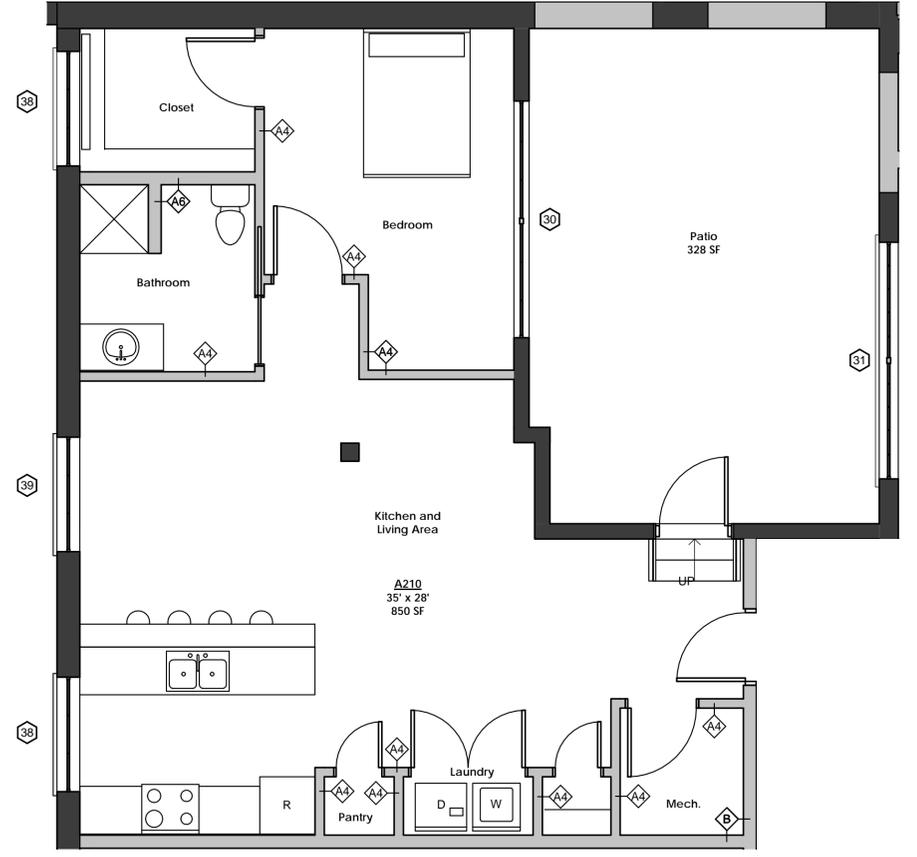
Date:
April 13, 2016

Unit Plan General Notes:

1. Refer to Sheet A-102 for wall types.
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3. Walls that terminate at a window are to be centered on a major mullion.
4. General notes for Type 'B' units listed below, refer to 1003 of ICC/ANSI A117.1 - 2009.
 - First bathroom to be type 'A'.
 - Cabinets at sink are to be removable without replacement of lavatory. Provide floor finish under cabinetry and paint walls behind cabinetry.



1 Unit Plan - 209
0' 3' 6' 1'



2 Unit Plan - 210
0' 3' 6' 1'

LEGEND

	Existing to Remain
	Demolished
	New Construction
	Existing Window to Remain
	New Window
	Existing Mechanical Unit

SHPO Submission

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100
Rochester, NY 14614
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Fax: (585) 325-1691
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Unit Plans

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

Drawing No.:
A-125

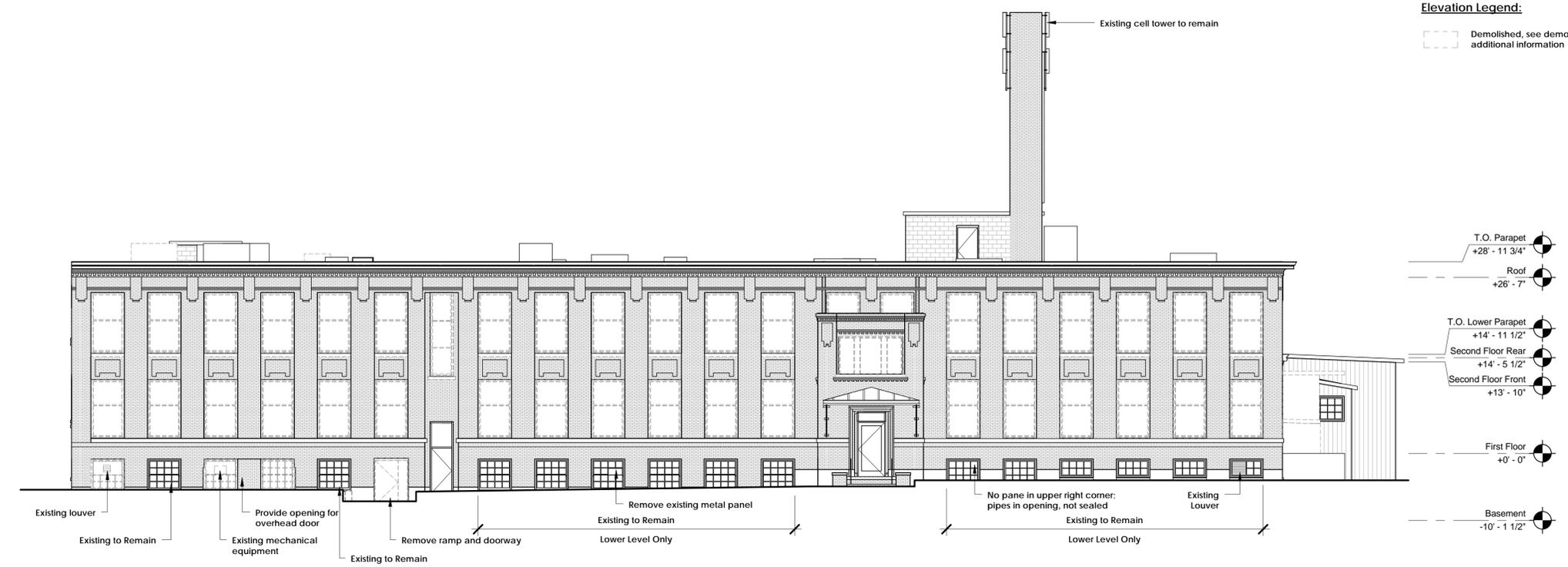
Date:
April 13, 2016

Elevation General Notes:

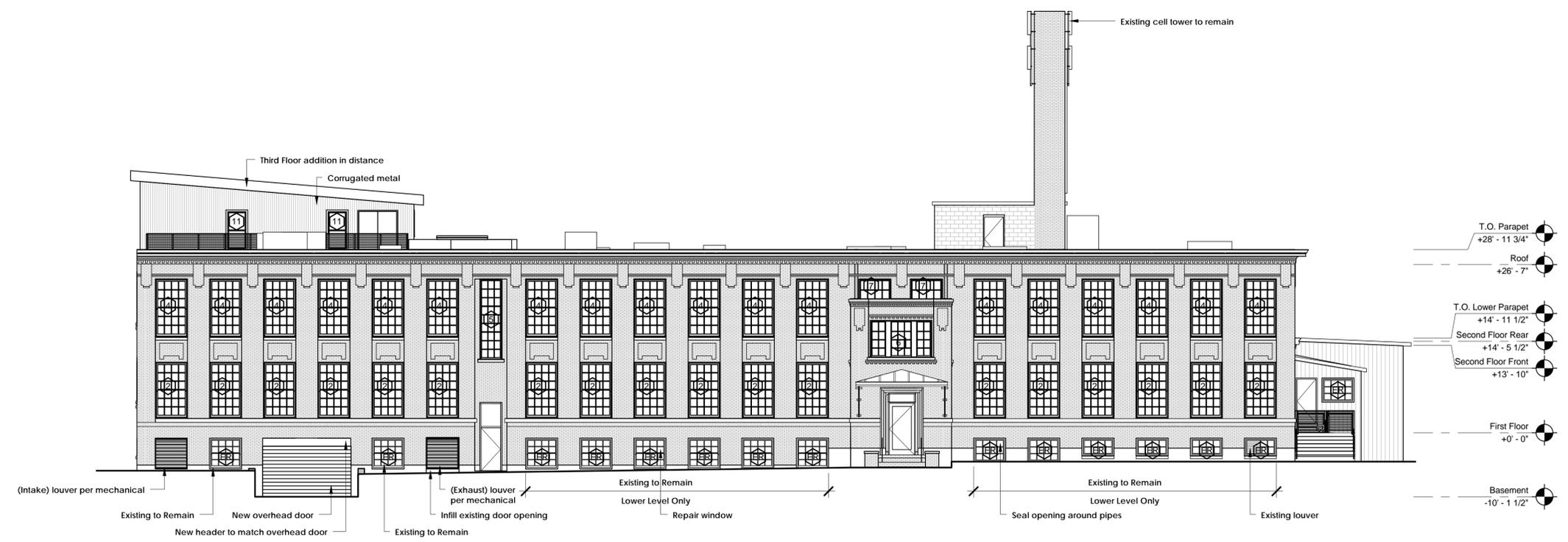
1. Repoint where necessary all damaged mortar joints on all facades per NPS standards.
2. Existing windows to remain to be restored. See specifications for additional information.

Elevation Legend:

Demolished, see demolition plans for additional information



1 Existing North Elevation & Demolition
0' 4' 8' 16' 32'



2 North Elevation
0' 4' 8' 16' 32'

Stamp:

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Rochester, NY 14607

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Exterior Elevations North

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.: 20162181.0001

Drawing No.: A-200

Date: April 13, 2016

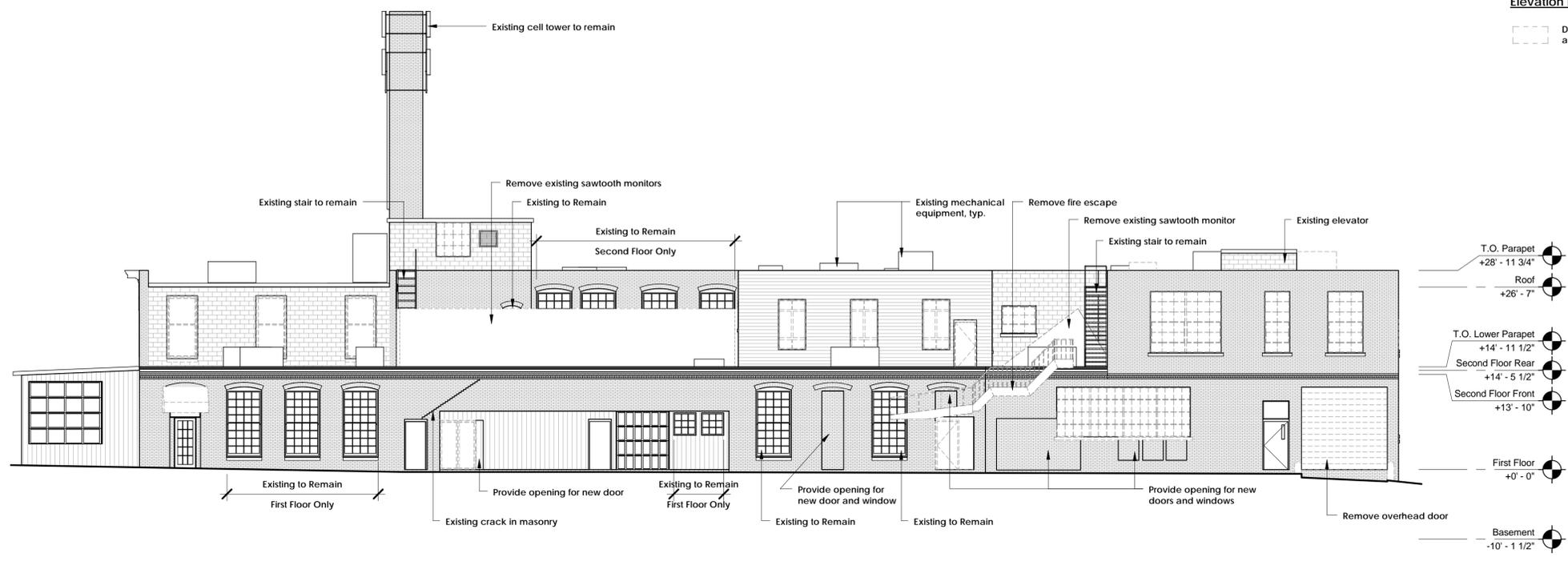
SHPO Submission

Elevation General Notes:

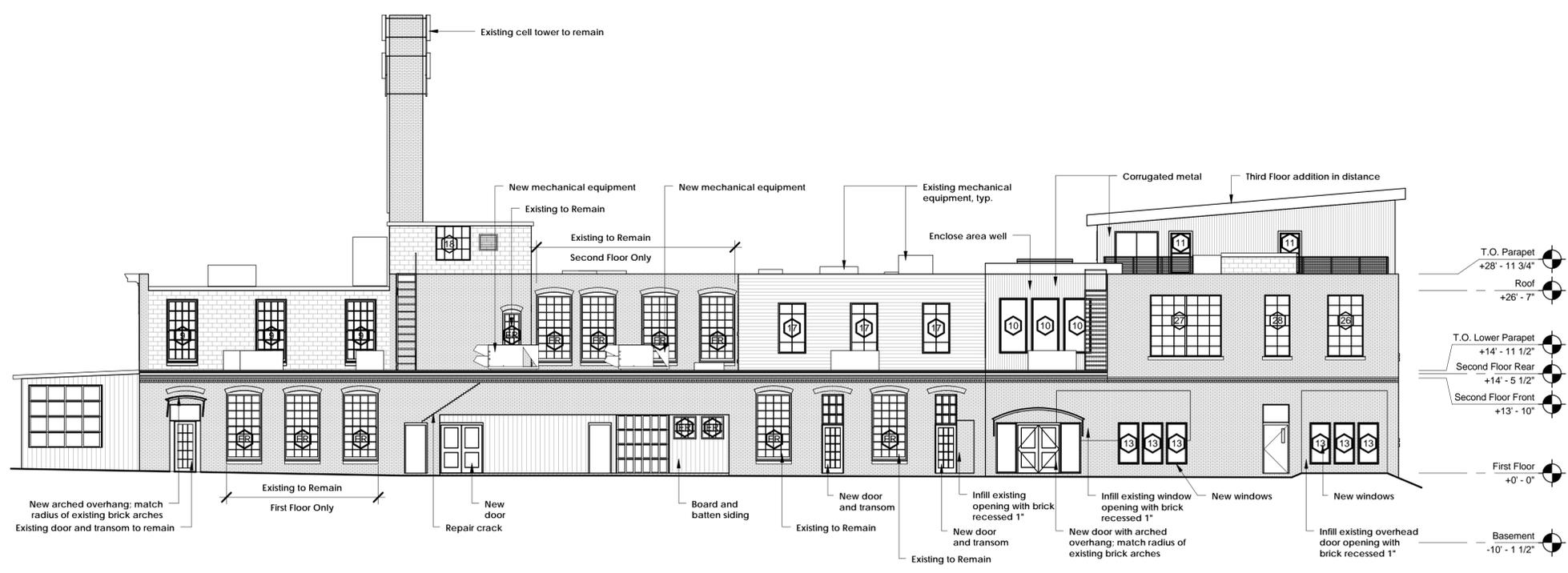
1. Repoint where necessary all damaged mortar joints on all facades per NPS standards.
2. Existing windows to remain to be restored. See specifications for additional information.

Elevation Legend:

Demolished, see demolition plans for additional information



1 Existing South Elevation & Demolition



2 South Elevation

Client:
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 46 Prince Street, Suite 2003
 Rochester, NY 14607

Passero Associates
 242 West Main Street, Suite 100 (585) 325-1000
 Rochester, NY 14614 Fax: (585) 325-1691
 Principal-in-Charge: Mark D. Passero, P.E.
 Project Manager: Peter Wehner, AIA
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Exterior Elevations South

1255 University Avenue

1255 University Avenue
 Renovation Project

Town/City: Rochester
 County: Monroe State: New York

Project No.: 20162181.0001

Drawing No.: A-201

Date: April 13, 2016

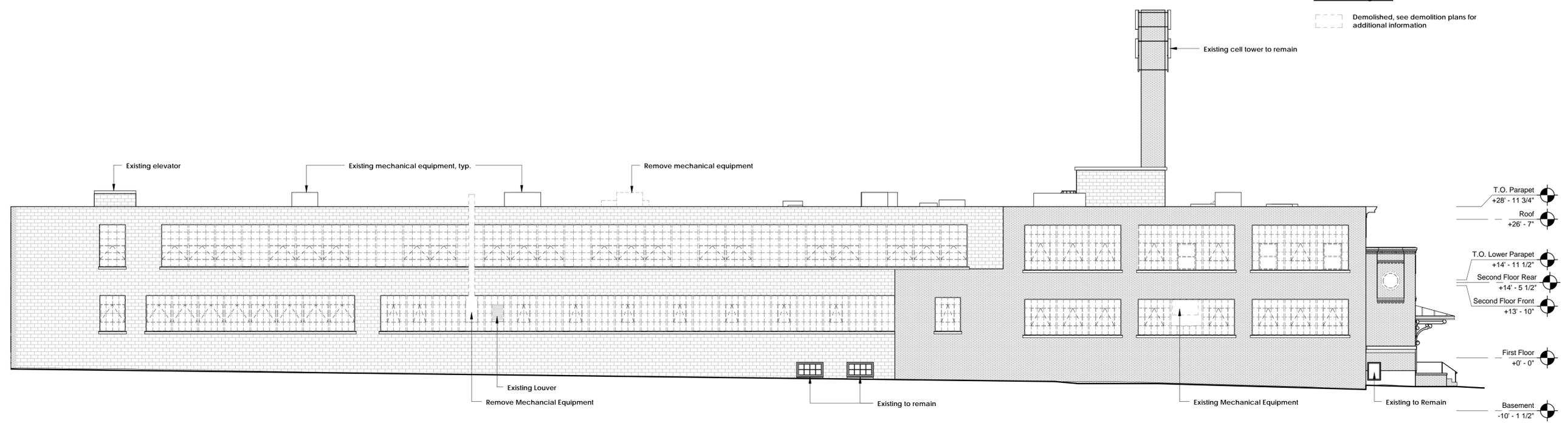
SHPO Submission

Elevation General Notes:

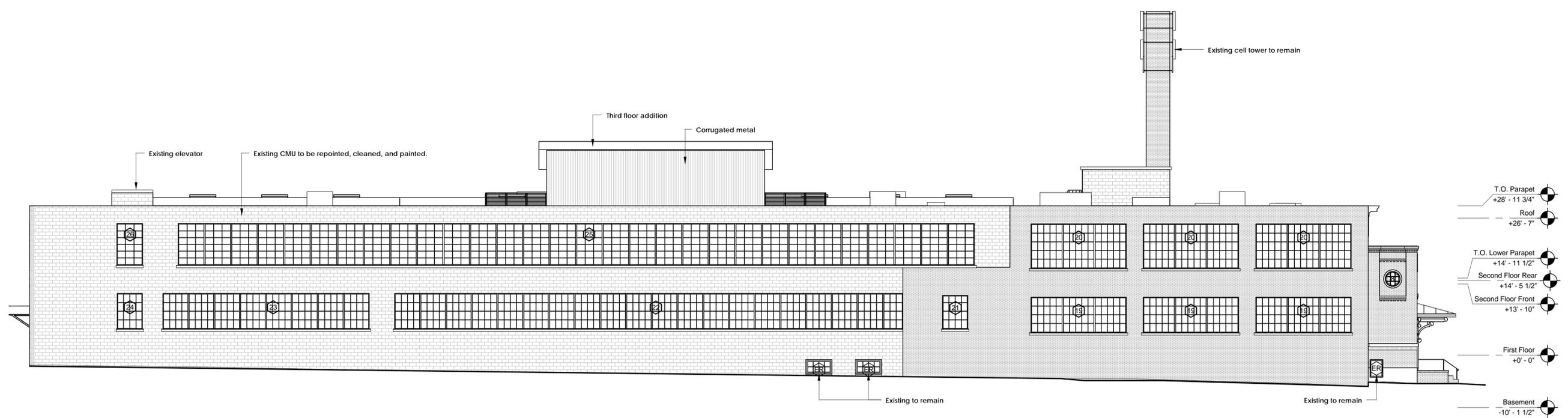
1. Repoint where necessary all damaged mortar joints on all facades per NPS standards.
2. Existing windows to remain to be restored. See specifications for additional information.

Elevation Legend:

Demolished, see demolition plans for additional information



① Existing East Elevation & Demolition
0' 4' 8' 16' 32'



② East Elevation
0' 4' 8' 16' 32'

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates

242 West Main Street, Suite 100 (585) 325-1000
Rochester, NY 14614 Fax: (585) 325-1691
Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Exterior Elevations East

1255 University Avenue

1255 University Avenue
Renovation Project

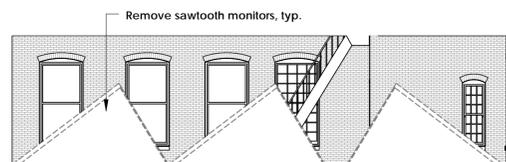
Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

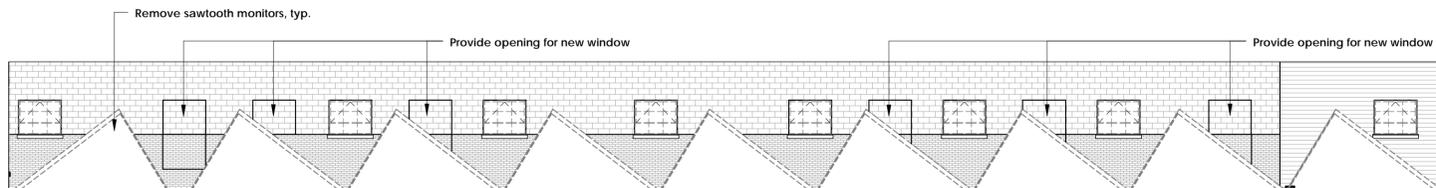
Drawing No.:
A-202

Date:
April 13, 2016

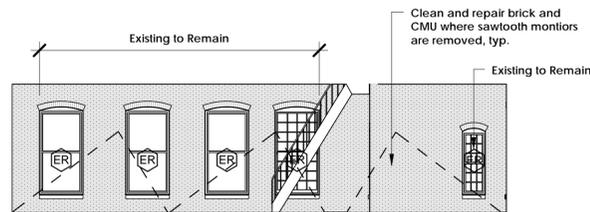
SHPO Submission



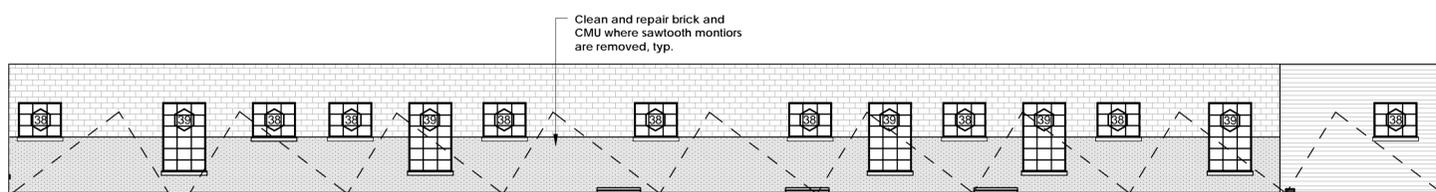
1 Existing Elevation East B
0' 4' 8' 16' 32'



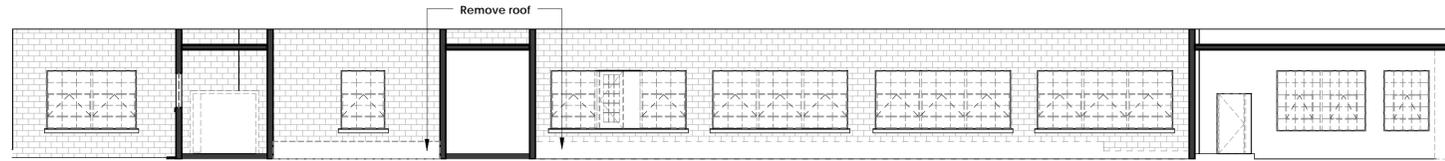
2 Existing Elevation West B
0' 4' 8' 16' 32'



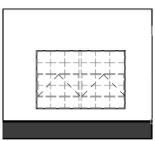
3 Elevation East B
0' 4' 8' 16' 32'



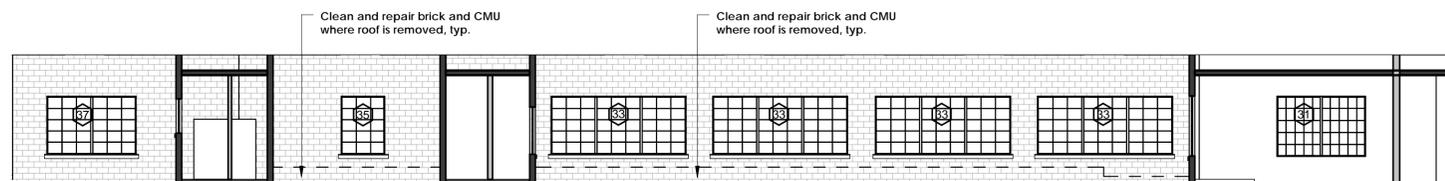
4 Elevation West B
0' 4' 8' 16' 32'



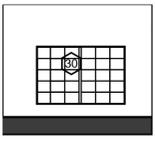
5 Existing Area Well West B
0' 4' 8' 16' 32'



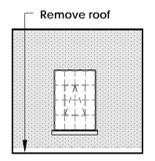
6 Existing Area Well West A
0' 4' 8' 16' 32'



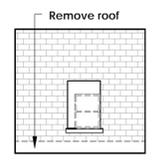
7 Area Well West B
0' 4' 8' 16' 32'



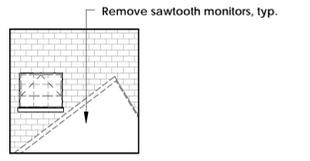
8 Area Well West A
0' 4' 8' 16' 32'



9 Existing Area Well North A
0' 4' 8' 16' 32'



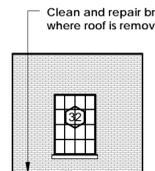
10 Existing Area Well South
0' 4' 8' 16' 32'



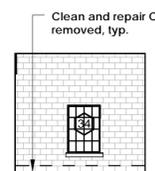
11 Existing Area Well North B
0' 4' 8' 16' 32'



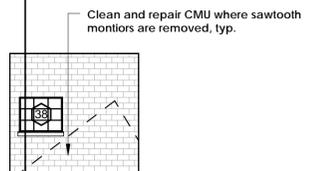
12 Existing Elevation South B
0' 4' 8' 16' 32'



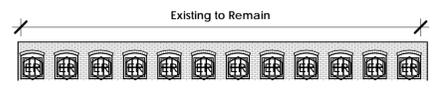
13 Area Well North A
0' 4' 8' 16' 32'



14 Area Well South
0' 4' 8' 16' 32'



15 Area Well North B
0' 4' 8' 16' 32'



16 Elevation South B
0' 4' 8' 16' 32'

- Elevation General Notes:**
1. Repoint where necessary all damaged mortar joints on all facades per NPS standards.
 2. Existing windows to remain to be restored. See specifications for additional information.

Elevation Legend:

Demolished, see demolition plans for additional information



Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100 (585) 325-1000
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Principal-in-Charge: Mark D. Passero, P.E.
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Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Exterior Elevations

1255 University Avenue

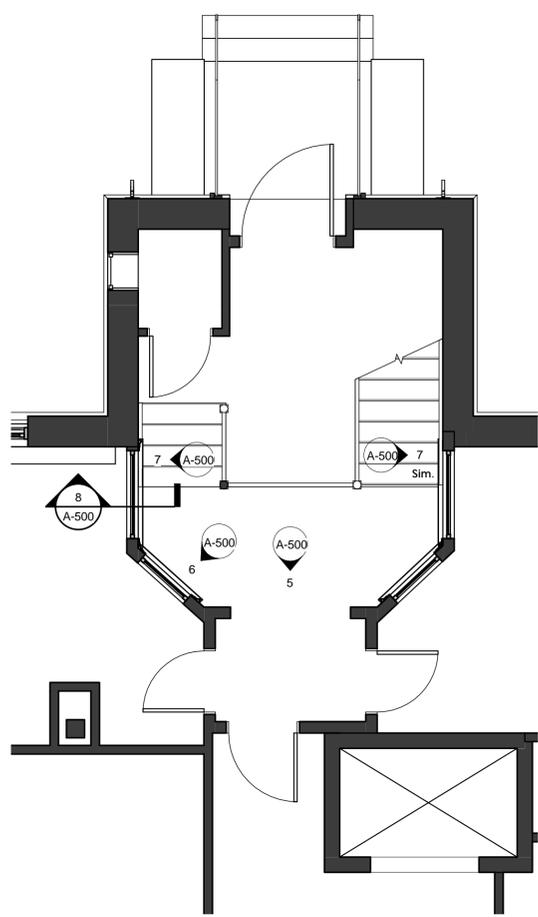
1255 University Avenue
Renovation Project
Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

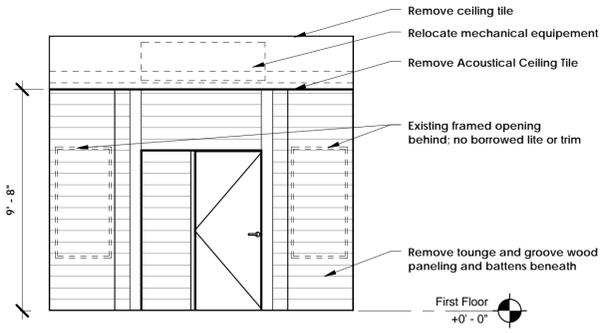
Drawing No.:
A-204

Date:
April 13, 2016

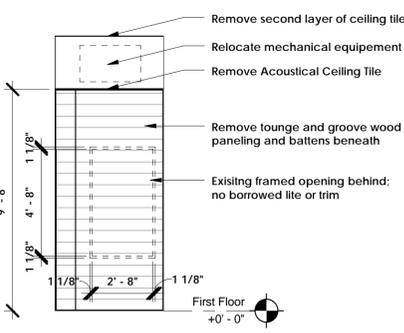
SHPO Submission



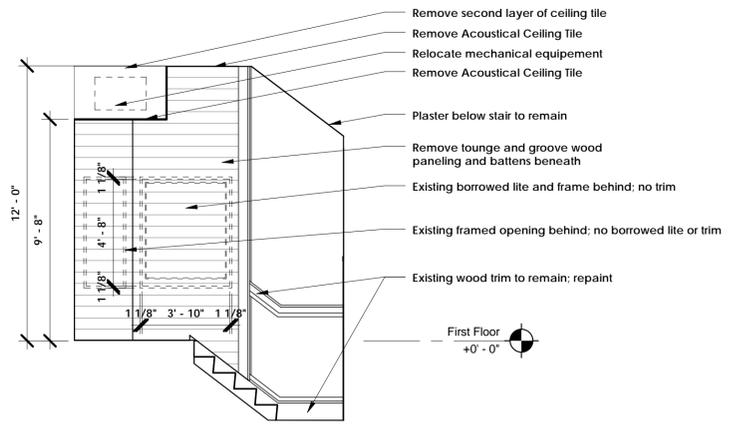
1 First Floor Lobby
0' 3' 6' 1'



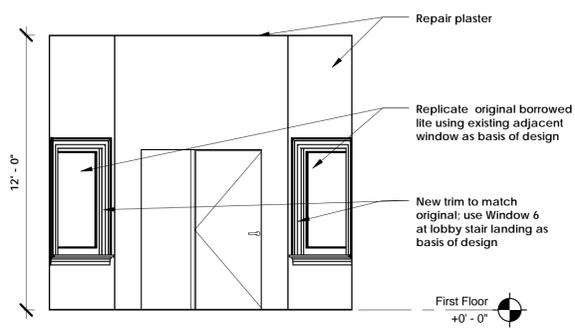
2 Existing Lobby Elevation - South
0' 3' 6' 1'



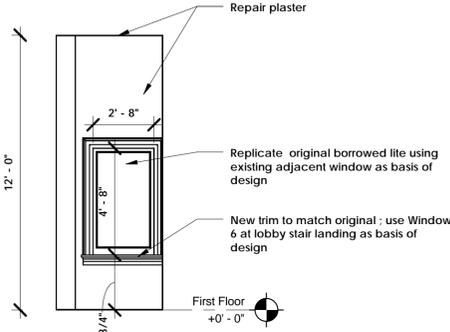
3 Existing Lobby Elevation - Southwest
0' 3' 6' 1'



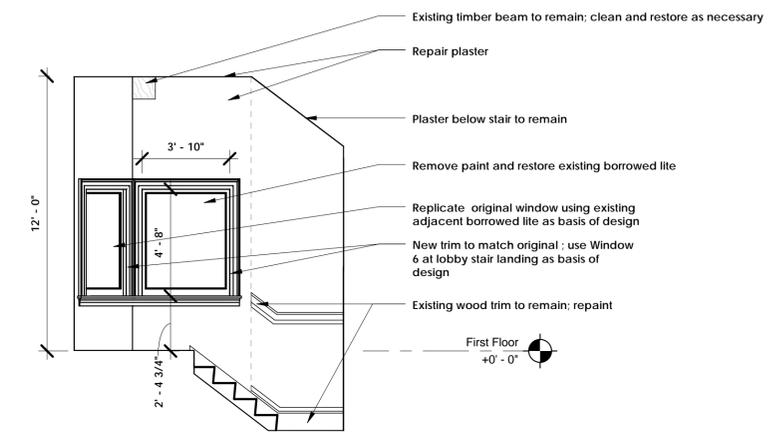
4 Existing Lobby Elevation - West
0' 3' 6' 1'



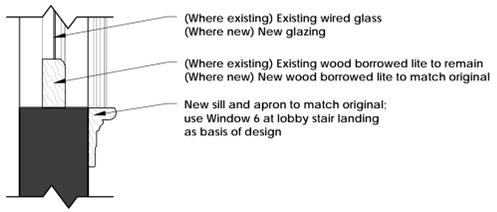
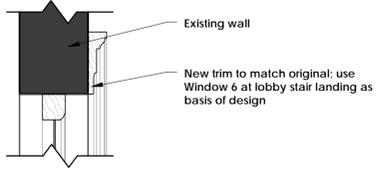
5 Proposed Lobby Elevation - South
0' 3' 6' 1'



6 Proposed Lobby Elevation - Southwest
0' 3' 6' 1'



7 Proposed Lobby Elevation - West
0' 3' 6' 1'



8 Lobby Borrowed Light Section
0' 3' 6' 1' 2'

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100 (585) 325-1000
Rochester, NY 14614 Fax: (585) 325-1691

Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Interior Elevations

1255 University Avenue

1255 University Avenue
Renovation Project

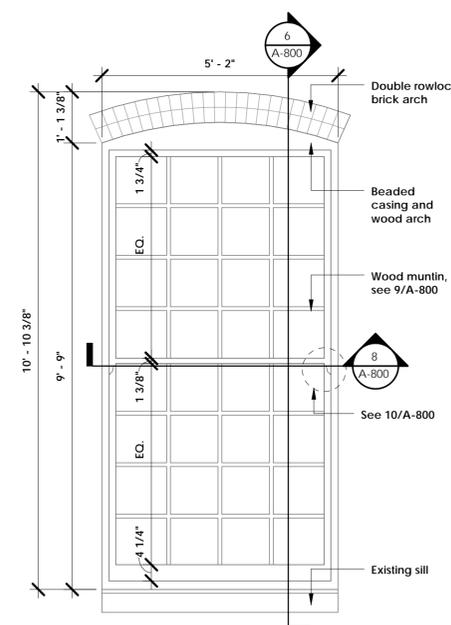
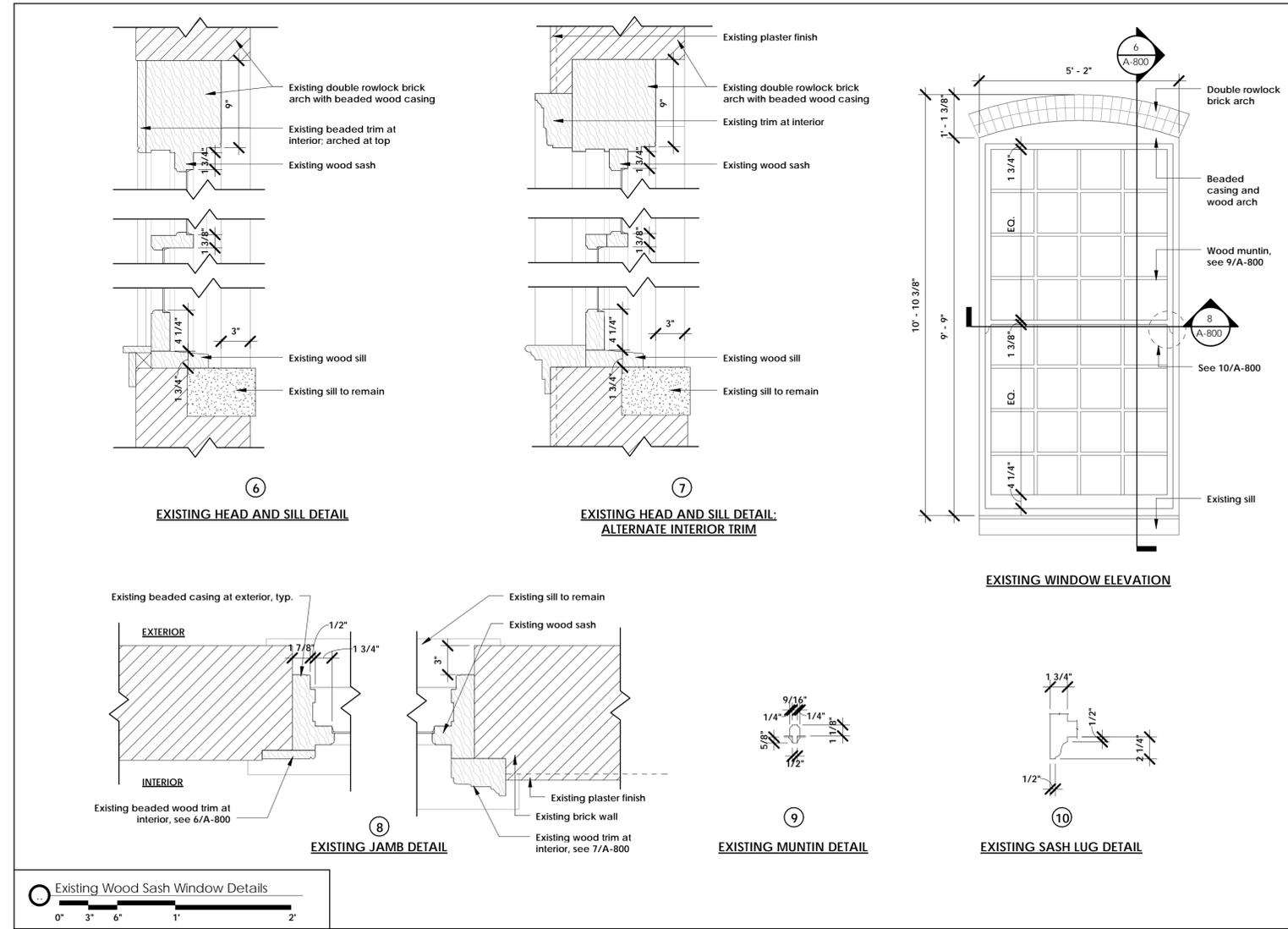
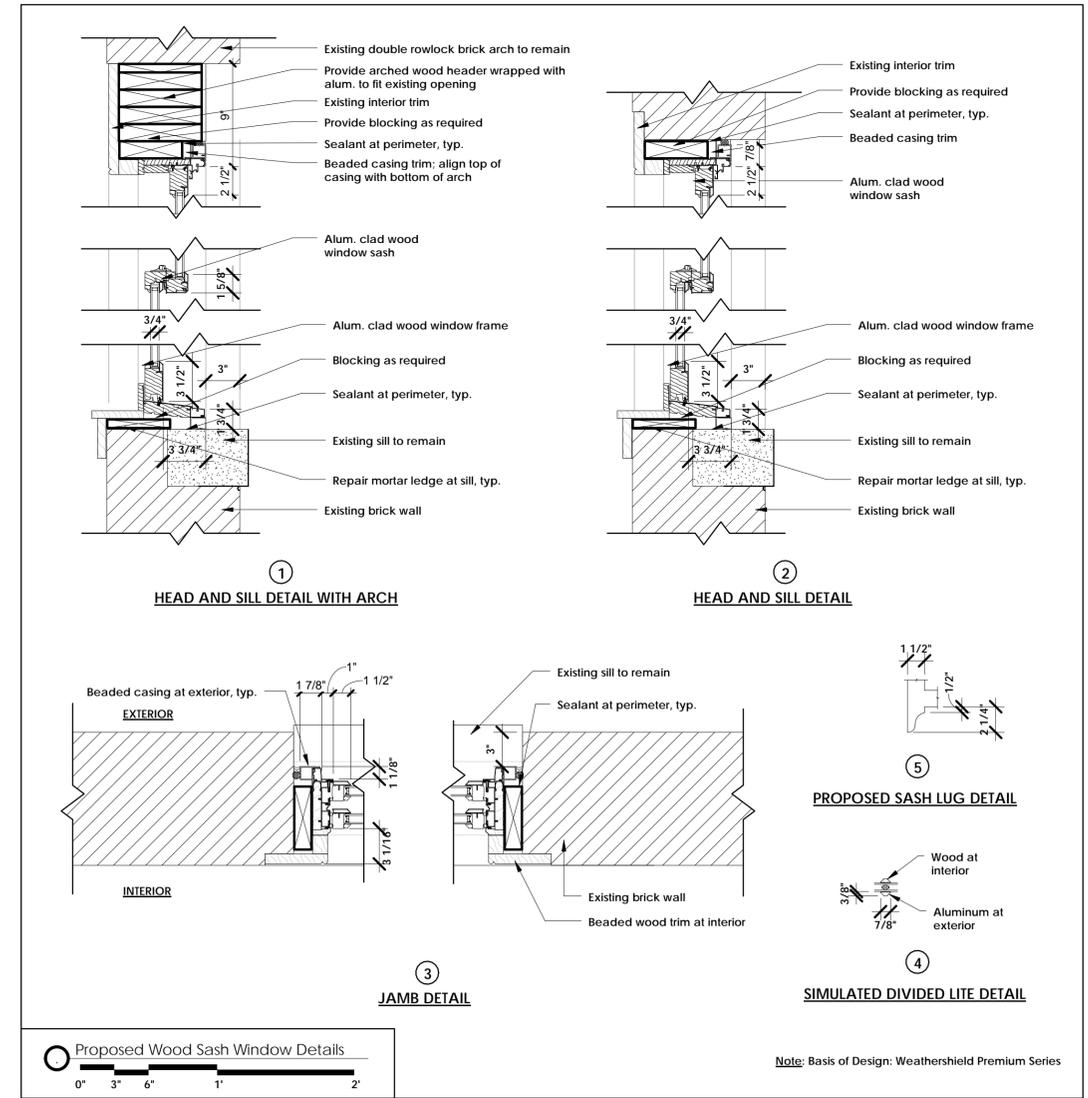
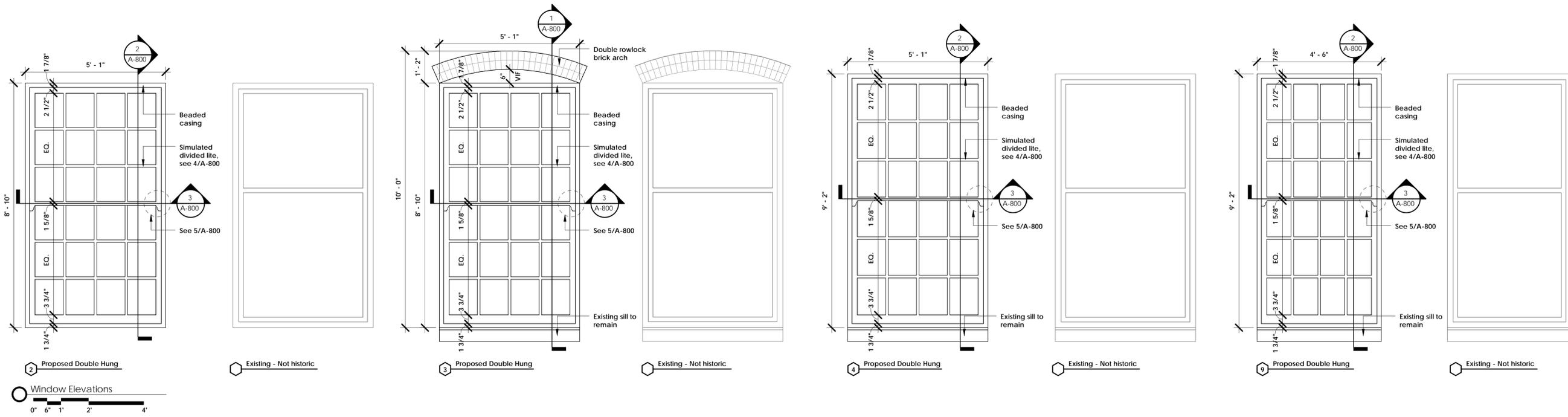
Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

Drawing No.:
A-500

Date:
April 13, 2016

SHPO Submission



Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100
Rochester, NY 14614
(585) 325-1000
Fax: (585) 325-1691

Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

Wood Sash Window Details

1255 University Avenue

1255 University Avenue
Renovation Project

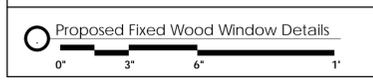
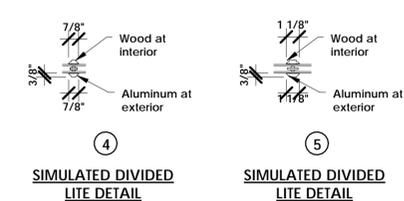
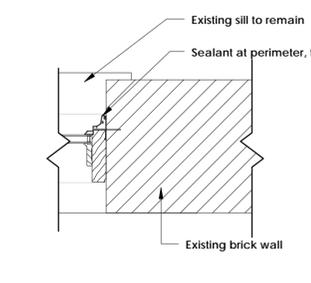
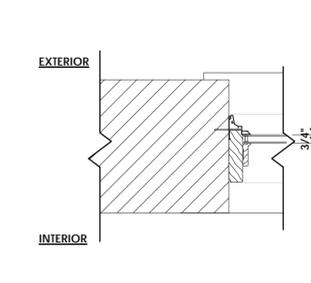
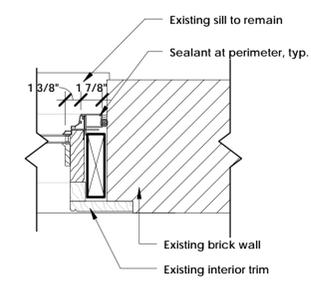
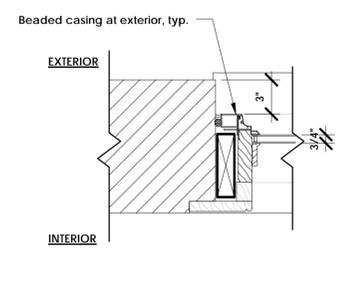
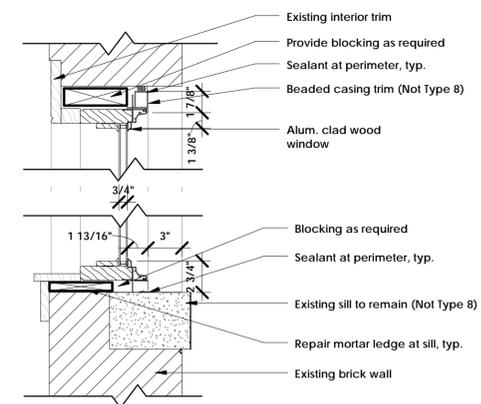
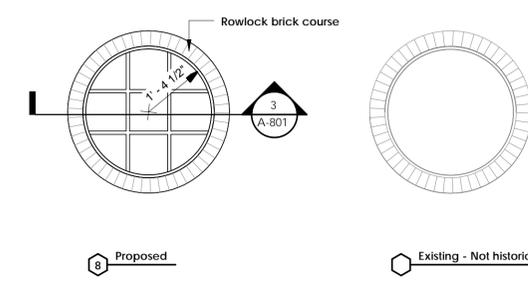
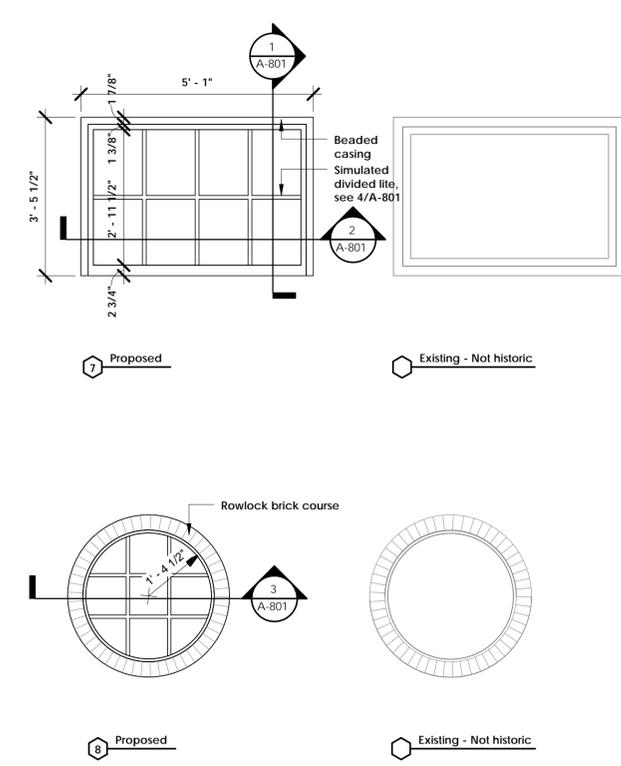
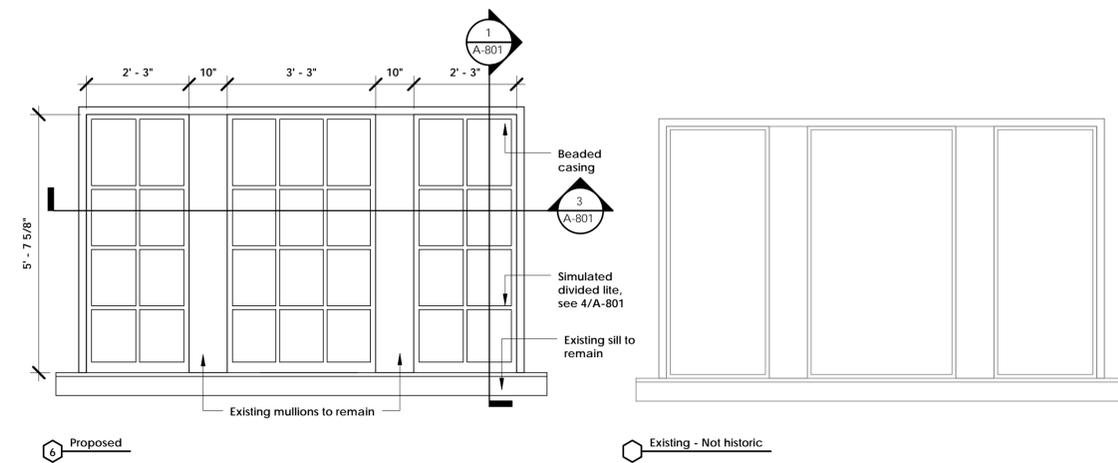
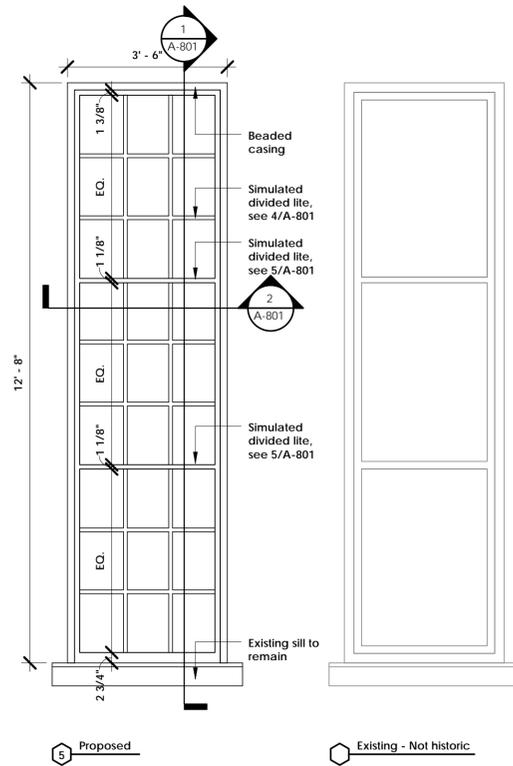
Town/City: Rochester
County: Monroe State: New York

Project No.: 20162181.0001

Drawing No.: A-800

Date: April 13, 2016

SHPO Submission



Note: Basis of Design: Weathershield Premium Series

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100
Rochester, NY 14614
Principal-In-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Wood Fixed Window Details

1255 University Avenue

1255 University Avenue
Renovation Project

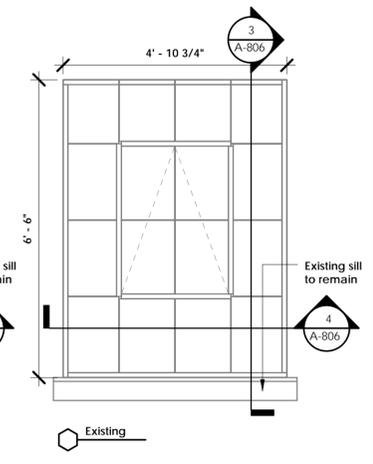
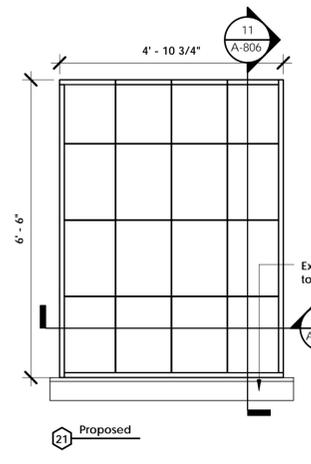
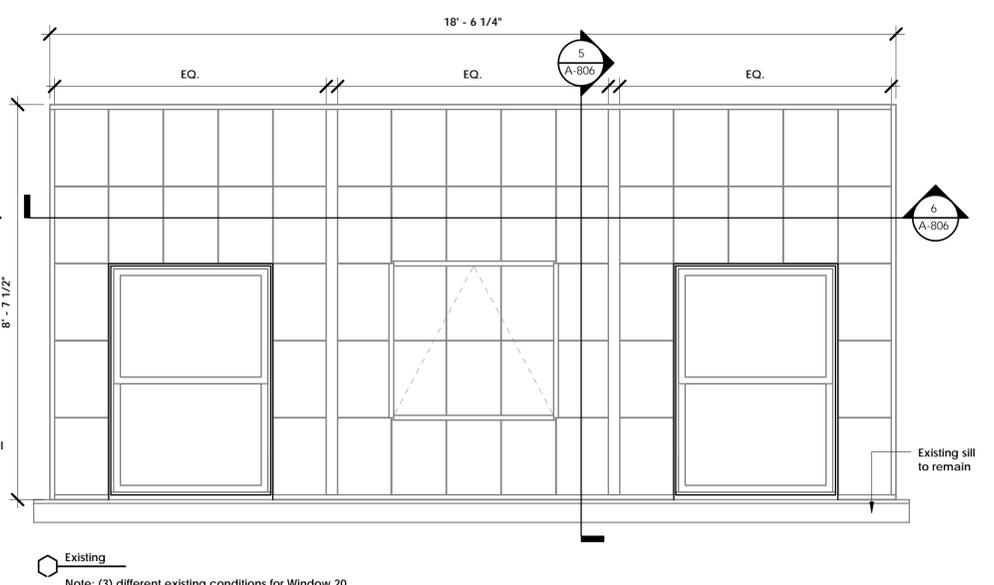
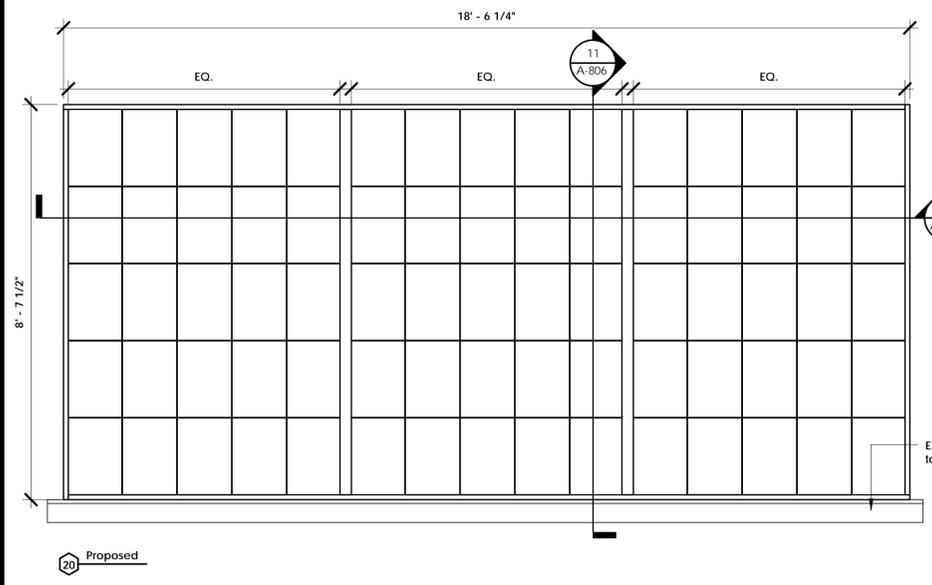
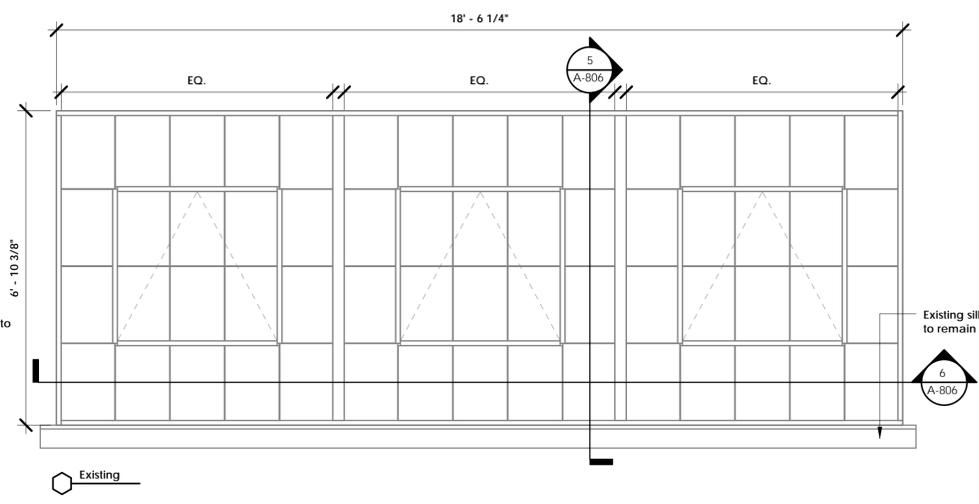
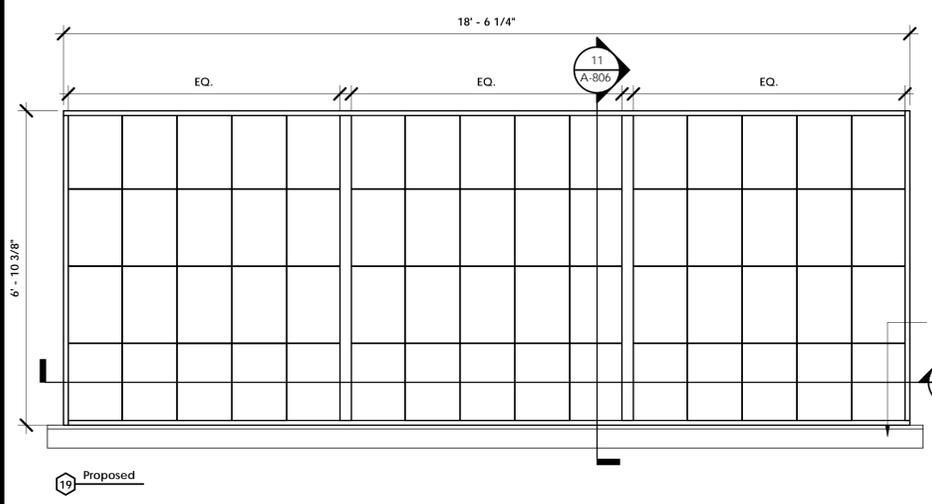
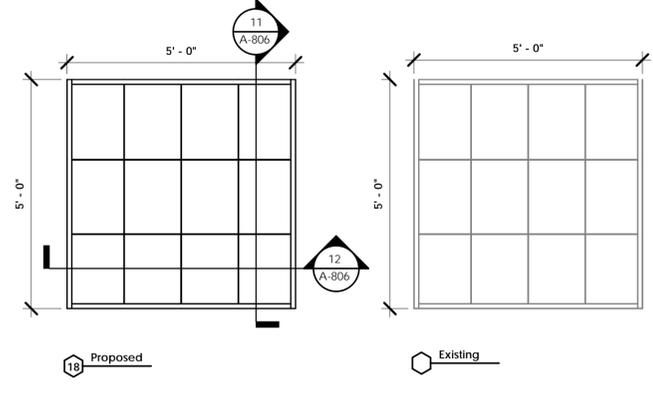
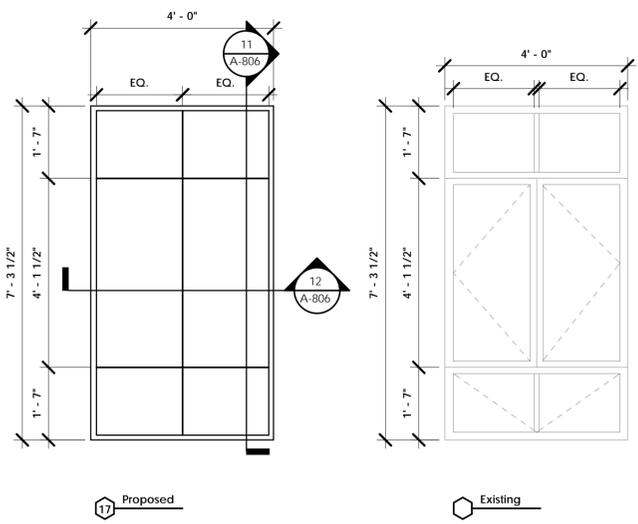
Town/City: Rochester
County: Monroe State: New York

Project No.: 20162181.0001

Drawing No.: **A-801**

Date: April 13, 2016

SHPO Submission



Note: (3) different existing conditions for Window 20
 - One with (2) sash windows inserted on the end units (shown)
 - One with (1) sash window inserted in the center unit
 - One with no insertions



SHPO Submission

Stamp:

Client:
Park Grove Realty, LLC
 46 Prince Street, Suite 2003
 Rochester, NY 14607

Passero Associates
 242 West Main Street, Suite 100 (585) 325-1000
 Rochester, NY 14614 Fax: (585) 325-1691

Principal-in-Charge: Mark D. Passero, P.E.
 Project Manager: Peter Wehner, AIA
 Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Steel Window Details

1255 University Avenue

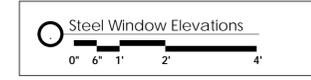
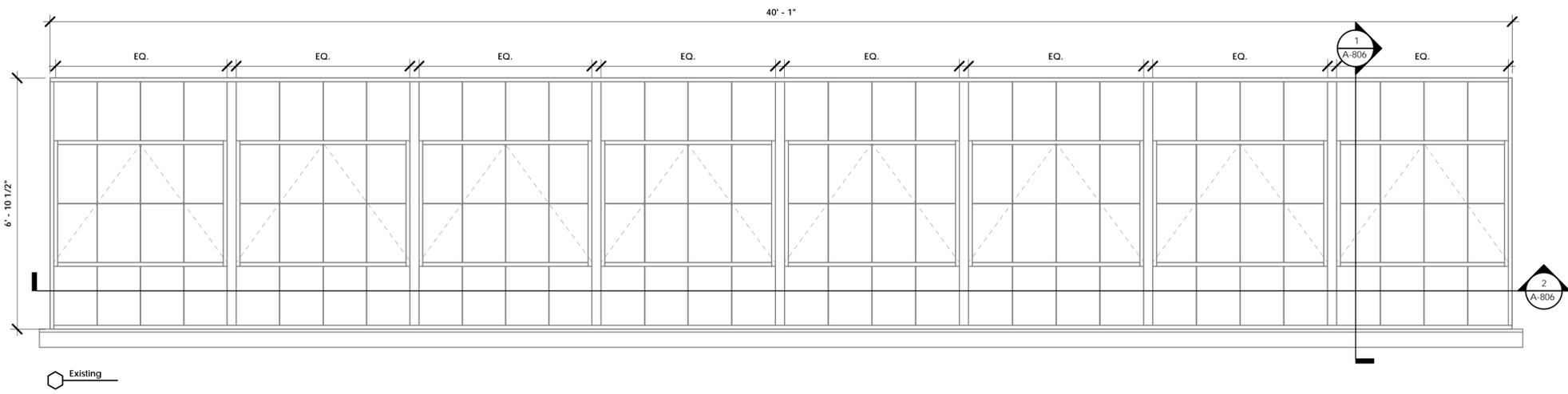
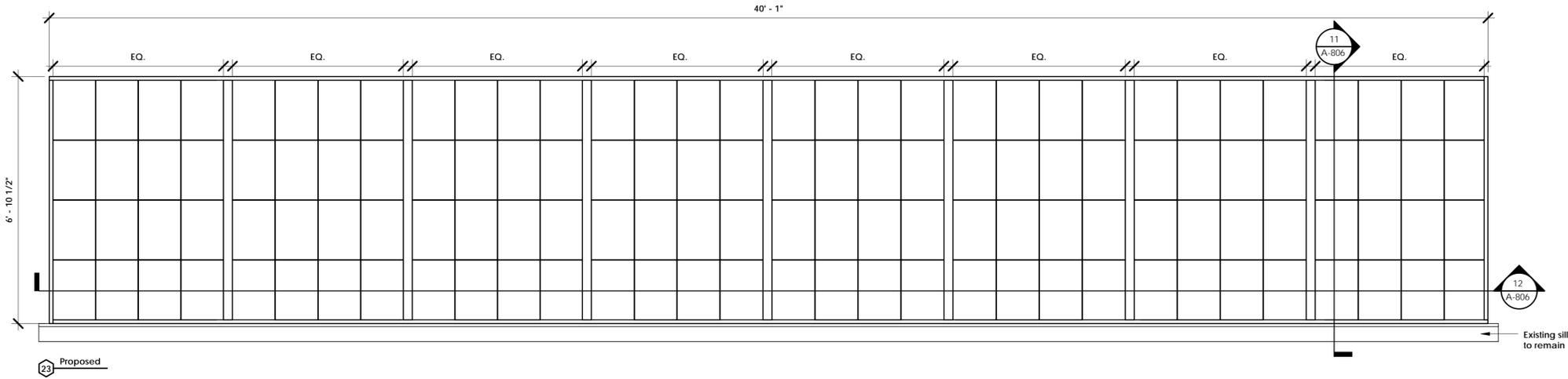
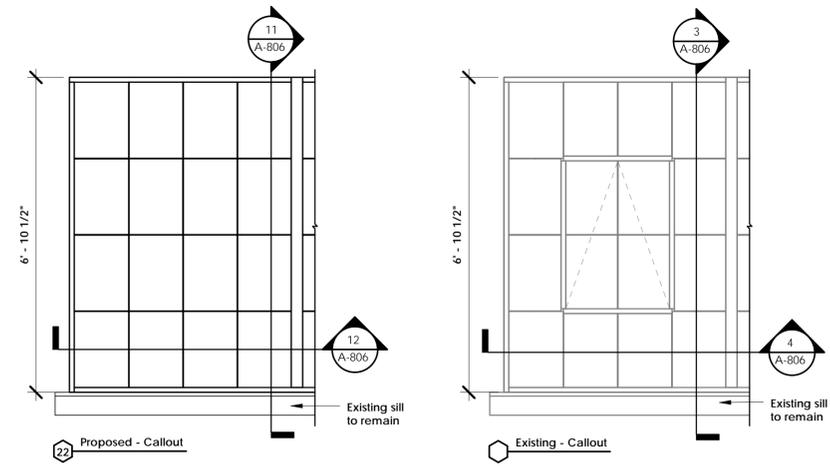
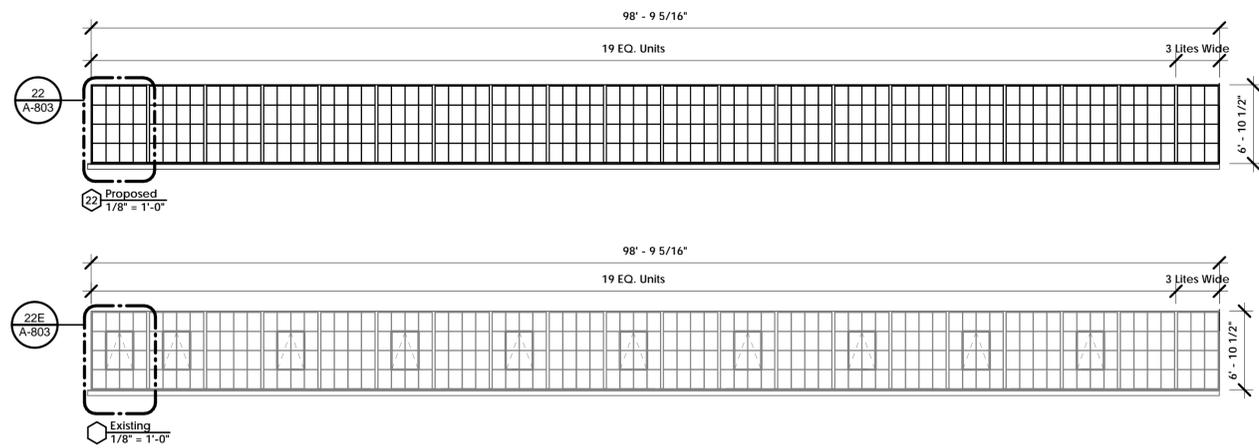
1255 University Avenue
 Renovation Project

Town/City: Rochester
 County: Monroe State: New York

Project No.: 20162181.0001

Drawing No.: **A-802**

Date: April 13, 2016



SHPO Submission

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100 (585) 325-1000
Rochester, NY 14614 Fax: (585) 325-1691

Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Steel Window Details

1255 University Avenue

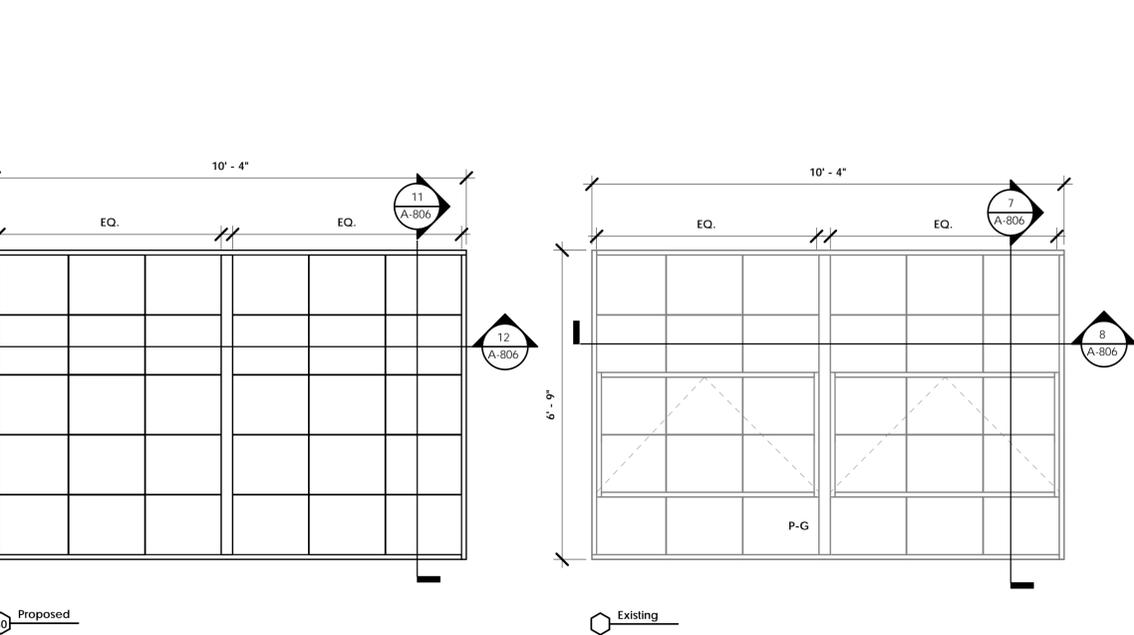
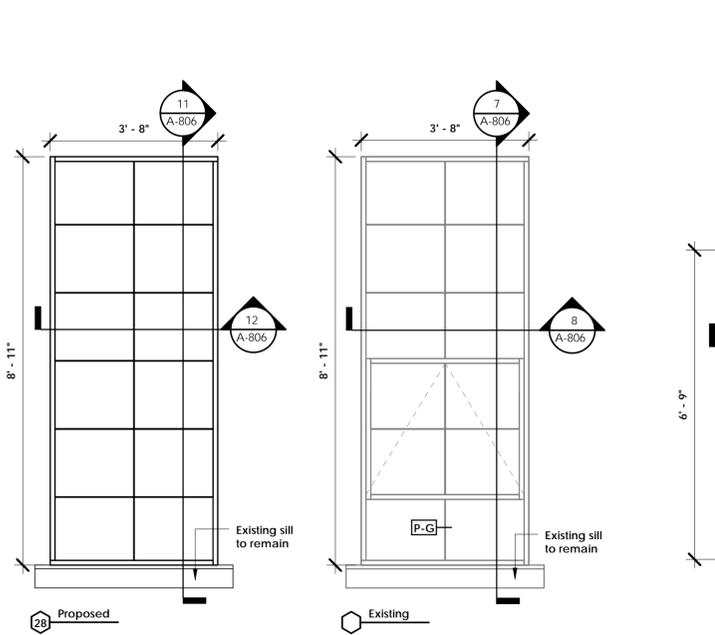
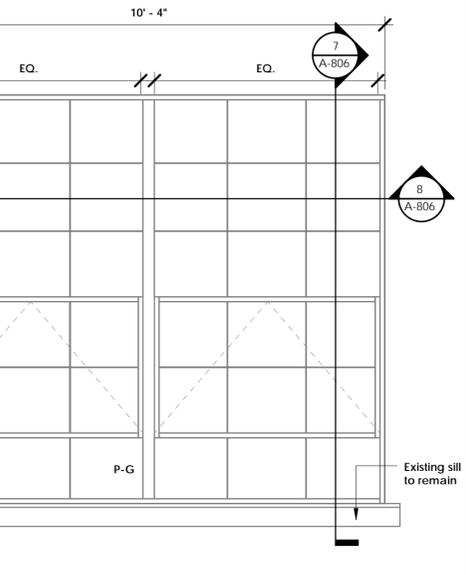
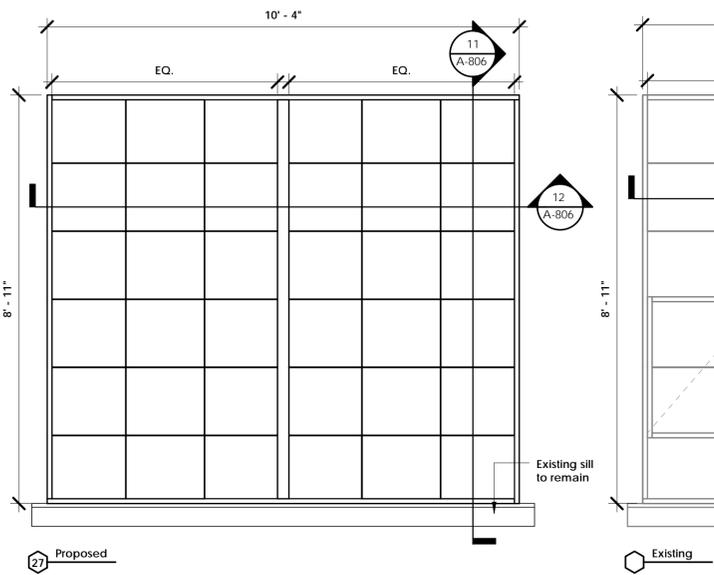
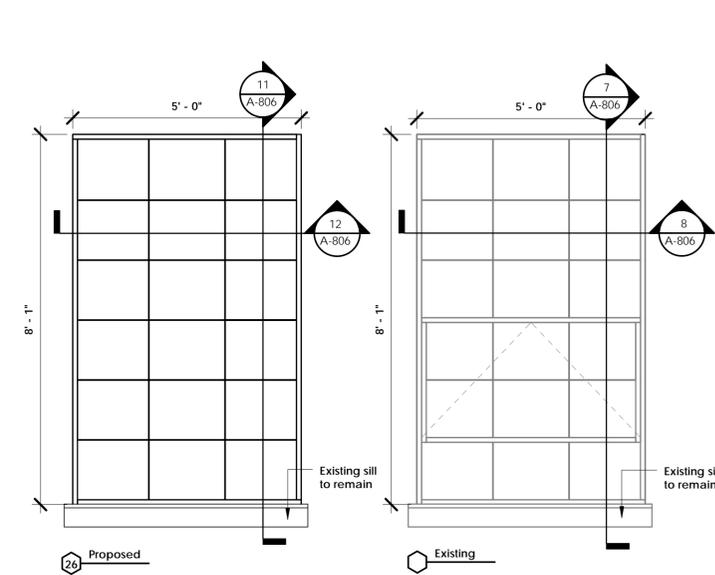
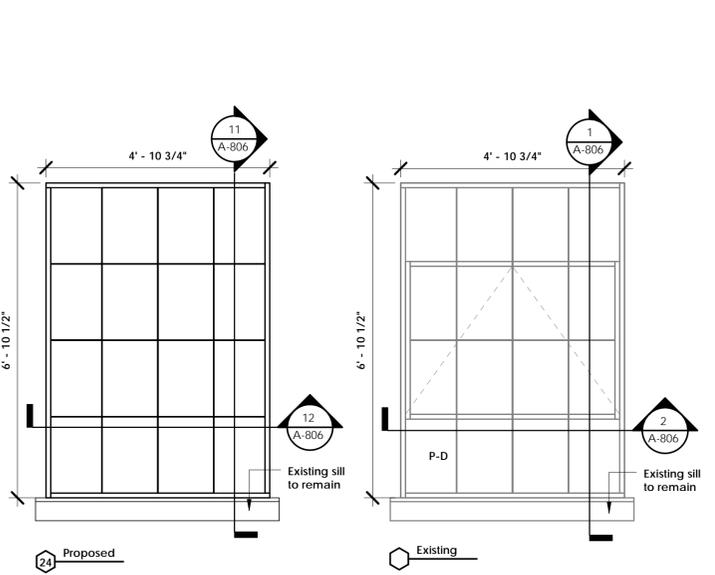
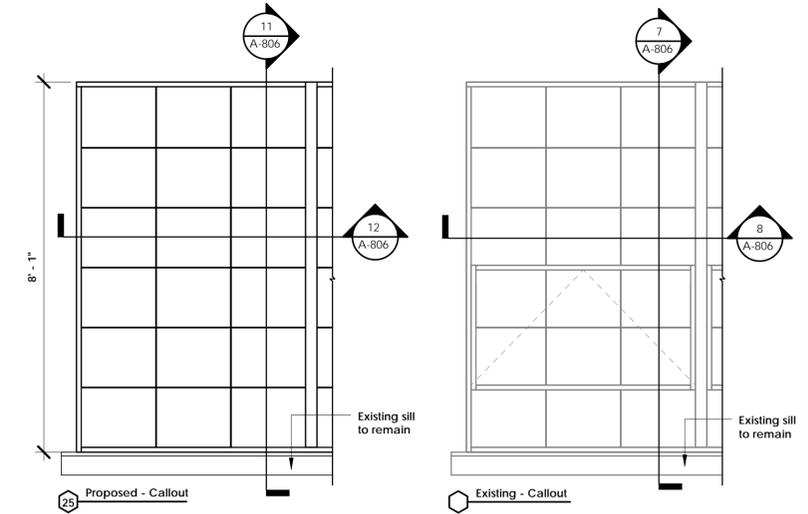
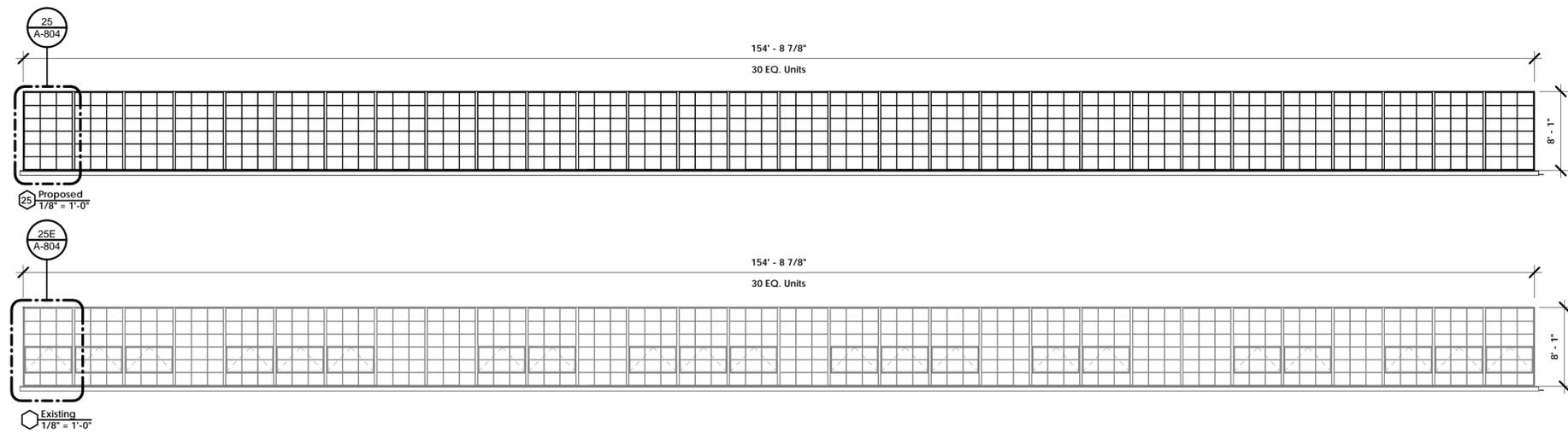
1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.: 20162181.0001

Drawing No.: **A-803**

Date: April 13, 2016



Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100
Rochester, NY 14614
(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Steel Window Details

1255 University Avenue

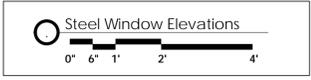
1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

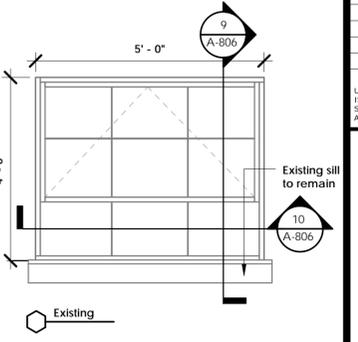
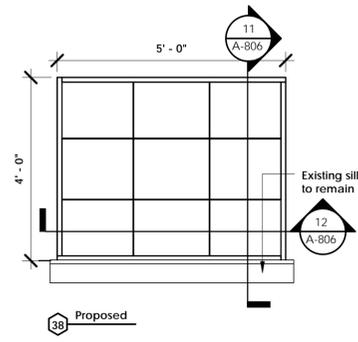
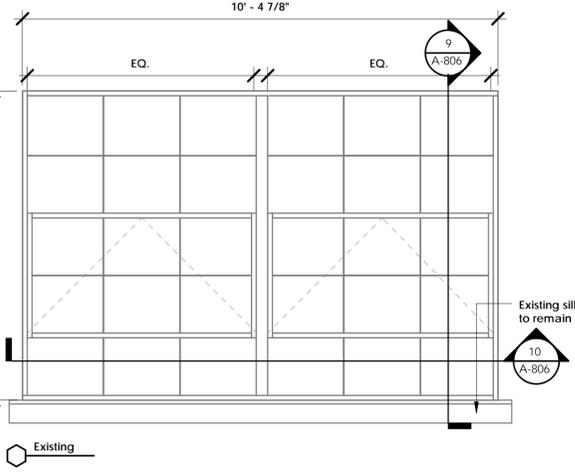
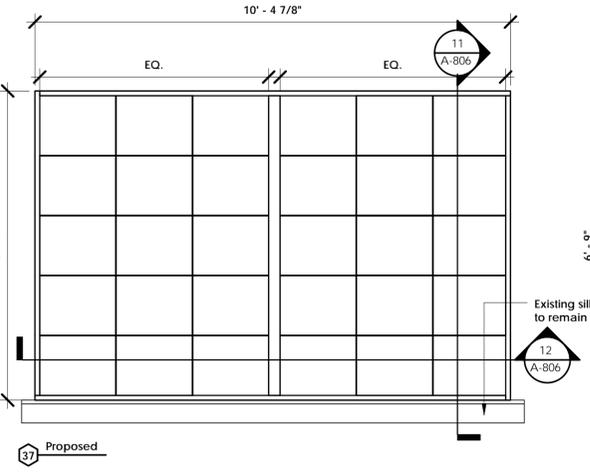
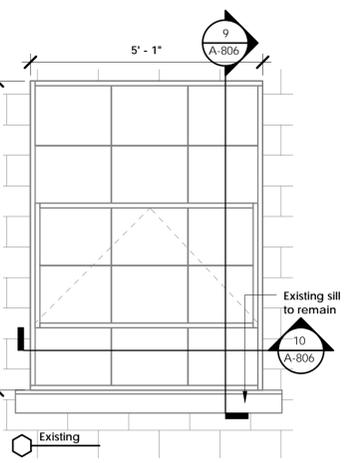
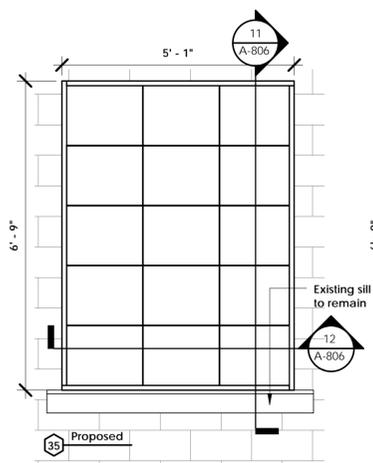
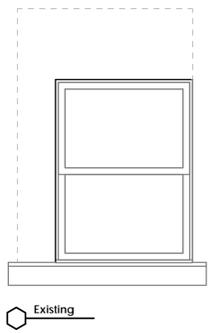
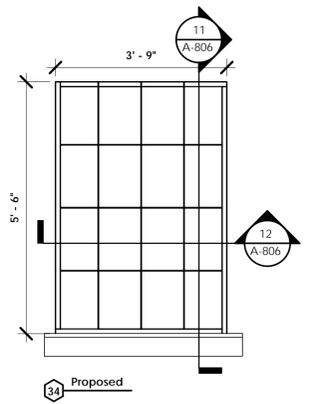
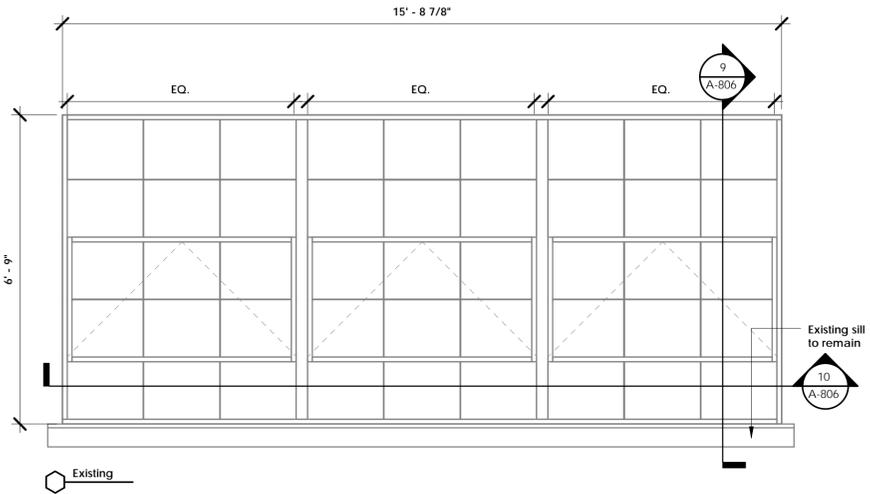
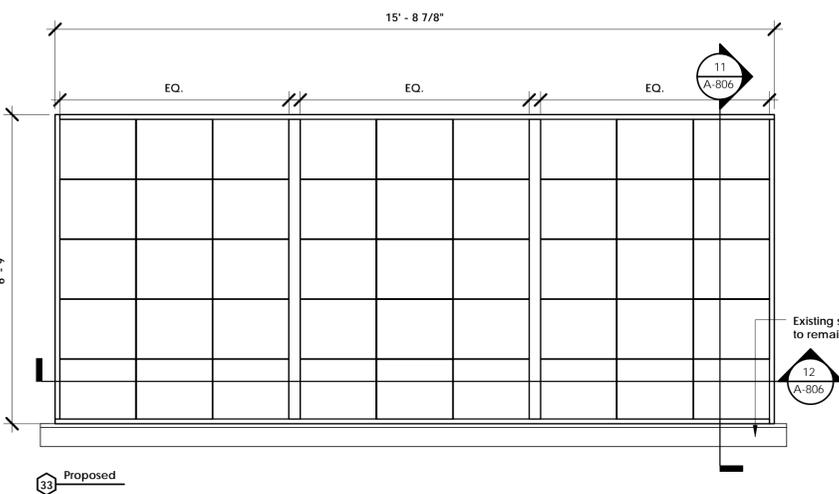
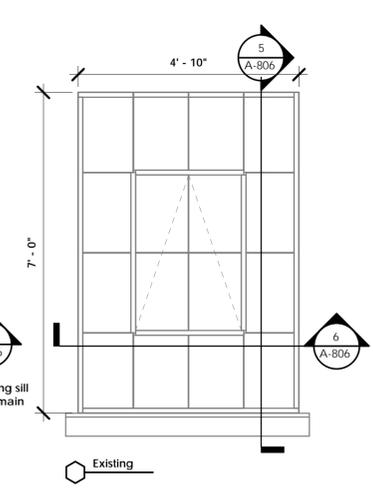
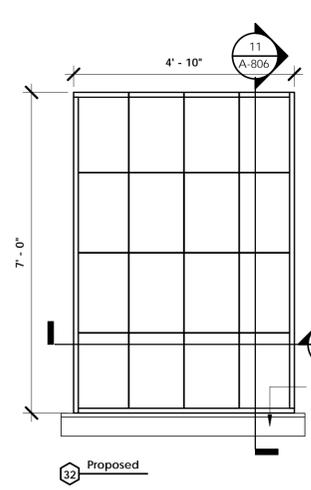
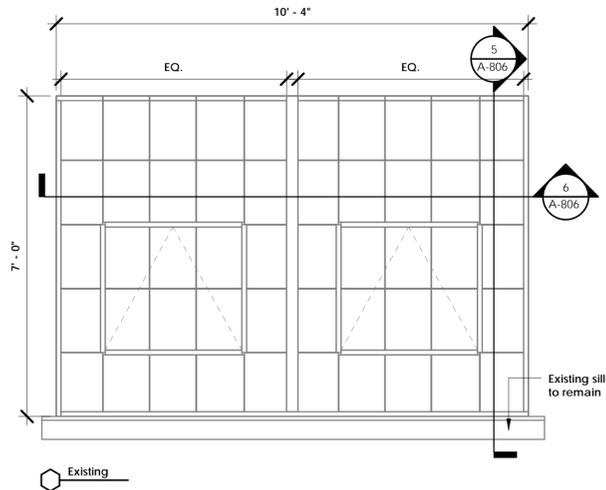
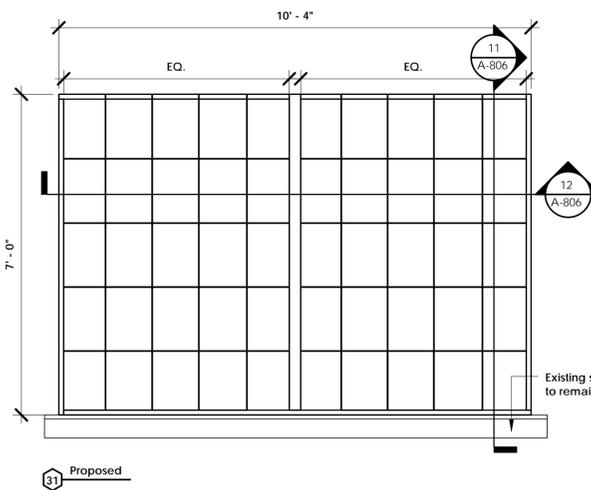
Project No.: 20162181.0001

Drawing No.: A-804

Date: April 13, 2016



SHPO Submission



SHPO Submission

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100
Rochester, NY 14614
(585) 325-1000
Fax: (585) 325-1691

Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
Designed By: Emily Corcoran, Assoc. AIA

No.	Date	By	Description

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Steel Window Details

1255 University Avenue

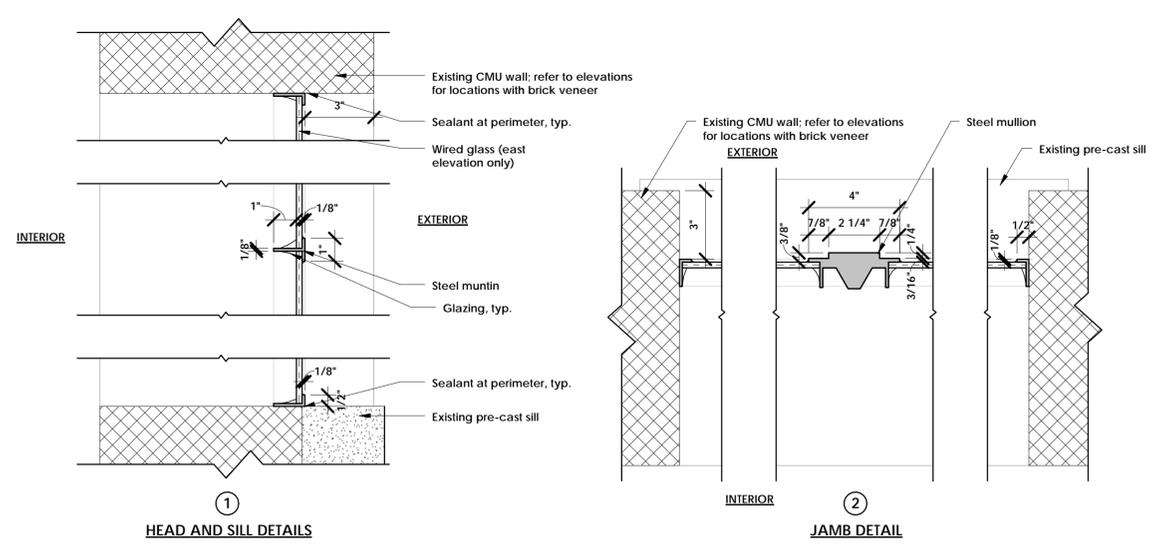
1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

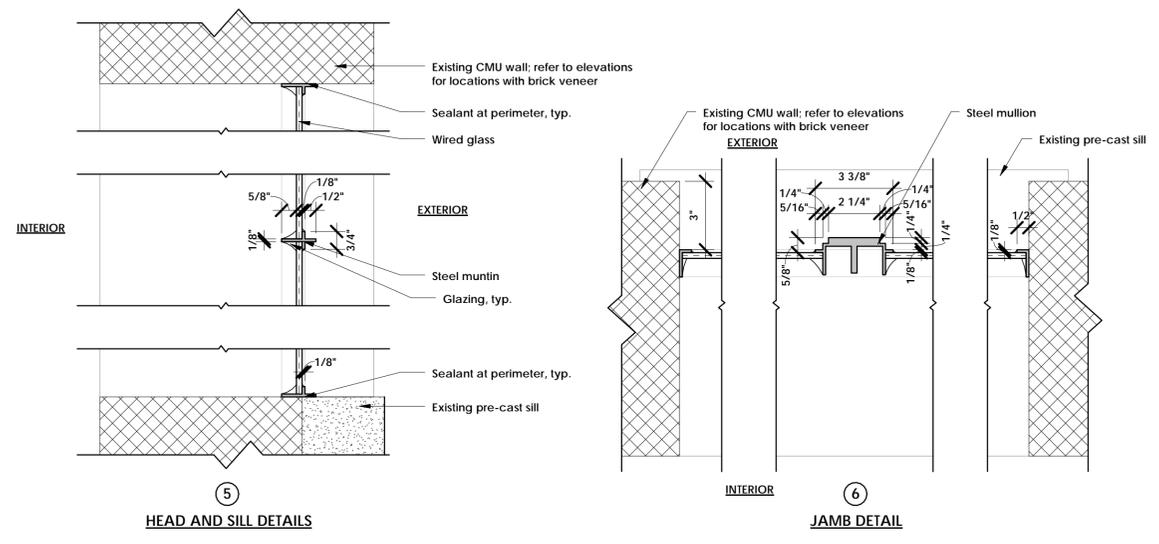
Project No.: 20162181.0001

Drawing No.: **A-805**

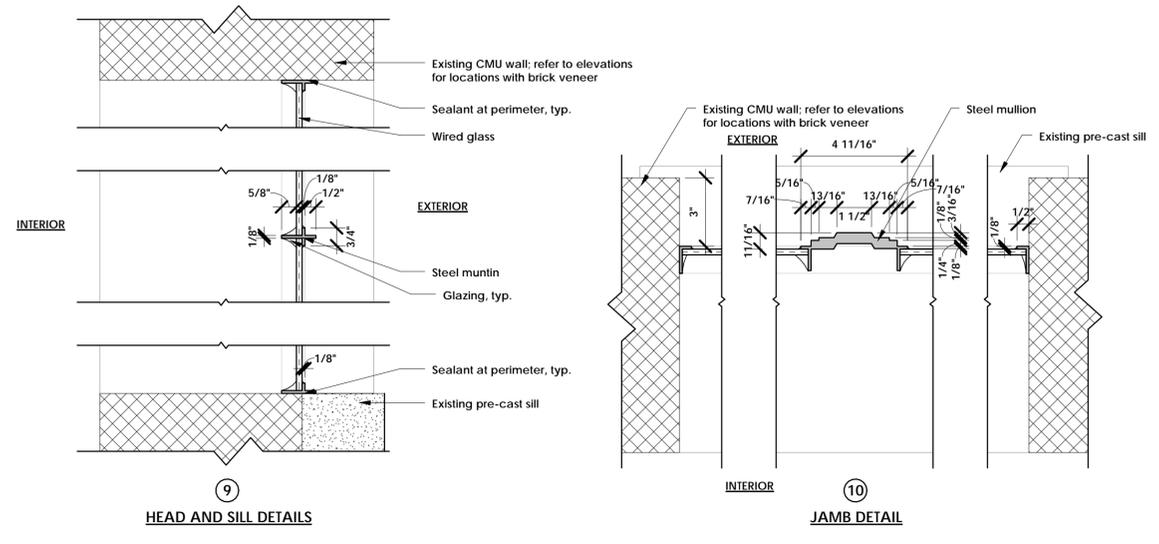
Date: April 13, 2016



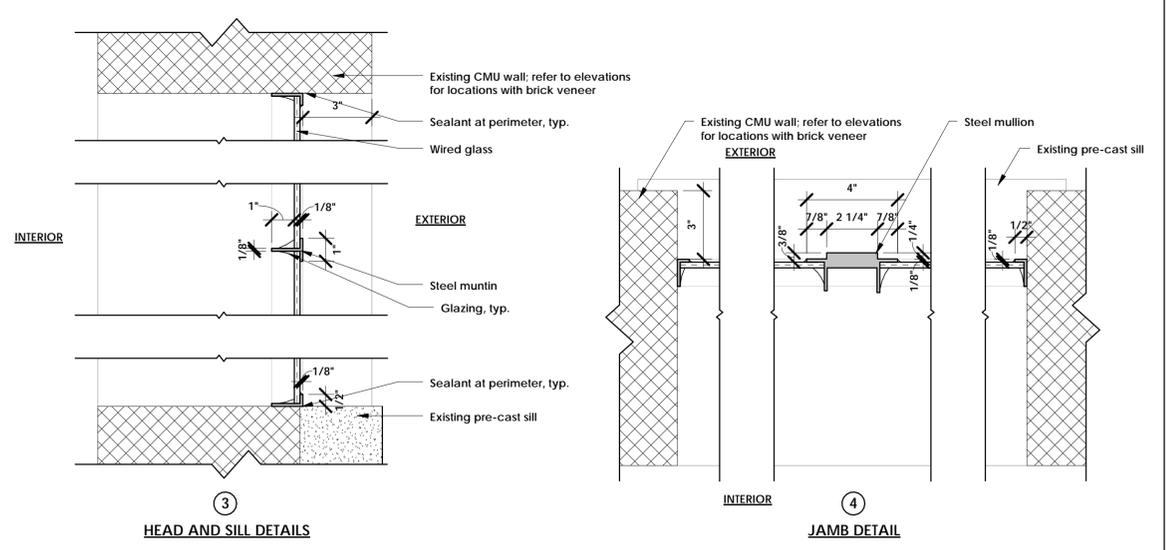
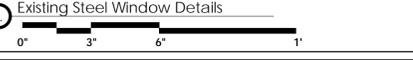
P-D Profile Set-D Window of Origin: Existing Window 23



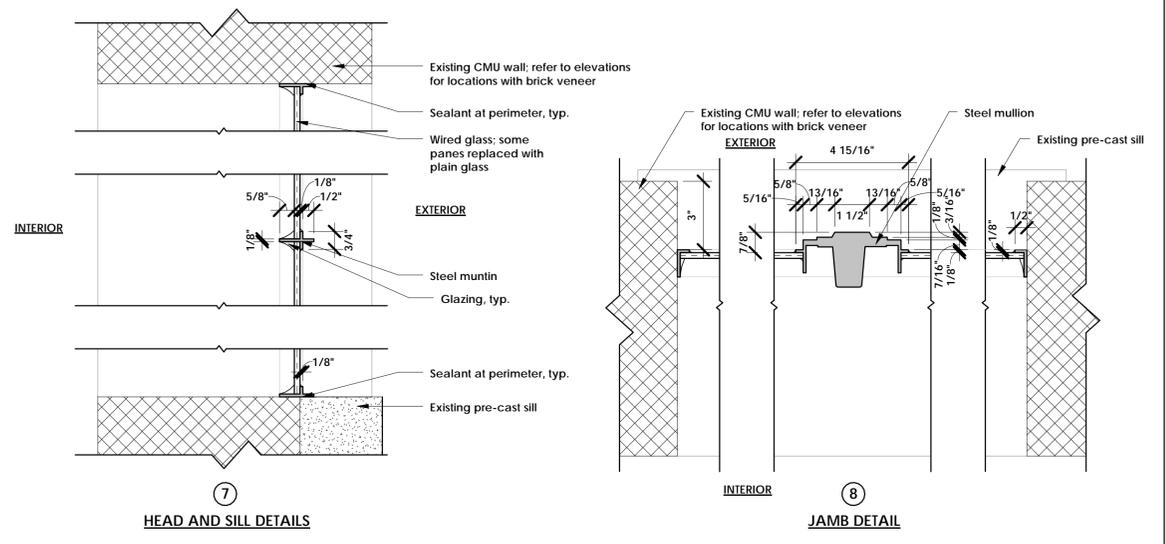
P-F Profile Set-F Window of Origin: Existing Windows 19 & 20



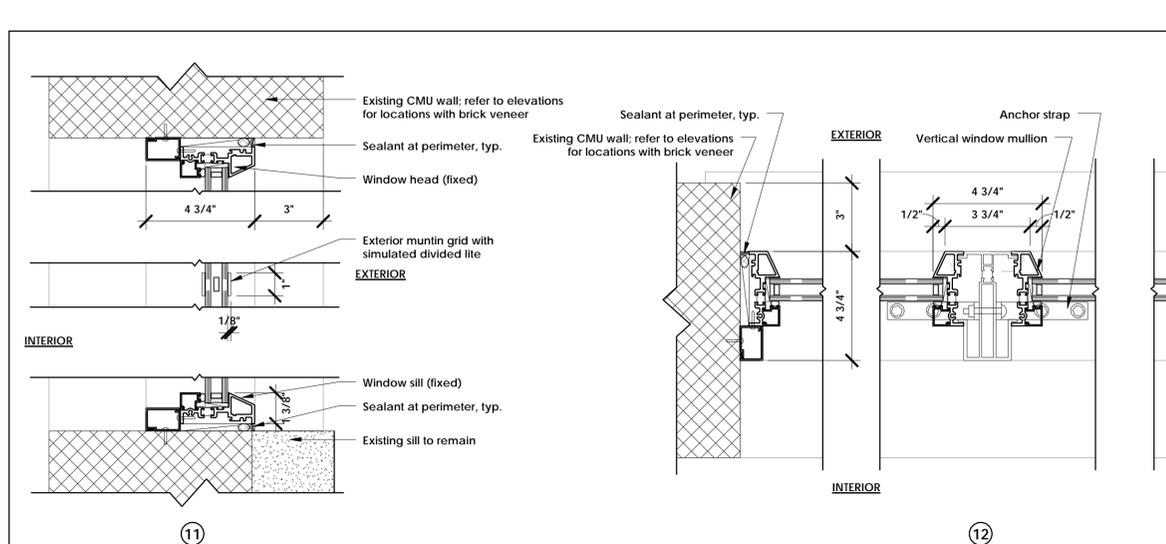
P-H Profile Set-H Window of Origin: Existing Window 33



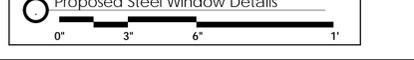
P-E Profile Set-E Window of Origin: Existing Window 22



P-G Profile Set-G Window of Origin: Existing Window 25



P-G Profile Set-G Window of Origin: Existing Window 25



Note: Basis of Design: Winco 3250 Series

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

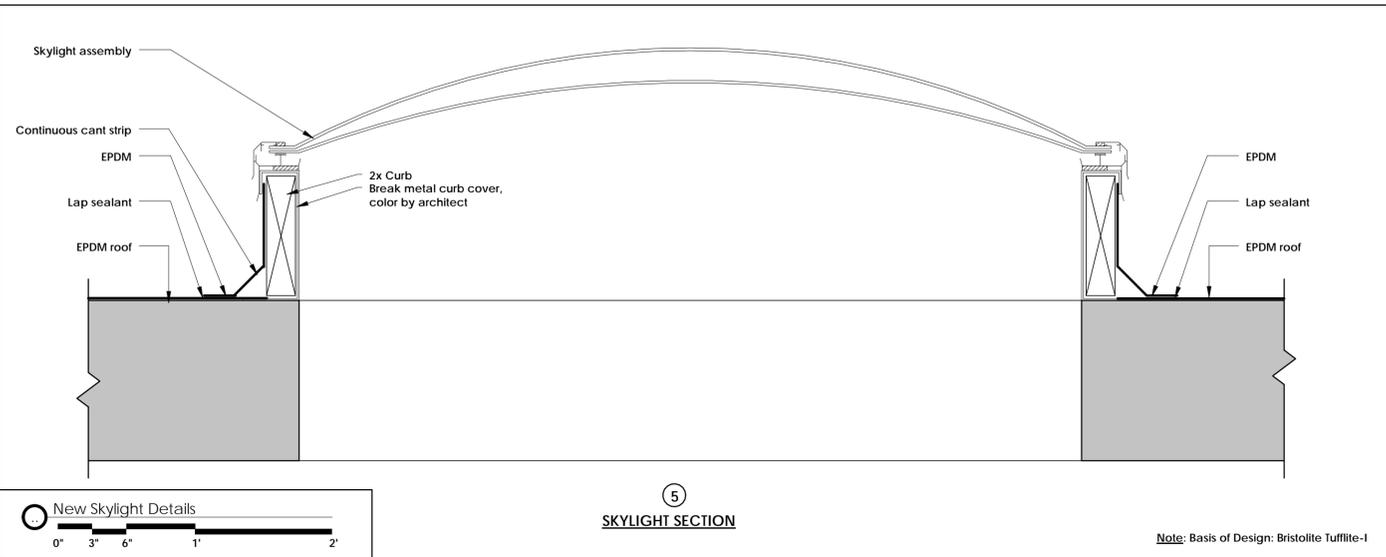
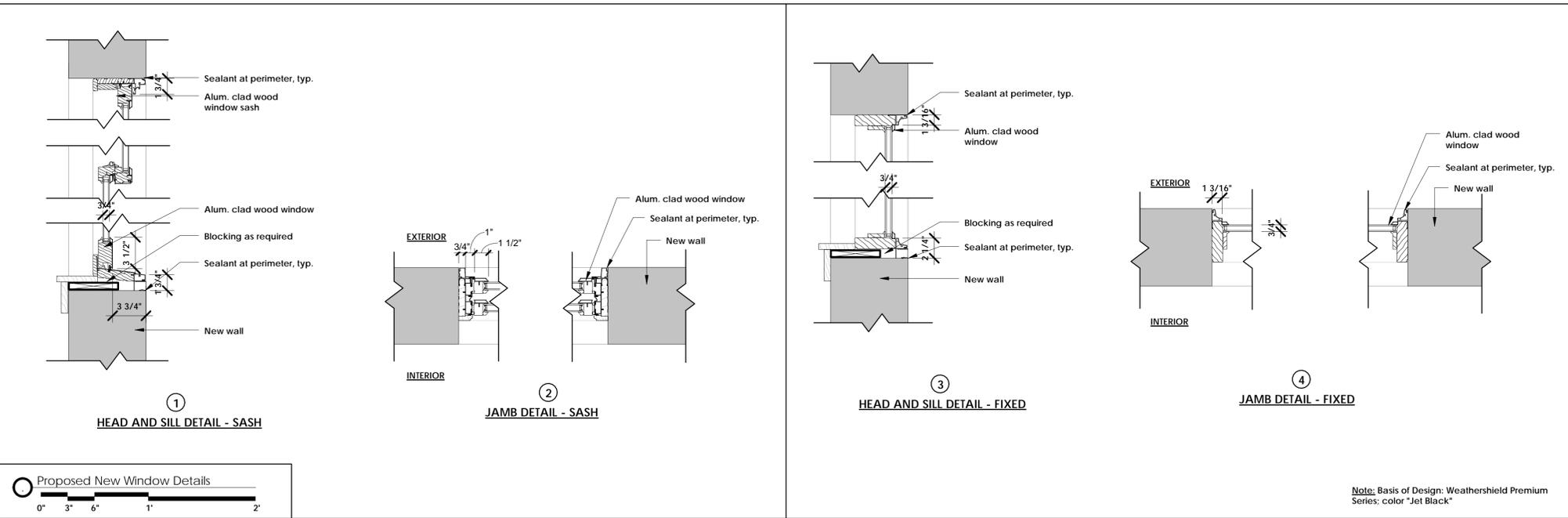
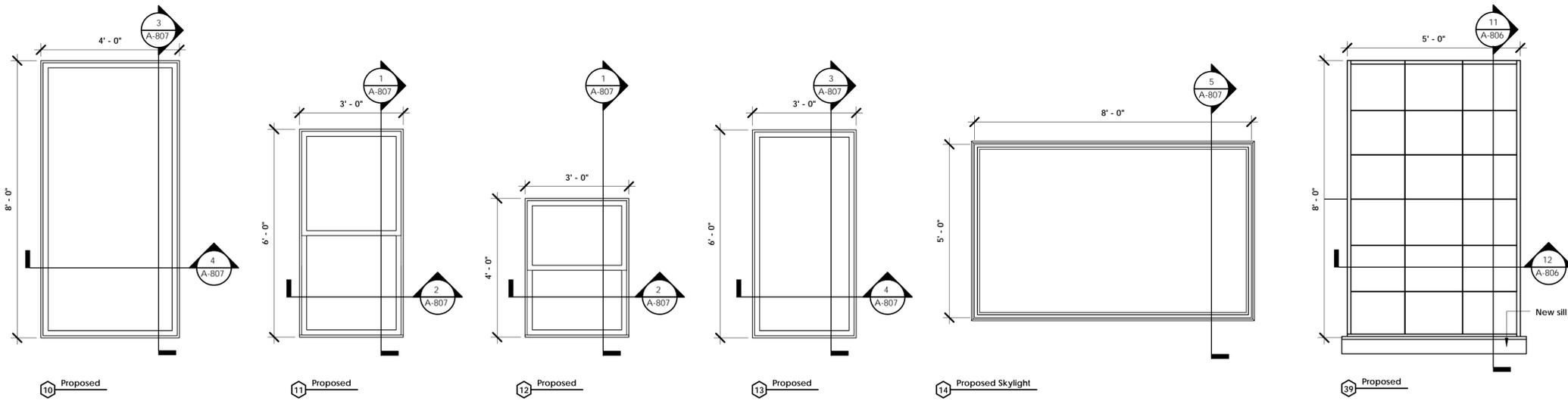
Passero Associates
242 West Main Street, Suite 100
Rochester, NY 14614 (585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Mark D. Passero, P.E.
Project Manager: Peter Wehner, AIA
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Steel Window Details
1255 University Avenue
1255 University Avenue
Renovation Project
Town/City: Rochester
County: Monroe State: New York
Project No.: 20162181.0001
Drawing No.: **A-806**
Date: April 13, 2016

SHPO Submission



Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates
242 West Main Street, Suite 100
Rochester, NY 14614
(585) 325-1000
Fax: (585) 325-1691
Principal-in-Charge: Mark D. Passero, P.E.
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New Window Details

1255 University Avenue

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Renovation Project

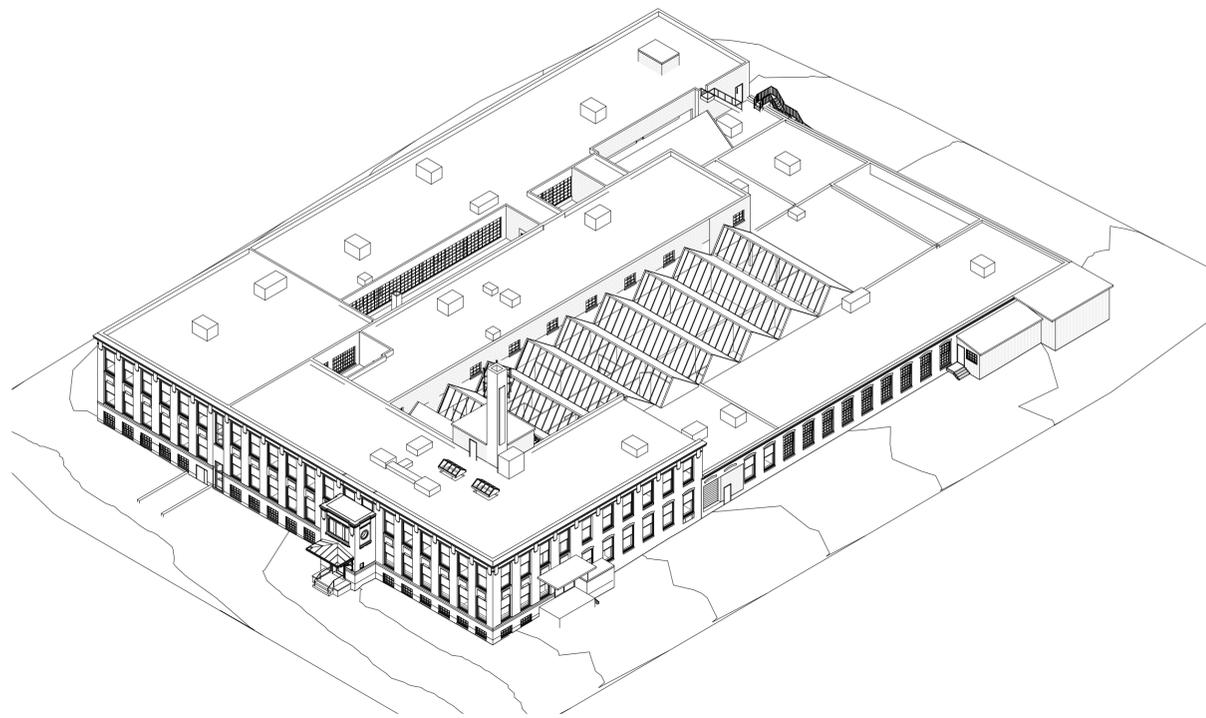
Town/City: Rochester
County: Monroe State: New York

Project No.: 20162181.0001

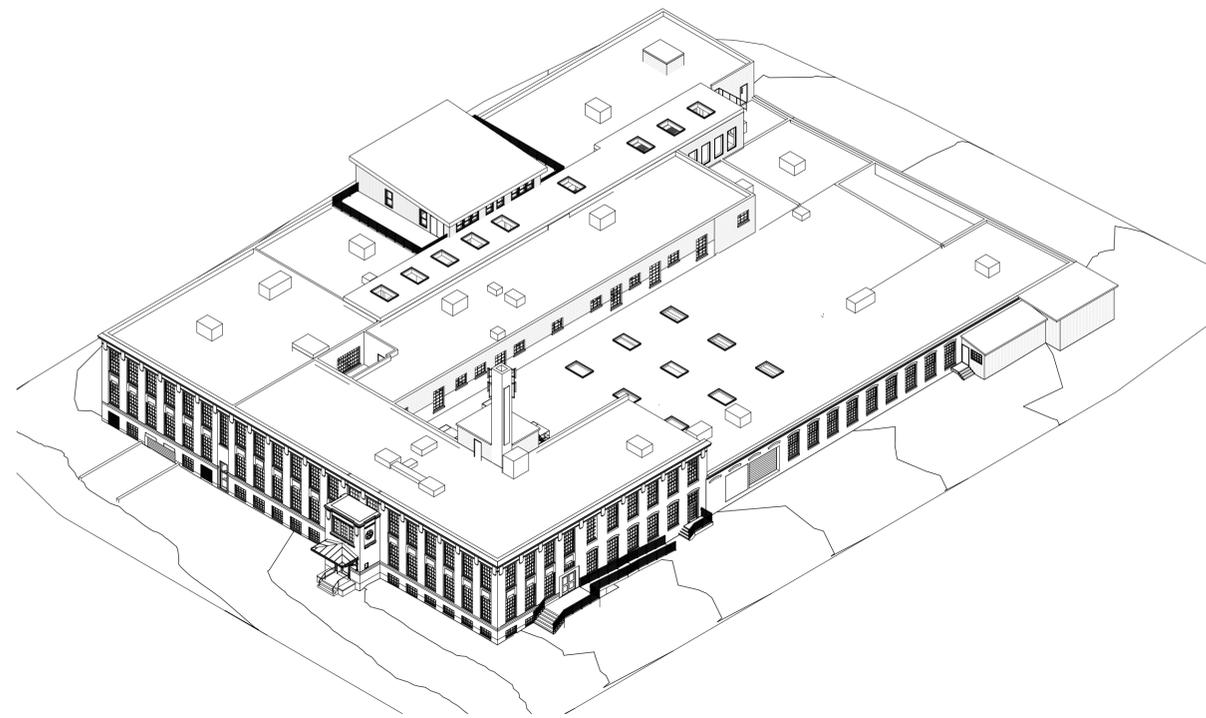
Drawing No.: **A-807**

Date: April 13, 2016

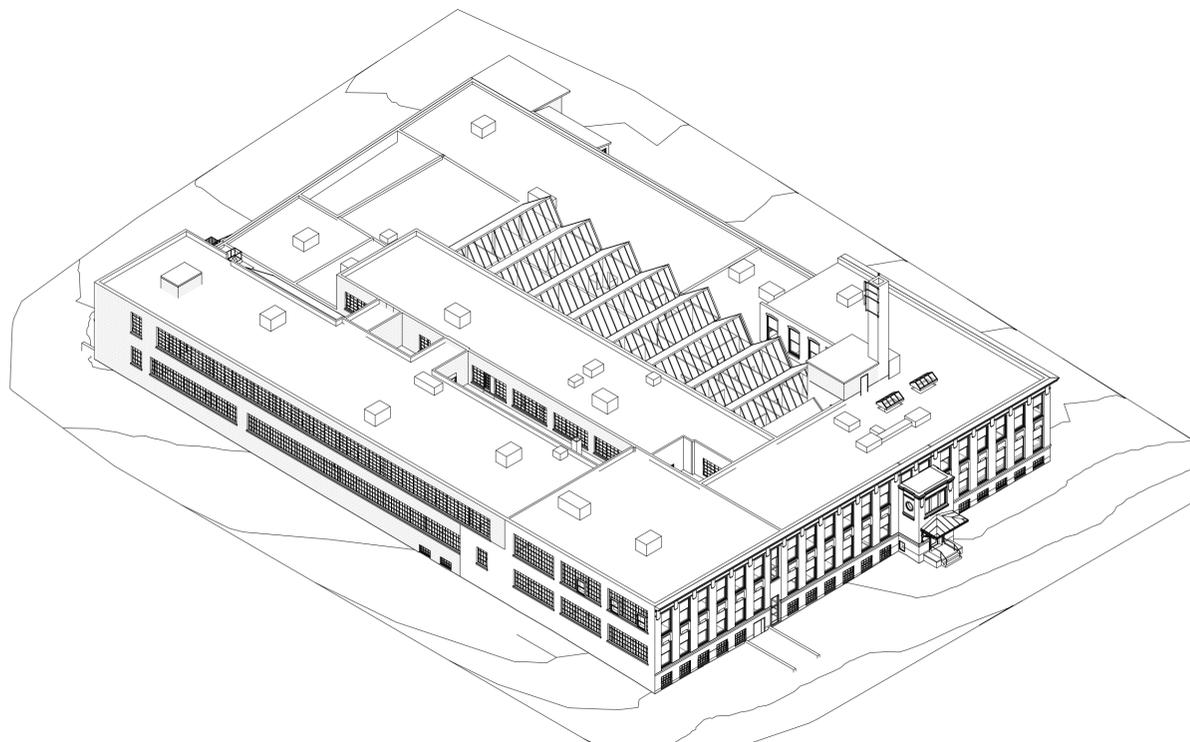
SHPO Submission



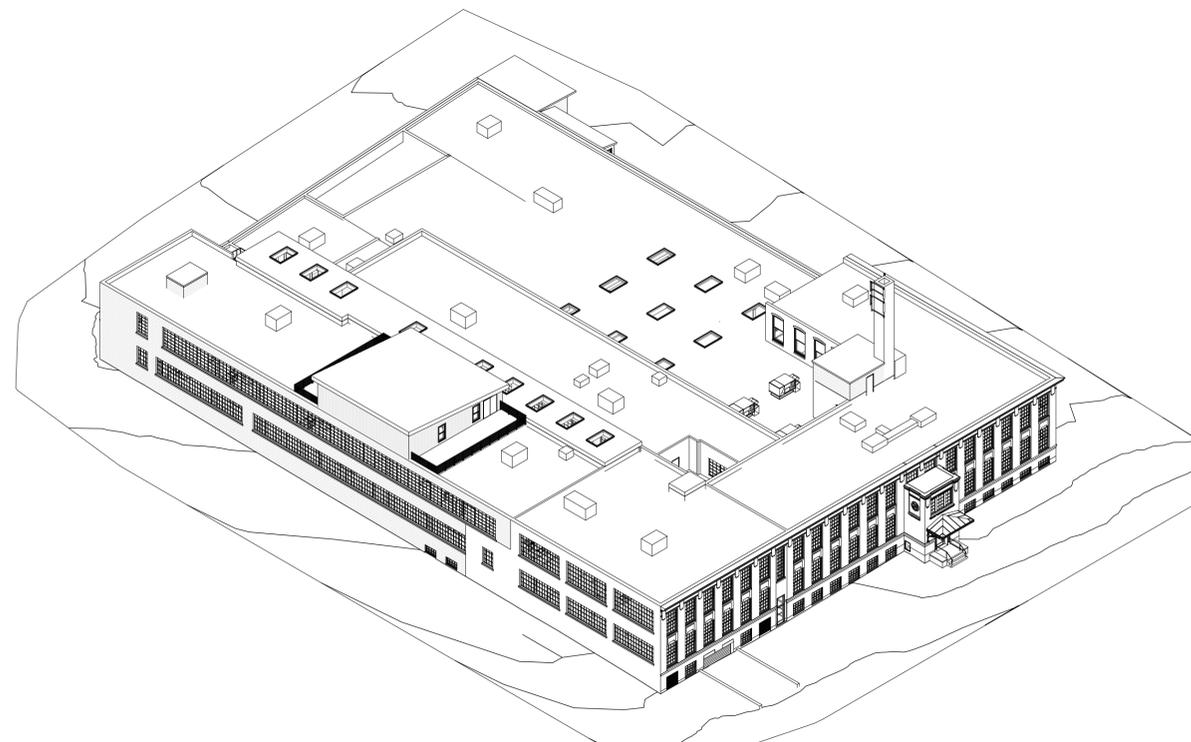
① Existing Northwest



② Proposed Northwest



③ Existing Northeast



④ Proposed Northeast

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Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates

242 West Main Street, Suite 100 (585) 325-1000
Rochester, NY 14614 Fax: (585) 325-1691
Principal-in-Charge Mark D. Passero, P.E.
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3D Views

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester

County: Monroe State: New York

Project No.:

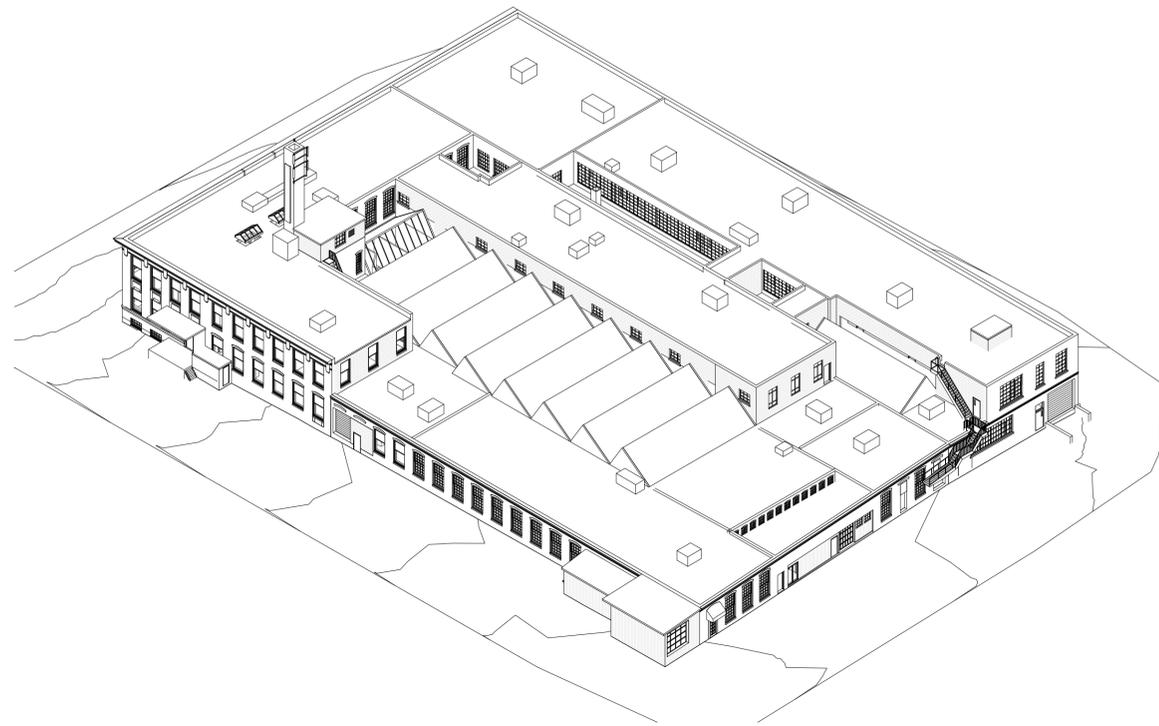
20162181.0001

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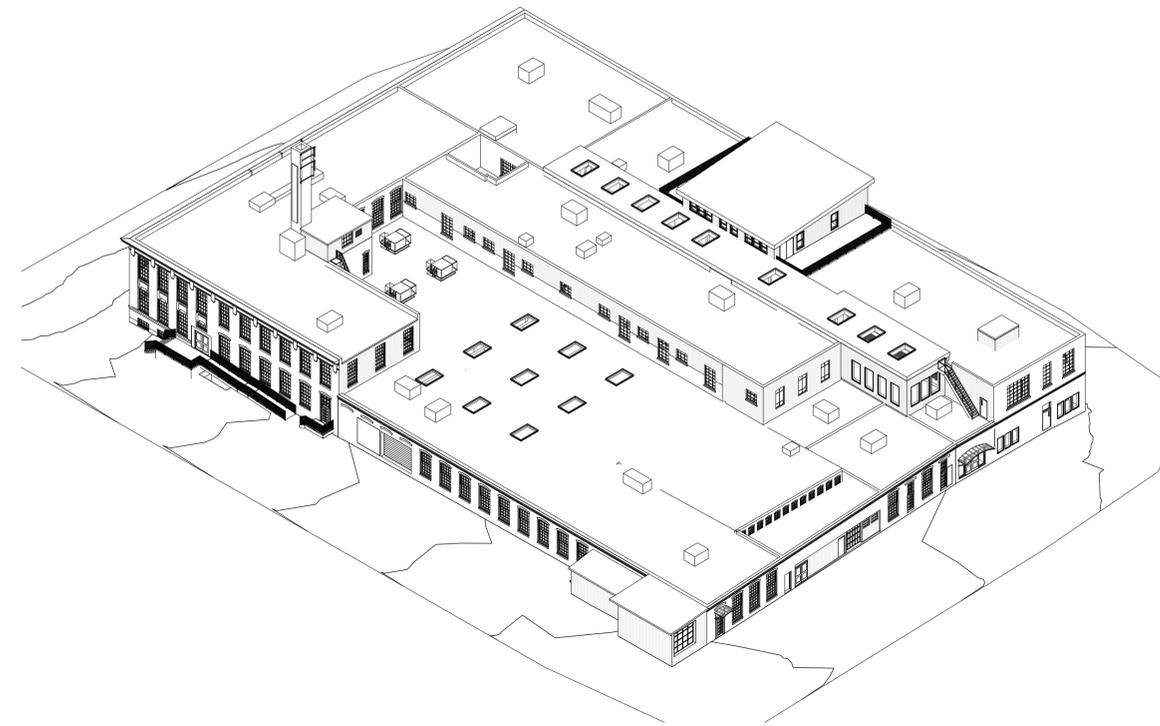
A-900

Date:

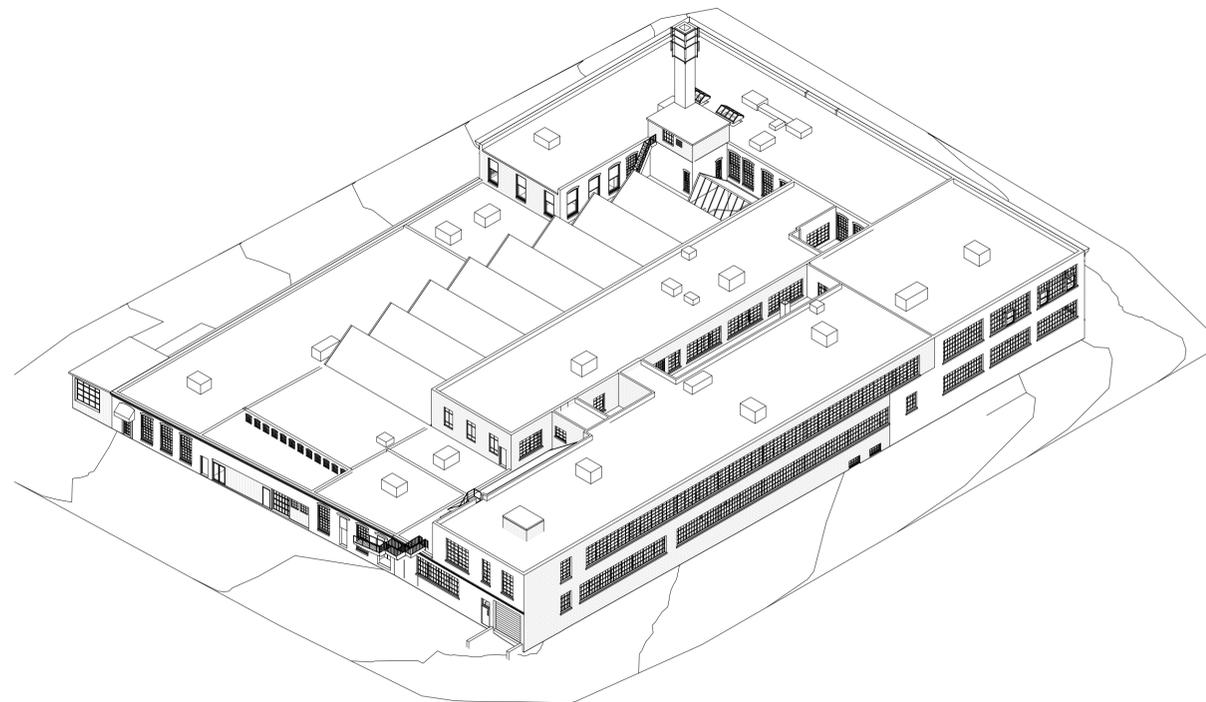
April 13, 2016



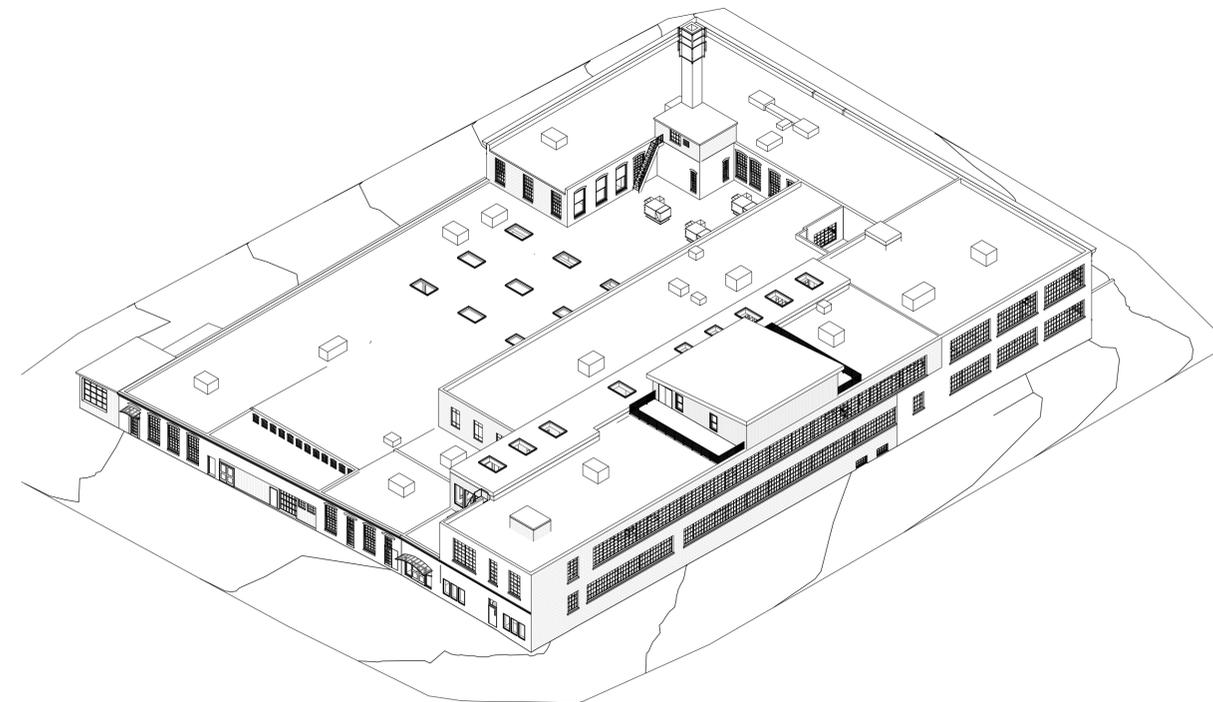
① Existing Southwest



② Proposed Southwest



③ Existing Southeast



④ Proposed Southeast

SHPO Submission

Stamp:

Client:
Park Grove Realty, LLC
46 Prince Street, Suite 2003
Rochester, NY 14607

Passero Associates

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3D Views

1255 University Avenue

1255 University Avenue
Renovation Project

Town/City: Rochester
County: Monroe State: New York

Project No.:
20162181.0001

Drawing No.:
A-901

Date:
April 13, 2016