

## **APPENDIX M**

### **City of Rochester Design District Requirements, Main Street and Tower**



**§120-68 MAIN STREET DISTRICT****A. Purpose of the District**

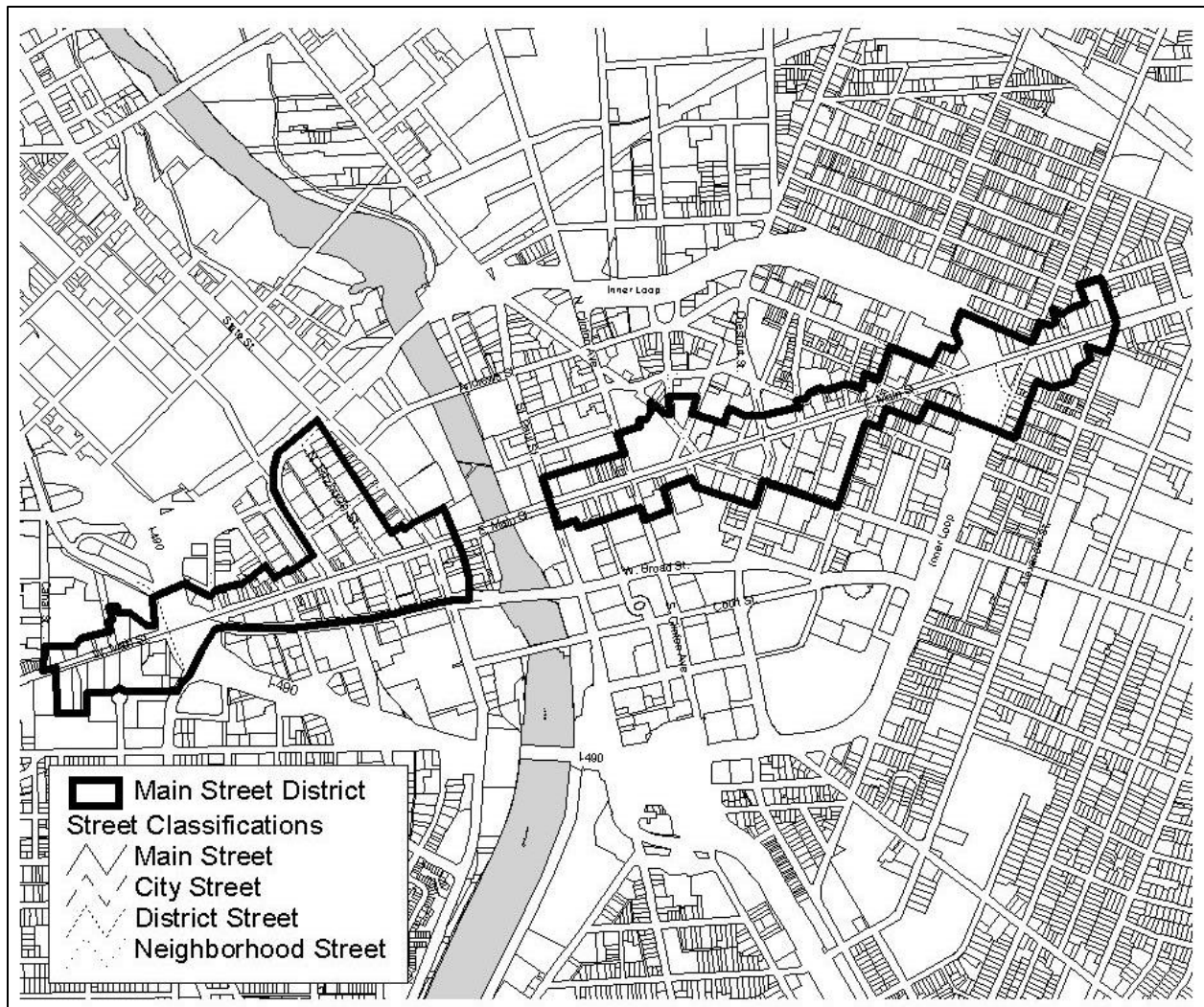
The purpose of the design criteria for the Main Street District is to:

- (1) Preserve the existing character and rich public realm qualities of Main Street
- (2) Preserve and enhance Main Street as the primary commercial street in the CCD
- (3) Enhance the civic nature of Main Street; encourage a variety of street related activities and uses
- (4) Promote Main Street as the primary ceremonial space in the City

**B. District Boundaries and Definition**

The boundaries of the Main Street District were determined by including all buildings and properties that front onto Main Street and/or intersecting streets. The section of Main Street that crosses the river is part of the riverfront district. Properties on North Fitzhugh Street, the west side of North Plymouth Avenue and the area east of Exchange Boulevard and north of I -490 are included because of the historical civic quality of the public realm.

The boundaries of the Main Street District include:



### C. Design Character of the District

The design intent of the Main Street District is to promote Main Street as the dominant corridor in the Center City. The typical design character of the district is defined by buildings ranging in height from 3 to 15 stories, which have clearly defined bases, mid-sections and crowns. Primary entrances are located along Main Street to provide maximum accessibility. Buildings are rich in material and detail and possess a monumental quality. Consistent setbacks create strong edges and promote spatial definition along the streetscape.

### D. Design Checklist

The following chart lists the design criteria and the deviations that require Major Site Plan or Minor Site Plan Review. Applications that are within acceptable tolerances, and otherwise meet all design criteria, do not require Site Plan approval unless such approval is required pursuant to the other site plan thresholds as listed in §120-191 of this Chapter.

Design Criteria	Major Deviation	Minor Deviation	Tolerance
<b>BUILDINGS</b>			
Building form & mass (base, mid-section, crown)	X		
Buildings greater than 5 stories tall/narrow mass	X		
Minimum lot frontage	X		
Min. lot frontage w. of Plymouth Ave./e. of Chestnut ST.	X		
Maximum building length & depth relative to block		X	10%
Minimum & maximum building height	X		
Min. & max. bldg. height w. of Plymouth Ave./E. of Chestnut St.	X		
Min. & max. bldg. height fronting N. Fitzhugh St. & N. Plymouth Ave.	X		
Buildings within 300 feet of City Hall	X		
Length to height ratio		X	20%
Length to height ratio w. of Plymouth Ave./E. of Chestnut St.		X	20%
Orientation to Main Street frontage	X		
Front setback	X		
Side setback	X		
Front plaza setback		X	10%
<b>DISTRICT CHARACTER</b>			
Building maintains horizontal alignment		X	
Facade composition	X		
Equal street frontage facades	X		
Facades higher than abutting buildings	X		
Vehicular entry location		X	
Vehicular entry width		X	10%

Design Criteria	Major Deviation	Minor Deviation	Tolerance
Vehicular entry door		X	20%
Service bay depth		X	
Facade lighting		X	
Window openings		X	
Facade window coverage		X	10%
Window height to width ratio		X	20%
Window translucency		X	20%
Window recess		X	30%
Entrances on street frontage	X		
Primary entrances on Main Street	X		
Entrance elevation		X	
Entrance translucency		X	20%
Entrance recess		X	20%
Entrance lighting		X	
Roofline		X	
Roofline cornice		X	20%
Rooftop mechanical/telecommunications equipment		X	
Primary construction material		X	
Percent primary construction material		X	20%
Number of colors		X	50%
Location of refuse storage		X	
Refuse storage details (enclosures, doors)		X	
<b>SIGNAGE</b>			
Number of building identification signs		X	
Location of building identification sign		X	
Size of building identification sign		X	20%
Building identification sign materials		X	
Building identification sign luminaries		X	
Building identification sign graphics		X	
Building identification sign colors		X	30%
Number of business signs		X	
Location of business signs		X	
Size of business signs		X	20%
Business sign materials, illumination & color		X	30%
Directory sign location & size		X	20%
Address sign location		X	
Address sign copy raised/recessed		X	
Address sign materials		X	
Address sign lighting		X	
Heritage sign & location		X	
Heritage sign material		X	

Design Criteria	Major Deviation	Minor Deviation	Tolerance
Heritage sign information		X	
Heritage sign size		X	20%
Awning locations		X	
Window awning size		X	10%
Awning height		X	10%
Awning projection		X	10%
Awning support/attachments		X	
Awning material		X	
Awning color		X	30%
Awning equality		X	
Awning copy size		X	20%
Awning lighting		X	
<b>SKYWAY</b>			
Skyway height		X	
Interior skyway parallel to exterior facade		X	
Skyway width		X	10%
Skyway non-translucent walls		X	20%
Skyway supported from facade		X	
Skyway lighting		X	
Skyway window translucency		X	10%
Skyway entrances direct from building		X	
Skyway entrances identified & translucent		X	10%
Skyway entrance lighting		X	
Skyway roofline		X	
Skyway material & color		X	
<b>SITE</b>			
Building parking location & surfacing		X	
Building underground parking access		X	
Parking garage entry width		X	10%
Underground parking pedestrian access direct from building		X	
Underground parking mechanical equipment location		X	
Building underground parking entry lighting		X	
Building rear yard parking lot access		X	
Building rear yard parking lot lighting		X	
Parking lot location		X	
Parking lot access		X	
Parking lot setback		X	10%
Parking lot surfacing & curbing		X	
Parking lot aisle		X	
Parking lot landscaping		X	20%
Parking lot shaded area		X	20%

Design Criteria	Major Deviation	Minor Deviation	Tolerance
Parking lot fence material, height & % translucent		X	10%
Parking lot fence pedestrian openings		X	10%
Parking lot pedestrian walks		X	10%
Parking lot lighting height		X	10%
<b>ADDITIONAL AMENITIES</b>			
Wall setback		X	
Wall height		X	10%
Wall materials		X	
Plaza/forecourt entrances		X	10%
Plaza/forecourt grade elevation		X	20%
Plaza/forecourt materials		X	
Plaza/forecourt landscaping		X	20%
Plaza/forecourt lighting		X	20%



## E. Design Principles for the District

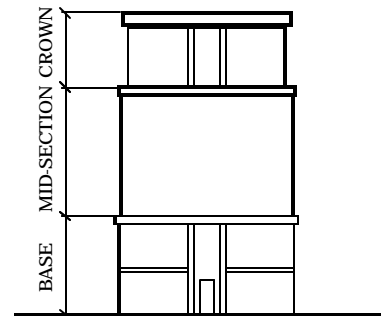
The design principles for the Main Street District are intended to establish Main Street as the most important pedestrian street in the Center City and reestablish it as the focus of commercial activity and civic celebrations. Main Street will be promoted as the spine that links all the districts together.

## F. Buildings

### (1) District Context

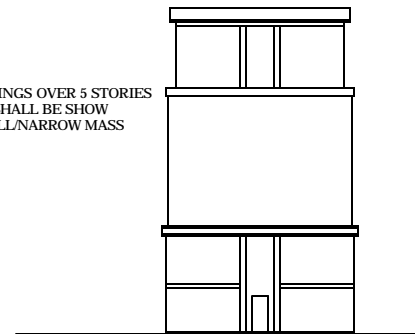
#### (a) Building Form and Mass

- [1] Buildings shall exhibit a clearly articulated base, mid-section and crown.



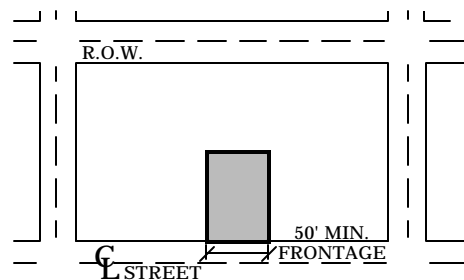
- [2] Buildings greater than 5 stories shall exhibit a tall/narrow mass on the street frontage.

BUILDINGS OVER 5 STORIES  
SHALL BE SHOWN  
TALL/NARROW MASS

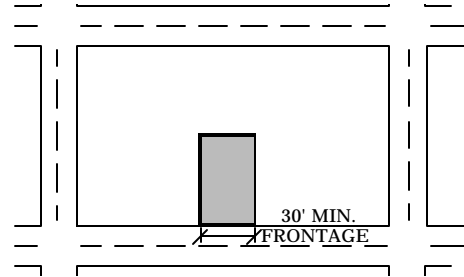


#### (b) Lot Size and Coverage

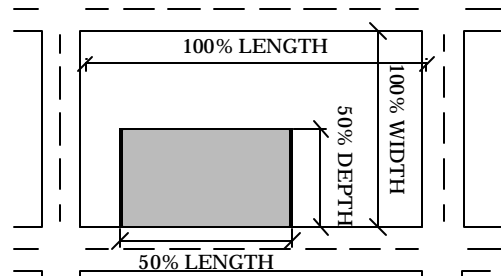
- [1] The minimum lot frontage shall be 50 feet.



- [2]** West of Plymouth Avenue and east of Chestnut Street the minimum lot frontage shall be 30 feet.



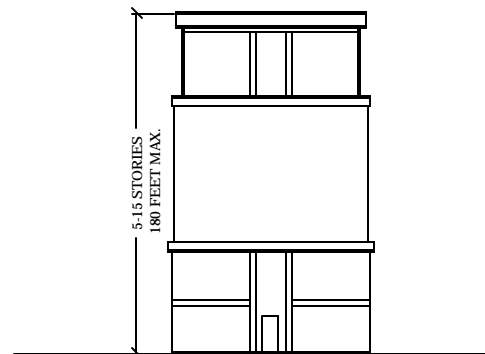
- [3]** The maximum building length and depth shall be no more than 50% of the block length and 50% of the block depth.



**(c) Height**

- [1]** Unless otherwise noted, building heights shall include:

- [a]** Main Street - shall be a maximum 15 stories in height to a maximum of 180 feet and a minimum 5 stories.
- [b]** City Street - shall be a maximum 15 stories in height to a maximum of 180 feet and a minimum 5 stories.
- [c]** District Street - shall be a maximum 15 stories in height to a maximum of 180 feet and a minimum 5 stories.
- [d]** Neighborhood Street - shall be a maximum 15 stories in height to a maximum of 180 feet and a minimum 5 stories.



- [2] West of Plymouth Avenue, east of Chestnut Street and south of West Broadway, all buildings shall be a maximum 5 stories in height to a maximum 60 feet and a minimum of 3 stories.

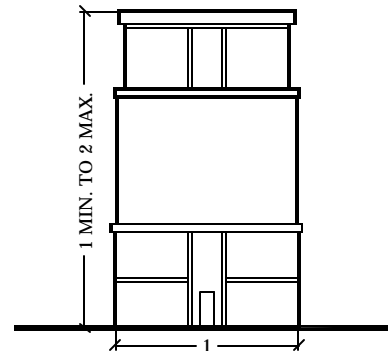


- [3] Buildings that front North Fitzhugh Street and North Plymouth Avenue shall be a maximum 5 stories in height to a maximum 60 feet and a minimum 3 stories.

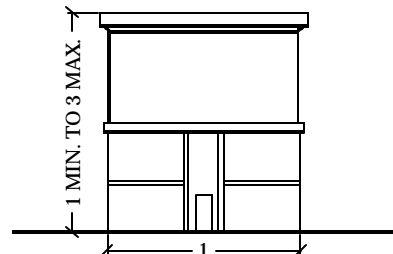
- [4] No building within a 300 foot radius of City Hall shall exceed the height of City Hall excluding the tower.

(d) Length to Height Ratio

- [1] The length to height ratio shall be a maximum 1:2 and minimum 1:1 along primary street frontage.

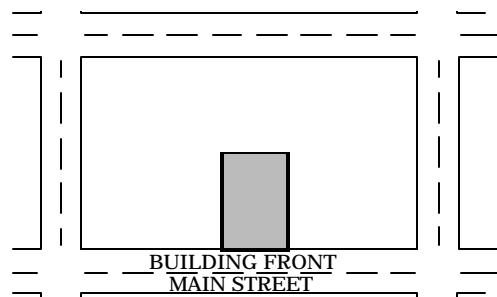


- [2] West of Plymouth Avenue and east of Chestnut Street the length to height ratio shall be a maximum 1:3 and minimum 1:1 along primary street frontage.

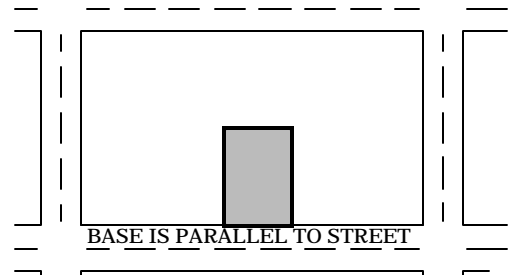


(e) Orientation

- [1] Buildings shall be oriented to Main Street.



- [2]** Buildings shall be parallel to the street frontage property line.

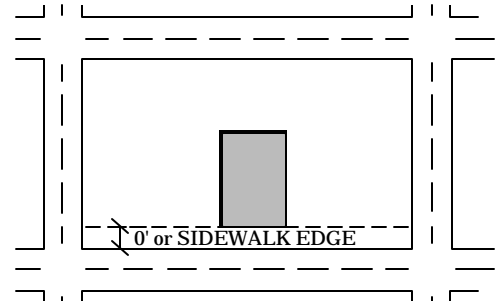


- [3]** All buildings shall be oriented to preserve and enhance views to the river.

**(f) Setback**

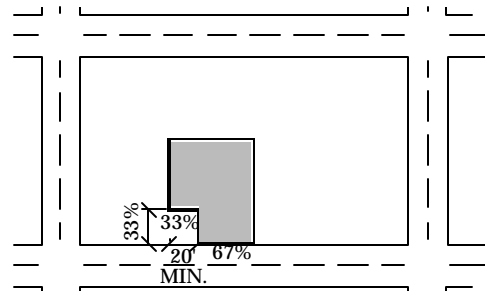
- [1]** Unless otherwise noted, front yard setback shall be:

- [a]** Main Street – 0 feet
- [b]** City Street – 0 feet
- [c]** District Street – 0 feet
- [d]** Neighborhood Street – 0 feet



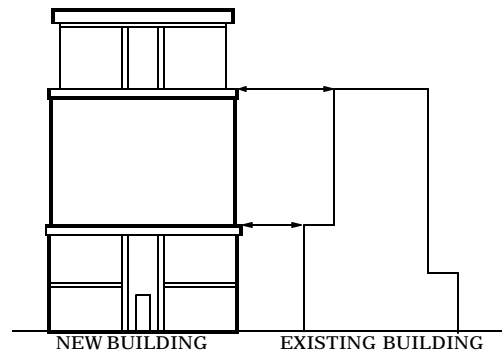
- [2]** Side yard setback shall be 0.

- [3]** The front yard setback can be increased for 33% of the building length to create a plaza/forecourt. The maximum setback shall be 33% of the building length and the minimum width shall be 20 feet.

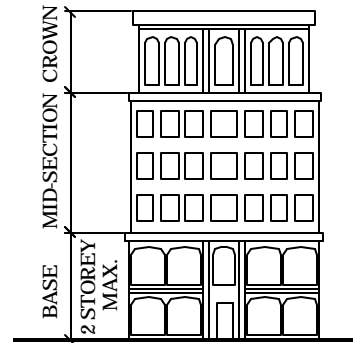


**(2) District Character****(a) Facade Composition**

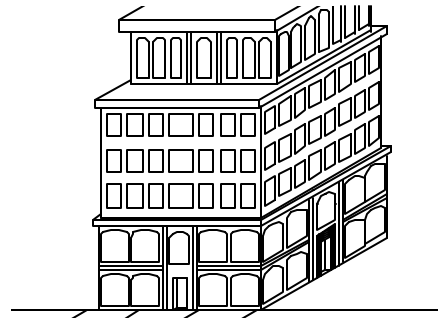
- [1]** Buildings shall maintain the alignment of horizontal elements of adjacent existing buildings.



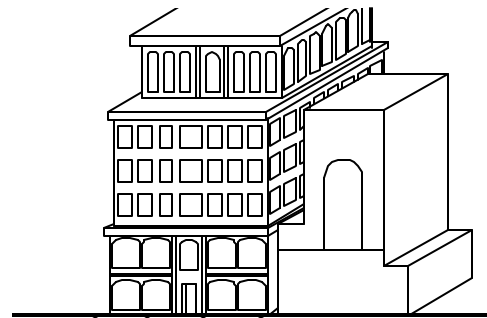
- [2]** The facade shall be composed to exhibit a clearly defined base, midsection and crown; the base of the building shall be no higher than the top of the second story.



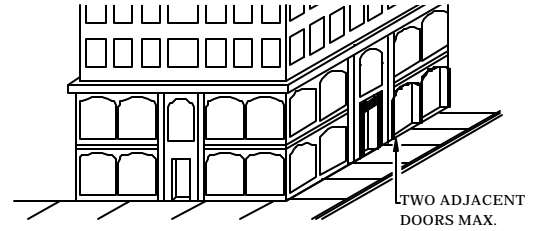
- [3]** All facades fronting Main, City, District or Neighborhood Streets shall conform to the district criteria and be equal.



- [4]** All facades higher than adjacent and abutting buildings shall be equal to street facades.

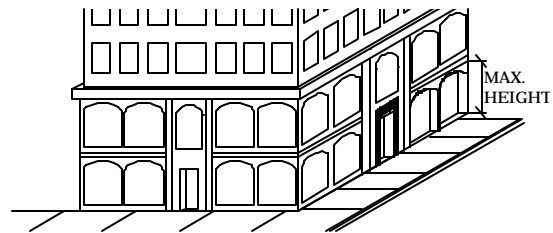


- [5] A maximum of 2 adjacent vehicular entrances are permitted on a facade on City, District, Neighborhood or Alley Streets.

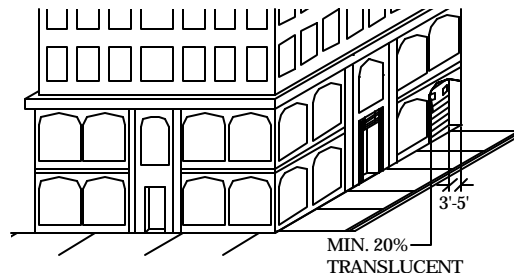


- [6] Vehicular entrances shall be a maximum 11 feet wide.

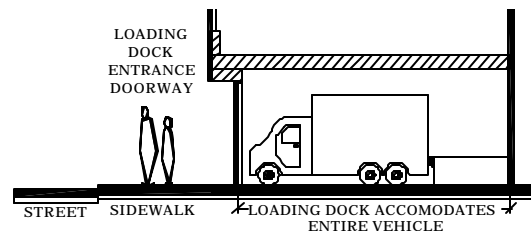
- [7] Vehicular entrances that lead to parking garages shall be integrated into the building facade and shall not extend beyond the top of the first floor.



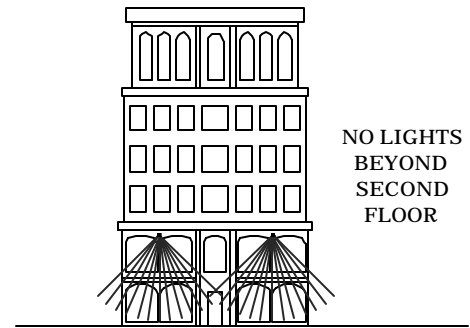
- [8] Vehicular entrances that consist of loading docks/service bays, shall be enclosed with garage doors, integrated into the building facade and not extend beyond the top of the first floor. The garage door shall be recessed from the plane of the facade between 3 feet and 5 feet and shall be a minimum of 20% translucent.



- [9] The depth of any service bay must accommodate total vehicle length so as not to interrupt pedestrian circulation on the sidewalk.



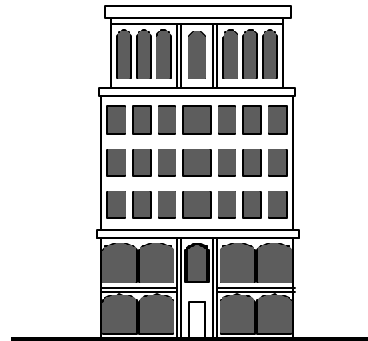
- [10]** Facade lighting shall be wall mounted luminaries and shall be mounted no higher than the top of the second floor and shall illuminate the sidewalk. No light shall be cast upwards.



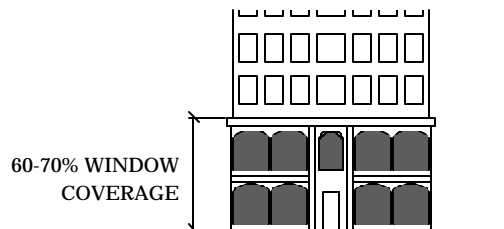
- [11]** Facade lighting shall conform to Illumination Engineers Society of North America (IESNA) guidelines. No floodlighting is permitted.

**(b) Window**

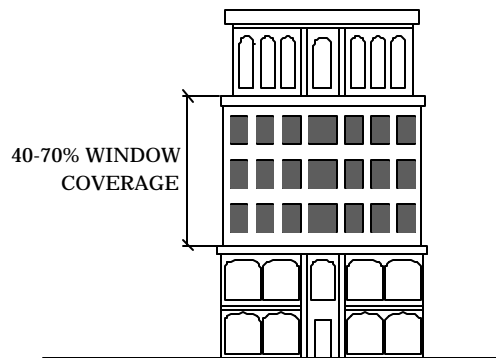
- [1]** Windows and window openings shall diminish in size to reinforce the base, midsection and crown.



- [2]** The base shall be a minimum 60% to a maximum 70% window coverage.

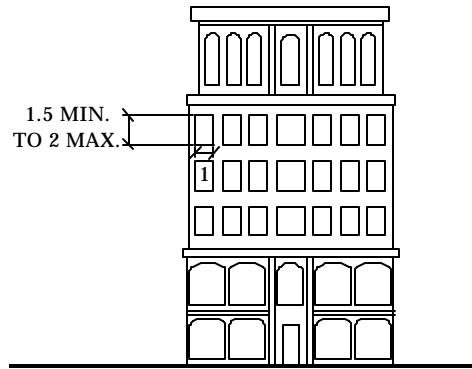


- [3]** The midsection shall be a minimum 40% to a maximum 70% window coverage.

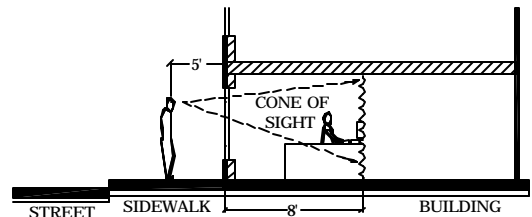


- [4] All other facades and Alley Street frontages shall be a minimum 15% window coverage.

- [5] The window height to width ratio shall be 1.5:1 to 2:1 in the midsection.



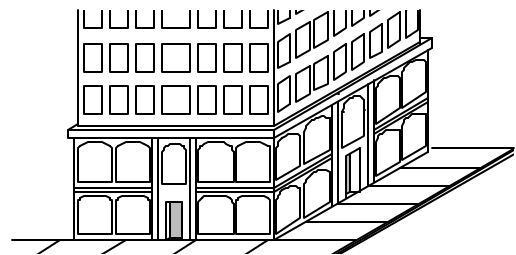
- [6] Base windows shall be transparent and shall permit views 10 feet into the building when standing 5 feet from the window.



- [7] Windows shall be recessed 3 inches to 8 inches from the facade.

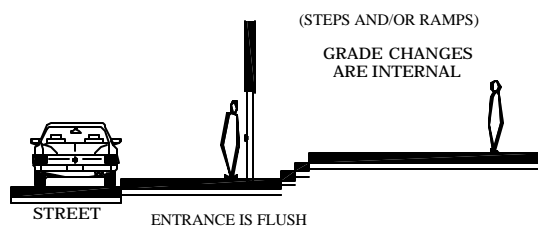
(c) Entrance

- [1] Entrances into buildings shall be provided on all City, District and Neighborhood Street frontages.



- [2] Buildings fronting onto Main Street shall have their primary entrance on Main Street.

- [3] Entrances shall be flush with the sidewalk; changes in elevation shall be made internally.

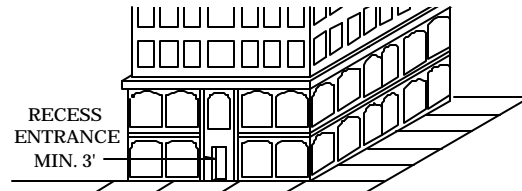




- [4] Entrances shall be clearly accented and a minimum 80% translucent.



- [5] Entrances shall be recessed from the building face a minimum of 3 feet.

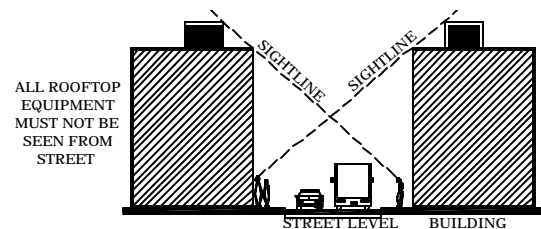
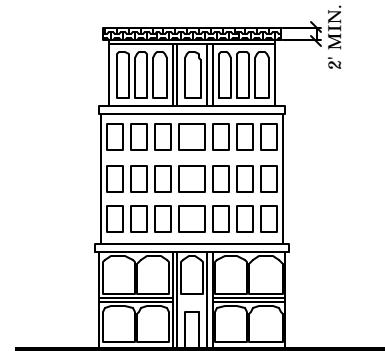


- [6] All entrances shall be illuminated with shall conform to facade lighting.



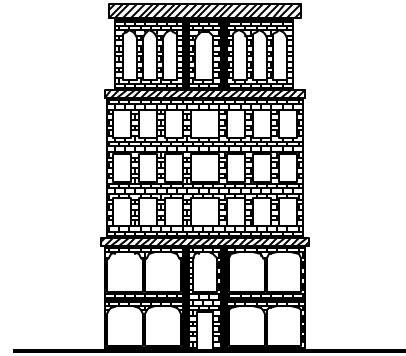
(d) Roofline

- [1] Rooflines shall be flat.
- [2] Rooflines shall be delineated with decorative crown cornices minimum 2 feet wide.
- [3] Rooftop mechanical and telecommunications equipment shall be concealed so as not to be visible from the street.



**(e) Material and Color**

- [1]** In addition to windows, three primary construction materials may be used on a street facade including clay brick, natural stone, stucco (exterior insulation finish system – EIFS) or decorative concrete.

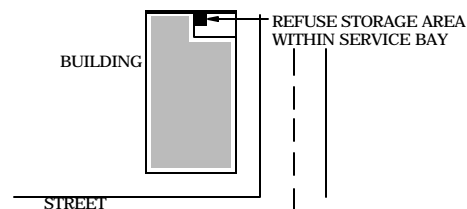


- [2]** Excluding windows, a minimum 50% of one primary construction material shall be used.
- [3]** Excluding windows, a maximum of two colors shall be permitted.

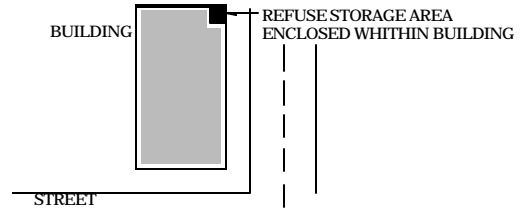
**(f) Refuse Storage**

- [1]** Excluding Alley Streets, refuse storage shall not be located on a street frontage and shall not be visible from the street.
- [2]** Refuse storage shall conform to the following.

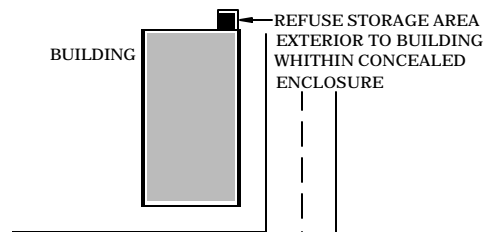
- [a]** If a loading dock/service bay or vehicular garage is part of the building, refuse storage shall be contained within this area.



- [b]** If there is no loading dock service bay or vehicular garage, refuse storage shall be located within the building, accessible from the exterior and enclosed with solid metal door. The doors shall be integrated into the facade pattern in a manner consistent with the character of the building.



- [c]** If not located within the building, refuse storage shall be located within a concealed enclosure that includes solid metal doors, is integral to the building, consists of the same materials as the building and is located at the rear of the building.

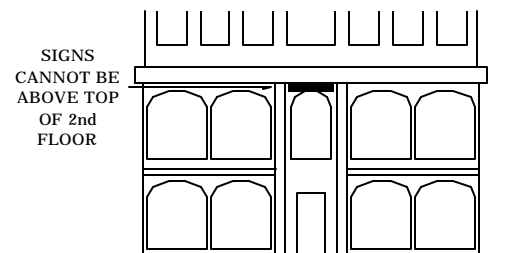


### (3) Signage

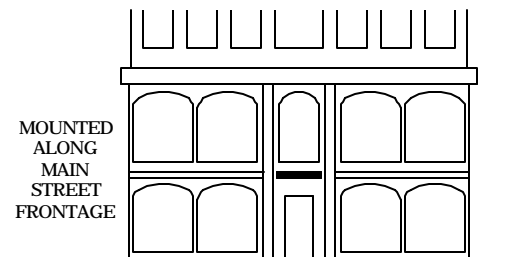
#### (a) Building Identification Signage

- [1]** One sign shall be allowed and shall front on Main Street.

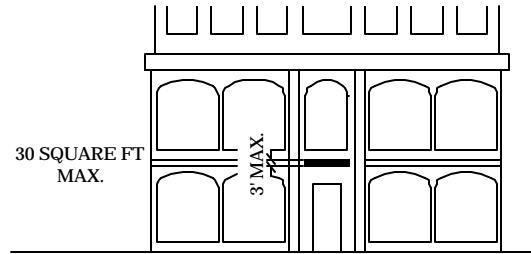
- [2]** Sign shall not be placed higher than the top of the second floor.



- [3]** Sign shall be integrated into the facade pattern and shall be located above or adjacent to Main Street entrance; signs shall be horizontal and flush-mounted.



- [4]** Sign shall be a maximum 3 feet high and a maximum 30 square feet.



- [5]** Sign materials shall include any of the district building materials and metal.
- [6]** Sign luminaries shall conform to facade lighting.
- [7]** Sign graphics shall include raised or recessed copy.
- [8]** Signs shall include no more than three colors.

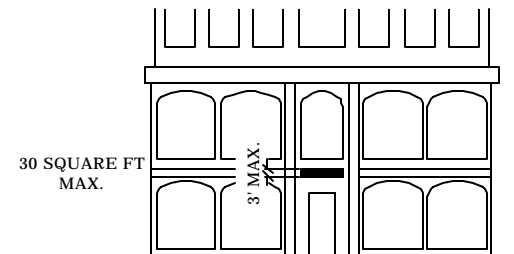
**(b) Business Signage**

- [1]** A maximum of one sign per ground floor commercial user shall be permitted and shall be located no higher than the top of the first floor.



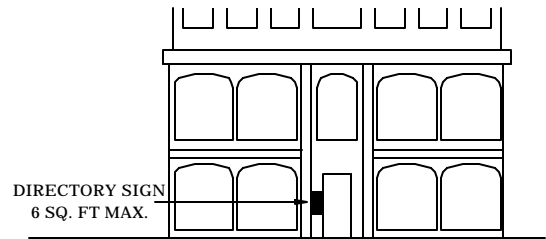
- [2]** Signs shall be integrated into the facade pattern and shall be flush-mounted.

- [3]** Signs shall be a maximum 2 feet high and a maximum 20 square feet.



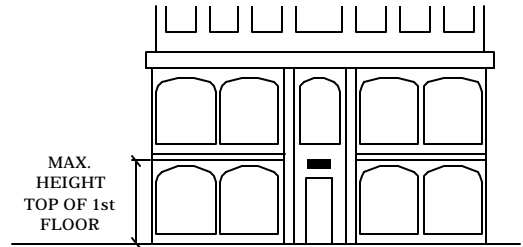
- [4]** Materials, illumination and colors shall conform to the criteria for building identification signage.

- [5] Directory signage shall be allowed at each building entrance, shall be flush mounted and a maximum 6 square feet.



(c) Address Signage

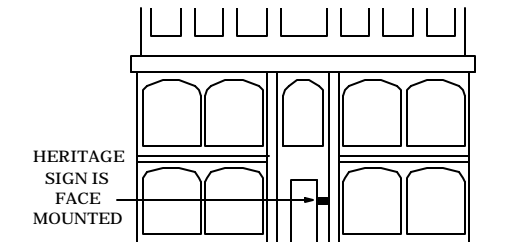
- [1] One sign shall be located at the primary building entrance no higher than the top of the first floor.



- [2] Sign graphics shall be raised or recessed copy and shall be a minimum of 2 inches and a maximum 12 inches in height.
- [3] Sign materials shall include any of the district building materials and metal.
- [4] Building lighting shall illuminate the sign.

(d) Heritage Signage

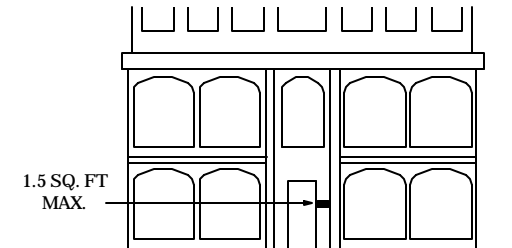
- [1] One sign shall be placed on the primary frontage of each building and shall be located no higher than 5 feet above finished grade.



- [2] Signs shall be face mounted to the building facade.
- [3] Signs shall be made of metal.

- [4] Signs shall include, at a minimum, the date of construction.

- [5] The maximum sign area shall be 1.5 square feet.

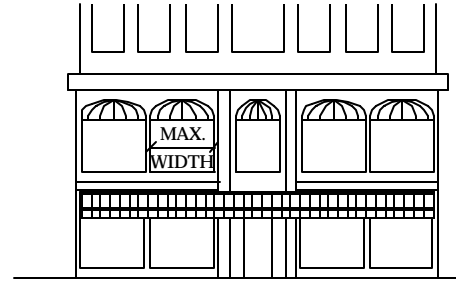


(e) Awning

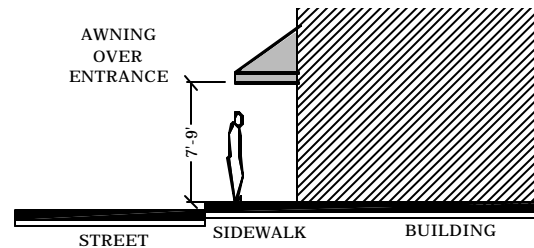
- [1] Awnings shall be permitted at building entrances and windows no higher than the second floor. First floor awnings may be continuous.



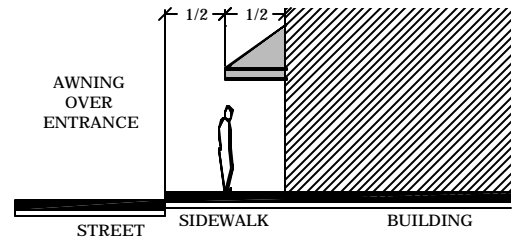
- [2] At second floor windows the maximum width shall be the width of the opening.



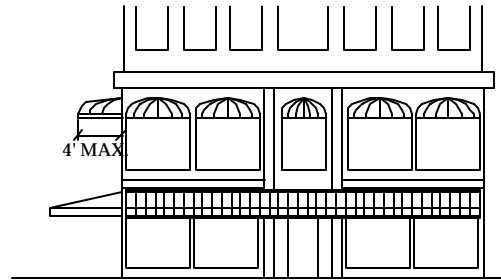
- [3] First floor awnings shall be a minimum 7 feet and maximum 9 feet above exterior finished elevation at the building.



- [4] First floor awnings shall project no more than half the width of the sidewalk.



- [5] Second floor awnings shall project no more than 4 feet.

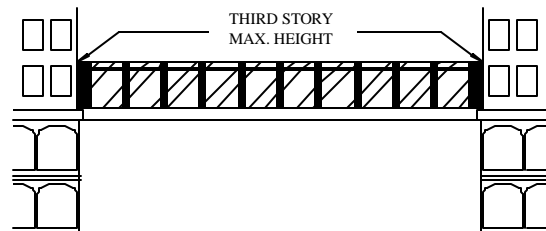


- [6] Awning support shall include building attachments only.
- [7] Awnings shall be made of flexible woven, natural or synthetic materials.
- [8] Awning fabric shall include no more than three colors.
- [9] All window awnings shall be equal in material and color.
- [10] Awning signage copy shall only include building identification or address located on the valance and shall be a maximum 10 inches in height.
- [11] Awnings shall be illuminated by building lighting only.

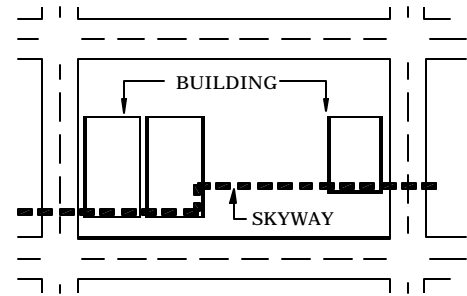
#### (4) Skyway

##### (a) Facade Composition

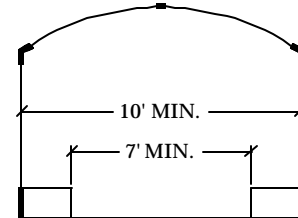
- [1] Skyway shall be no higher than the top of the third story.



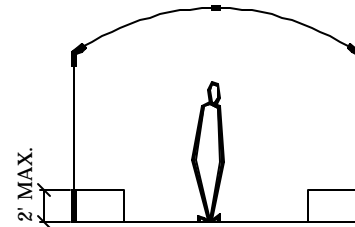
- [2] Interior Skyway shall run parallel to the exterior building facade.



- [3] Skyway shall be a minimum 10 feet wide and shall have a minimum 7 foot unobstructed travel width.



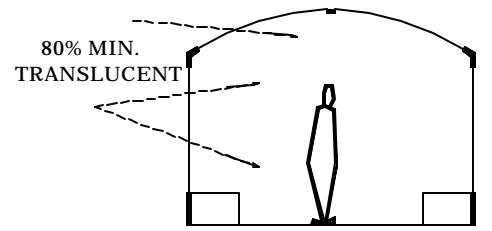
- [4] Skyway non-translucent walls shall be a maximum 2 feet high measured from the floor.



- [5] Skyway shall be supported from the building facade.  
[6] All light sources shall be concealed and interior.

(b) Window

- [1] Exterior Skyway shall be a minimum 80% translucent.

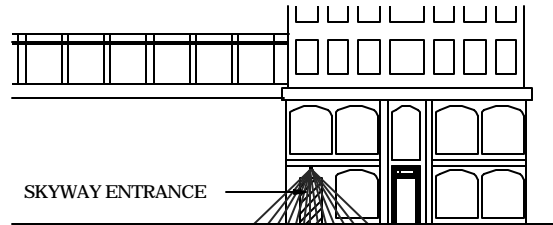


- [2] The facade wall of an Interior Skyway shall be a minimum 50% transparent or as existing.



**(c) Entrance**

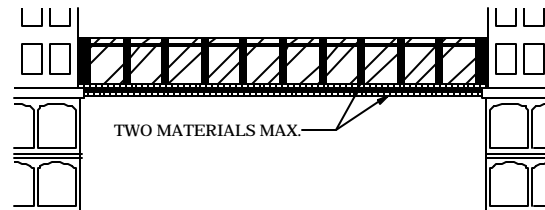
- [1]** Skyway entrances shall provide direct entry from the sidewalk integral to the building.
- [2]** Entrances shall be clearly identified and 80% translucent.
- [3]** All entrances shall be illuminated and shall conform to facade lighting.

**(d) Roofline**

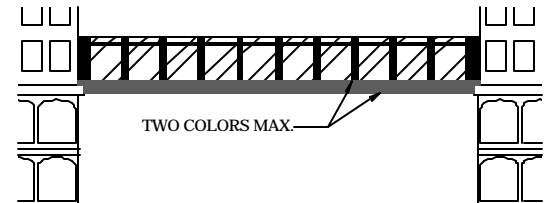
- [1]** Rooflines shall be pitched or arched.

**(e) Material and Color**

- [1]** Excluding windows, a maximum of two primary construction materials conforming to district building criteria and metal may be used.



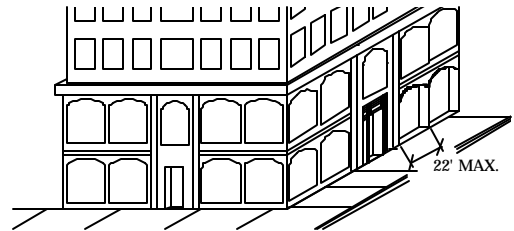
- [2]** Excluding windows, a maximum of two colors shall be permitted.



**G. Site****(1) Parking****(a) Building Parking**

- [1] Building parking shall not be located at Main Street intersections and at all intersecting City Streets.
- [2] Building parking shall be located in the rear yard and be hard surfaced or be underground.
- [3] Underground parking entrance shall be at the facade and located fronting City, District, Neighborhood or Alley Streets.

- [4] Total width of the parking garage entrance shall not exceed 22 feet.

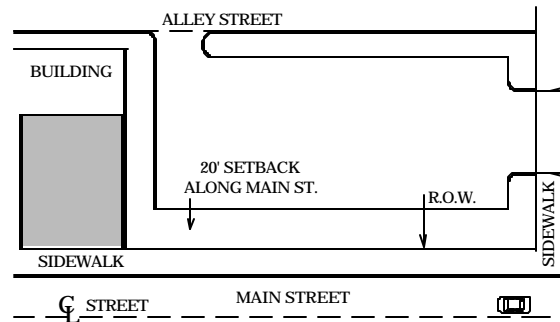


- [5] Pedestrian access from underground parking shall be integral to the building.
- [6] Mechanical equipment for underground parking shall be integral to the building.
- [7] Light level at the entrance to underground parking shall conform to Illumination Engineers Society of North America (IESNA) guidelines.
- [8] Rear yard parking shall be accessed from City, District, Neighborhood or Alley Streets.
- [9] Light level shall conform to Illumination Engineers Society of North America (IESNA) guidelines.
- [10] Parking luminaries shall be located on the building and conform to building lighting criteria. If additional lighting is required, freestanding light fixtures shall conform to Parking Lot lighting criteria.

**(b) Parking Lot**

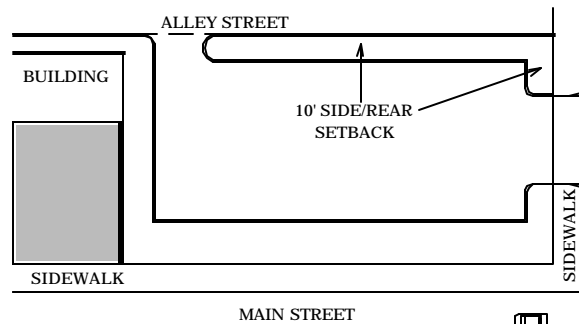
- [1]** Parking lots shall not be located at Main Street intersections and at all intersecting City Streets.
- [2]** Access to parking lots shall be from City, District, Neighborhood or Alley Streets.

- [3]** Frontage setback on Main Street shall be 20 feet in addition to the district sidewalk criteria.



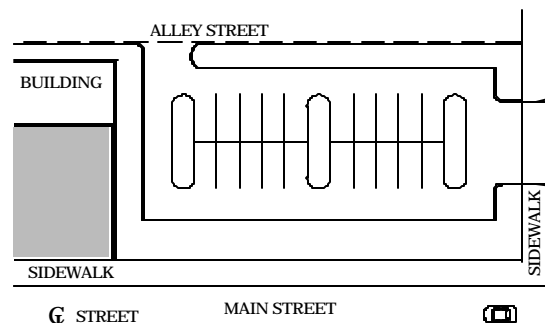
- [4]** Frontage setback on City, District and Neighborhood Streets shall be 10 feet in addition to the district sidewalk criteria.

- [5]** Side and rear yard setback shall be a minimum 10 feet.

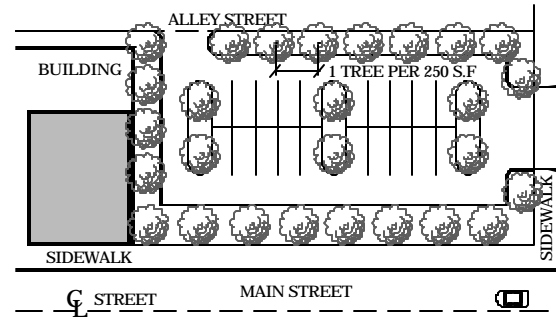


- [6]** Parking lots shall be hard surfaced and concrete or granite curbed.

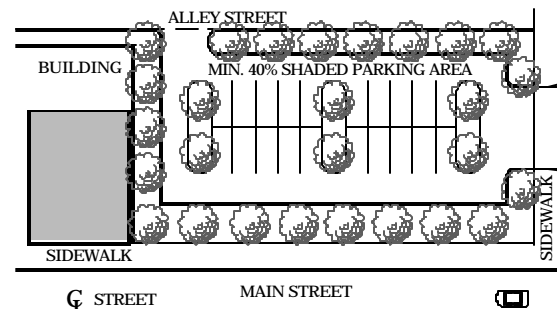
- [7]** Parking aisle shall be located adjacent and parallel to Main Street.



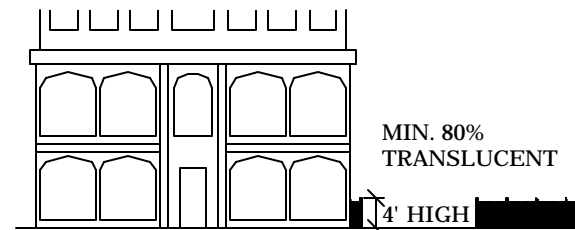
- [8] Setbacks shall be landscaped with one tree per 250 square feet and continuous groundcover. Trees shall be uniform, regularly spaced and in line with any existing street trees.



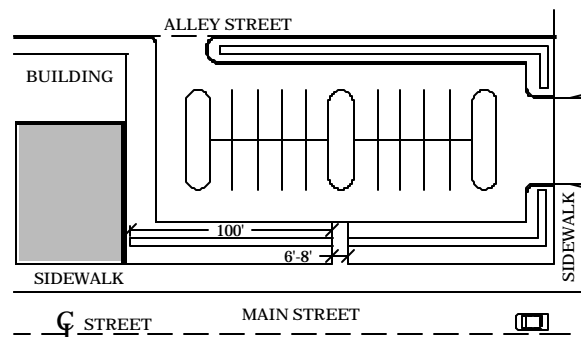
- [9] Parking lots shall be landscaped with trees and continuous groundcover in curbed islands so that the parking lot is shaded to a minimum 40% at tree maturity.



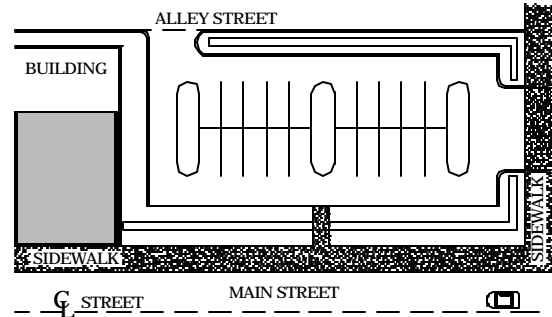
- [10] Parking lots shall be enclosed by an ornamental metal fence 4 feet high and a minimum 80% translucent.



- [11] Fences shall have a minimum one pedestrian opening. Pedestrian openings shall be provided at a maximum 100 feet on center. Openings shall be a minimum 6 feet and a maximum 8 feet wide.

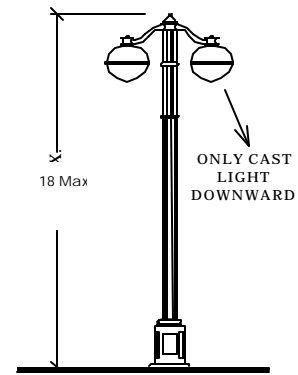


- [12] Pedestrian walks, the full width of the openings, shall be continuous to the sidewalk and equal in material and pattern.



- [13] Light level shall conform to Illumination Engineers Society of North America (IESNA) guidelines and shall be maintained from dusk to dawn.

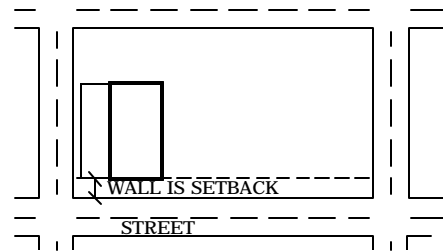
- [14] Light fixtures shall not exceed 18 feet in height. No light shall cast upwards.



## (2) Additional Amenities

### (a) Fencing/Wall

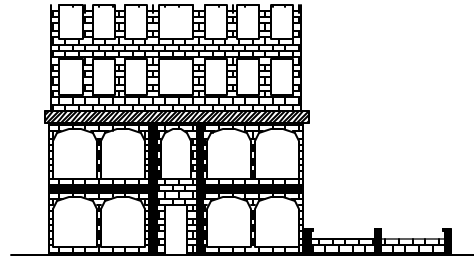
- [1] Walls shall conform to all building setbacks.



- [2] Walls shall have a maximum height of 5 feet along rear yards and a minimum height of 1.5 feet and a maximum height 3 feet along street frontages, side yards and in plaza/forecourt.



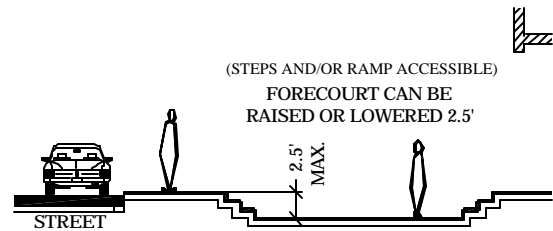
- [3] Walls shall conform to the district building materials.



(b) Plaza/Forecourt

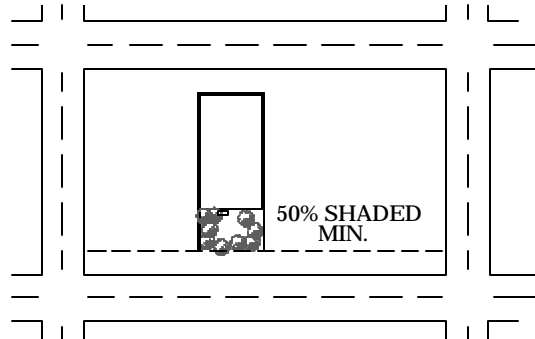
- [1] Entrances into the plaza/forecourt shall be provided on all street frontages; entrances shall be a minimum of 10 feet wide.

- [2] Plaza or forecourt shall vary in elevation a maximum 2.5 feet from sidewalk grade.

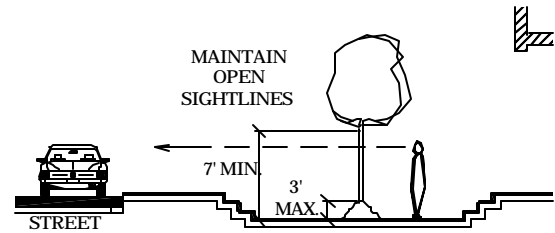


- [3] Plaza/Forecourt shall be concrete or modular unit paving.
- [4] Benches shall be provided at a minimum of 1 bench per 35 feet of frontage.

- [5] Plaza/Forecourt shall be landscaped with trees so that the area is shaded to a minimum 50% at tree maturity.



- [6] Mature planting shall maintain open sight lines to the street between 3 feet and 7 feet high.



- [7] Plazas shall be illuminated and shall conform to Illumination Engineers Society of North America (IESNA) guidelines.
- [8] Light fixtures shall not exceed 18 feet in height. No light shall be cast upwards.

#### H. Noise Level Performance Criteria

STREET TYPE	CUMULATIVE # OF MINUTES OF NOISE IN ANY HOUR	MAXIMUM ALLOWABLE NOISE LEVEL IN dBa	
		7:00 a.m. to 10:p.m.	10:00 p.m. to 7:00 a.m.
Main Street	30	65	60
	15	70	65
City	30	65	60
	15	70	65
District	30	60	55
	15	65	60
Neighborhood	30	55	45
	15	50	40
Alley	30	55	45
	15	55	40

Note: Noise level measured at boundary between receiving property and source property.

## **I. District Plant Materials**

The plant materials shall conform to the Forestry Master Plan. Trees shall adhere to the following:

- (1)** Viability: Winter hardy, suitable for urban conditions of shade , air quality, desiccation and soil and space limitations as found on the particular site, resistant to blight and pests;
- (2)** Public health and safety: thornless, no tap roots, no weak or brittle wood and no invasive weed species;
- (3)** Design character: mature size and shape suitable for the space available, tall canopy trees for wide streets and large sites, small or columnar trees for narrow streets and small sites, multiple seasons of special interest (in leaf, in blossom, fall color, bark or branching pattern) and/or harmony with the dominant character defining tree association of the area.
- (4)** All proposed street trees and work related to street trees shall conform to the Standards & Specifications for Street Tree & Public Tree Work.



**§120-71 TOWER DISTRICT****A. Purpose of the District**

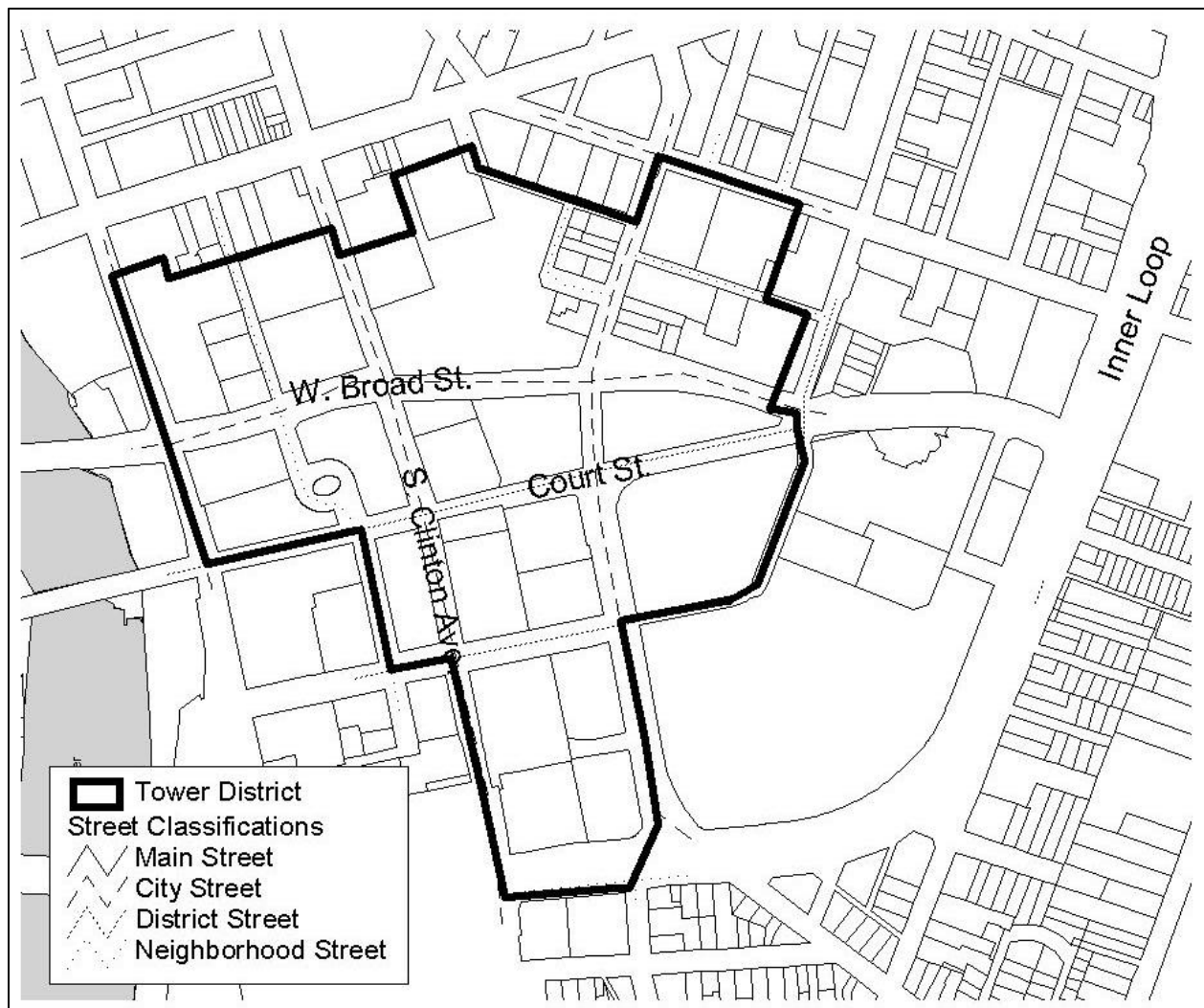
The primary purpose of the design criteria for the Tower District is to:

- (1) Build upon the monumentality of the district to create grand public promenades and plaza spaces
- (2) Create a transparent street- level plane which exhibits the greatest sense of public space
- (3) Allow existing towers to readily adapt to a variety of uses and functions

**B. District Boundaries and Definition**

The boundaries of the district were determined by identifying the extent of the contemporary office tower area in the CCD and the practical opportunities for enhancing the area as described above.

The boundaries of the Tower District include:



### C. Design Character of the District

Buildings in the Tower District have a clearly defined base, mid-section and crown and have a high degree of transparency at ground level. The flexibility in street setbacks allows for enriched public spaces and the creation of plazas for gatherings. Buildings in the Tower District have easily identifiable entrances on all street frontages. Promenade-like streets, with wide sidewalks, improve the pedestrian experience and allows for a variety of public uses and activities.

### D. Design Checklist

The following chart lists the design criteria and the deviations that require Major Site Plan or Minor Site Plan Review. Applications that are within acceptable tolerances, and otherwise meet all design criteria, do not require Site Plan approval unless such approval is required pursuant to the other site plan thresholds as listed in §120-191 of this Chapter.

Design Criteria	Major Deviation	Minor Deviation	Minor Tolerance
<b>BUILDINGS</b>			
Building form & mass	X		
Minimum lot frontage	X		
Maximum building coverage relative to block		X	10%
Minimum & maximum building height	X		
Length to height ratio		X	20%
Orientation to street frontage	X		
Front setback	X		
Front plaza setback		X	10%
Side/rear setback	X		
<b>DISTRICT CHARACTER</b>			
Building maintains horizontal alignment		X	
Facade composition (base, mid-section, crown)	X		
Equal street frontage facades	X		
Facades higher than abutting buildings	X		
Vehicular entry location		X	
Vehicular entry width		X	10%
Vehicular entry to parking garage		X	
Vehicular entry door		X	20%
Service bay depth		X	
Facade lighting		X	
Lighting at vehicular entrances		X	
Window organization		X	
Base facade window coverage		X	10%
Mid-section/crown window height to width ratio		X	20%
Window translucency		X	20%
Entrances on street frontage	X		
Entrance elevation		X	

Design Criteria	Major Deviation	Minor Deviation	Minor Tolerance
Entrance articulation & percent translucency		X	20%
Entrance recess		X	20%
Entrance lighting		X	
Rooftop mechanical/telecommunications equipment		X	
Base primary construction material		X	
Base colors		X	30%
Mid-section/crown colors		X	
Location of refuse storage		X	
<b>SIGNAGE</b>			
Building/corporate identification sign & size		X	10%
Mounting of building identification sign		X	
Number of business signs		X	
Location of business signs		X	
Size of business signs		X	20%
Address sign location		X	
Address sign size		X	20%
<b>SKYWAY</b>			
Skyway height		X	
Interior skyway parallel to exterior facade		X	
Skyway width		X	10%
Skyway non-translucent walls		X	20%
Skyway supported from facade		X	
Skyway lighting		X	
Skyway window translucency		X	10%
Skyway entrances direct from building		X	
Skyway entrances identified & translucent		X	10%
Skyway entrance lighting		X	
Skyway roofline		X	
Skyway material & color		X	
<b>SITE</b>			
Building underground parking location		X	
Building underground parking access		X	
Parking garage entry width		X	10%
Underground parking pedestrian access direct from building		X	
Underground parking mechanical equipment location		X	
Building underground parking entry lighting		X	
Building surface parking size		X	
Building surface parking location, surfacing & curbing		X	
Building surface parking access		X	
Building surface parking lighting		X	
Parking lot location		X	
Parking lot access		X	
Parking lot setback		X	

Design Criteria	Major Deviation	Minor Deviation	Minor Tolerance
Parking lot surfacing & curbing		X	
Parking lot aisle orientation		X	
Parking lot landscaping		X	20%
Parking lot shaded area		X	20%
Parking lot pedestrian walks		X	10%
Parking lot lighting height		X	10%
<b>ADDITIONAL AMENITIES</b>			
Drive thru location		X	
Wall setback		X	
Wall height		X	10%
Wall materials		X	
Plaza/forecourt entrances		X	10%
Plaza/forecourt grade elevation		X	20%
Plaza/forecourt materials		X	
Plaza/forecourt landscaping		X	20%
Plaza/forecourt lighting		X	20%

## E. Design Principles for the District

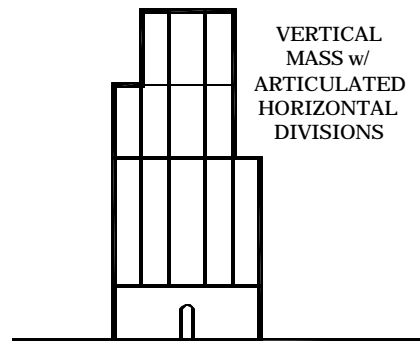
Design principles in the Tower District are intended to create a contiguous system of public spaces linked by pedestrian promenades. Buildings should be created to accommodate a range of uses, including both public and private spaces and they should have diverse facade features, with clearly defined base, mid-section and crown. An appropriate scaled relationship between building coverage and block size will maintain the desired character of the district.

## F. Buildings

### (1) District Context

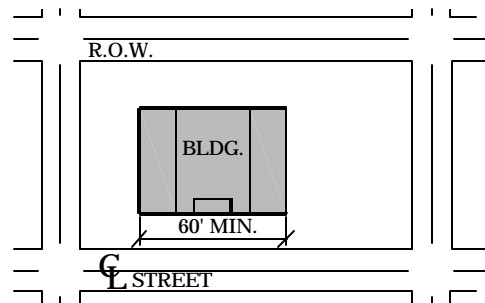
#### (a) Building Form and Mass

- [1] Buildings shall exhibit a vertical mass on the street frontage with clearly articulated horizontal divisions.

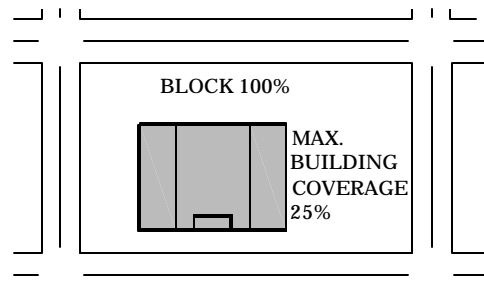


#### (b) Lot Size and Coverage

- [1] The minimum lot frontage shall be 60 feet.



- [2] The maximum building coverage shall be no more than 25% of the block.



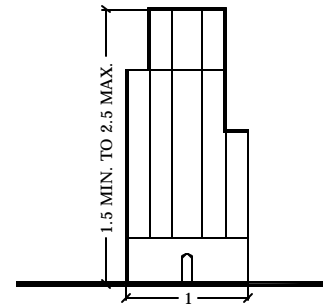
**(c) Height**

**[1]** Unless otherwise noted, building heights shall include:

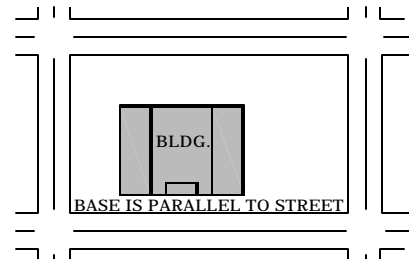
- [a]** Main Street – N/A.
- [b]** City Street - Buildings shall be a minimum of 5 stories.
- [c]** District Street - Buildings shall be a minimum of 5 stories.
- [d]** Neighborhood Street - Buildings shall be a minimum of 5 stories.

**(d) Length to Height Ratio**

**[1]** The length to height ratio shall be a maximum 1:2.5 and a minimum 1:1.5 along primary street frontage.

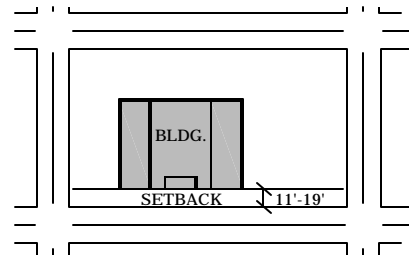
**(e) Orientation**

**[1]** Buildings shall be parallel to the street frontage property line.

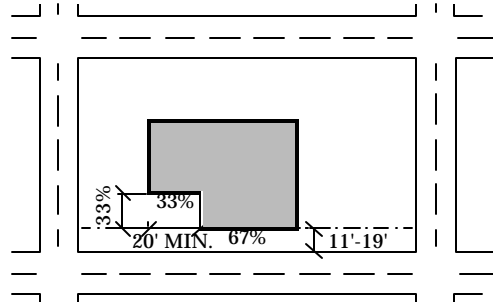
**(f) Setback**

**[1]** Unless otherwise noted, front yard setbacks shall include:

- [a]** Main Street – N/A
- [b]** City Street - All front yard setbacks shall be a minimum 11 feet and a maximum 19 feet and shall be integral to the sidewalk to create a minimum sidewalk of 20'.
- [c]** District Street - All front yard setbacks shall be a minimum 11 feet and a maximum 19 feet and shall be integral to the sidewalk to create a minimum sidewalk of 20'.
- [d]** Neighborhood Street – 0 feet.



- [2] The front yard setback can be increased for 33% of the building length to create a plaza/forecourt. The maximum setback shall be 33% of the building length the minimum width shall be 20 feet.

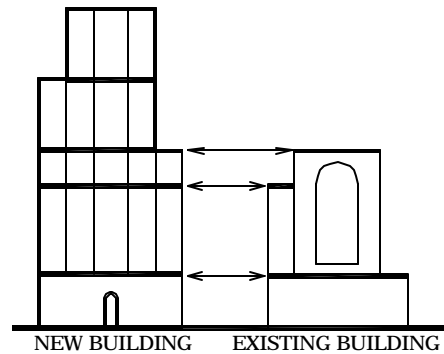


- [3] Side and rear setback shall be a minimum 0.

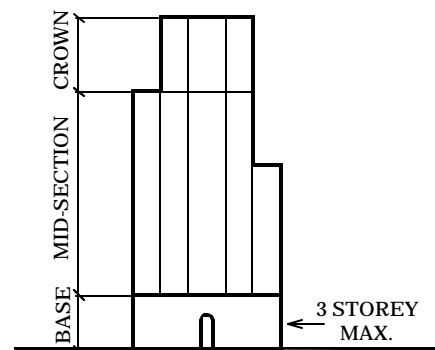
## (2) District Character

### (a) Facade Composition

- [1] Buildings shall maintain the alignment of horizontal elements of adjacent existing buildings.

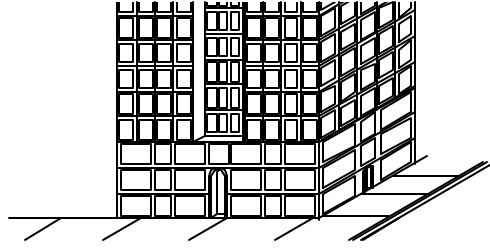


- [2] The facade shall be composed to express a clearly defined base, mid-section and crown; the base of the building shall be no higher than the top of the third story.

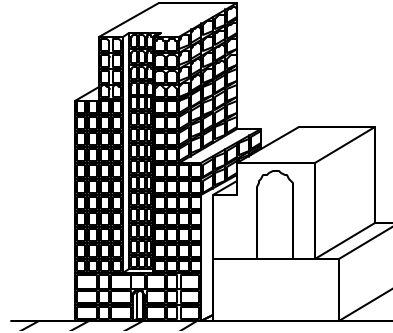




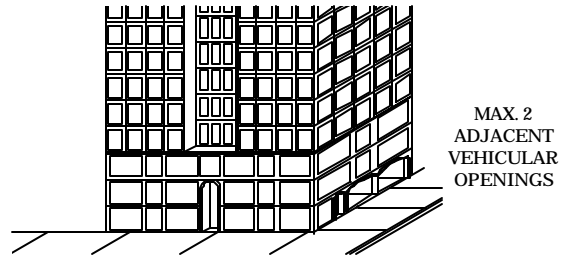
- [3] All facades fronting a street shall conform to the district criteria and be equal.



- [4] All facades higher than adjacent and abutting buildings shall be equal to street facades.

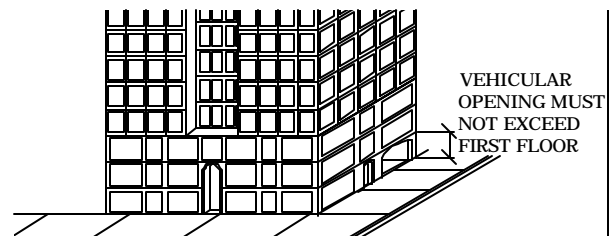


- [5] A maximum of 2 adjacent vehicular entrances are permitted on a facade on District and Neighborhood Streets.

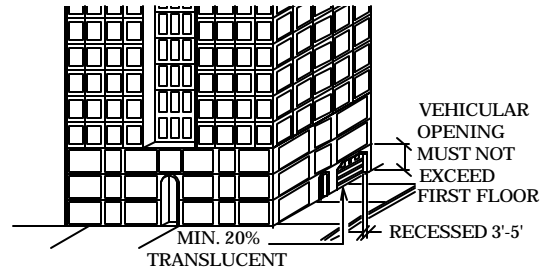


- [6] Vehicular entrances shall be a maximum 11 feet wide.

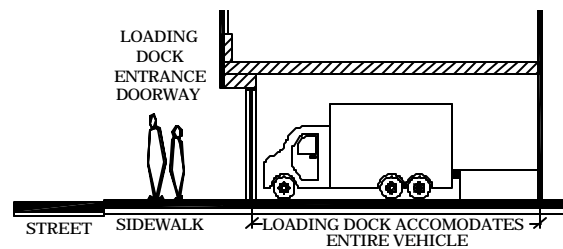
- [7] Vehicular entrances that lead to parking garages shall be integrated into the building facade and shall not extend beyond the top of the first floor.



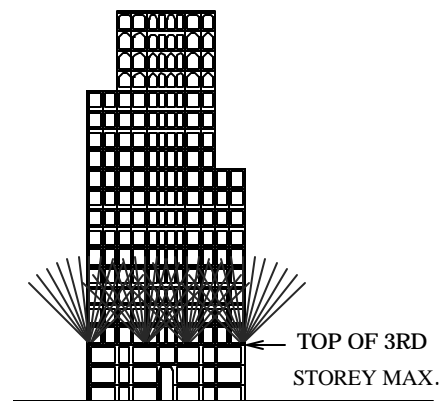
- [8] Vehicular entrances that consist of loading docks/service bays, shall be enclosed with garage doors, integrated into the building facade and not extend beyond the top of the first floor. The garage door shall be recessed from the plane of the facade between 3 feet and 5 feet and shall be a minimum of 20% translucent.



- [9] The depth of any service bay must accommodate total vehicle length so as not to interrupt pedestrian circulation on the sidewalk.



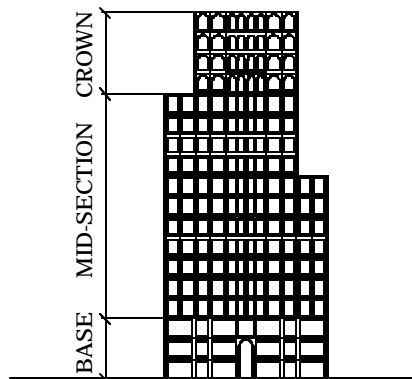
- [10] Facade lighting shall be wall mounted luminaries and shall be mounted no higher than the top of the third floor.



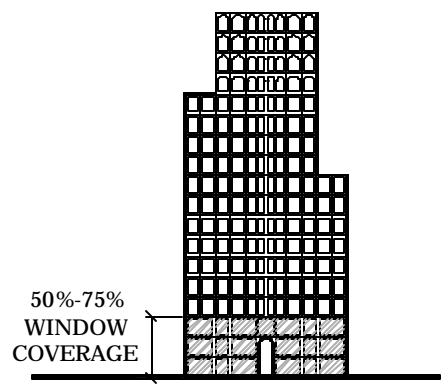
- [11] Facade lighting shall conform to Illumination Engineers Society of North America (IESNA) guidelines.
- [12] Vehicular entrance lighting shall conform to Illumination Engineers Society of North America (IESNA) guidelines.

**(b) Window**

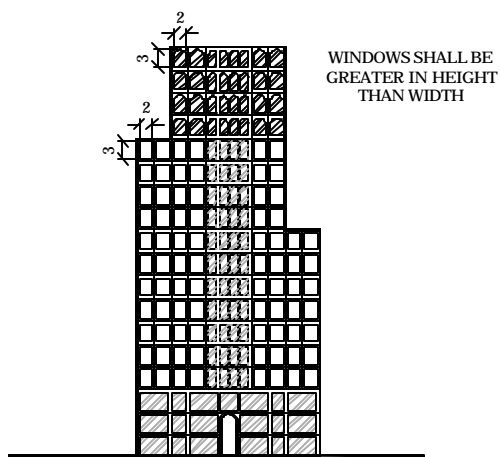
- [1]** Windows shall be organized to reinforce the base, mid-section and crown.



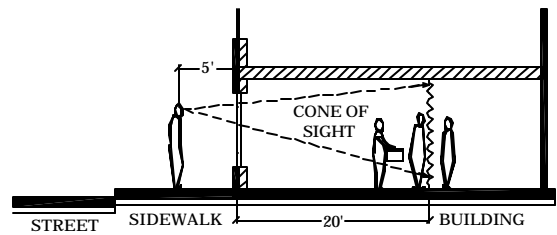
- [2]** The base shall be a minimum 50% and a maximum 75% window coverage.



- [3]** Windows across the mid-section and crown of a building shall be equal to or greater in height than width.



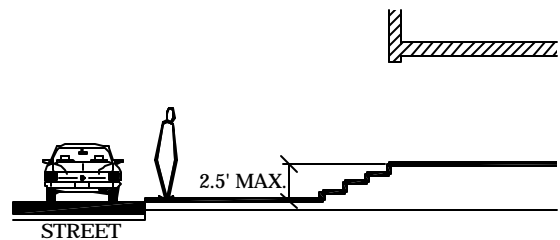
- [4] Base windows shall be transparent and shall permit views 20 feet into the building when standing 5 feet from the window.



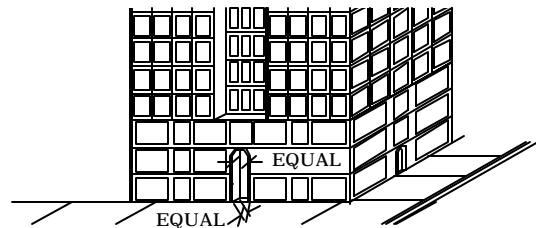
(c) Entrance

- [1] Entrances into buildings shall be provided on all street frontages.

- [2] The finished floor elevation of all buildings shall be a maximum 2.5 feet above sidewalk grade accessible by a ramp.

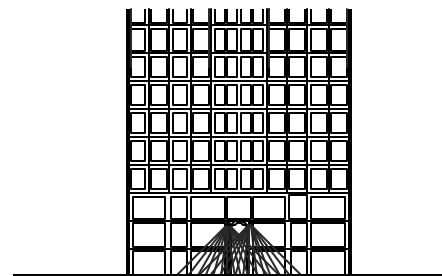


- [3] All entrances shall be articulated and designed as building features. Entrances shall be a minimum 50% translucent.



- [4] All entrance doors shall be recessed from the building face no less than the width of the door.

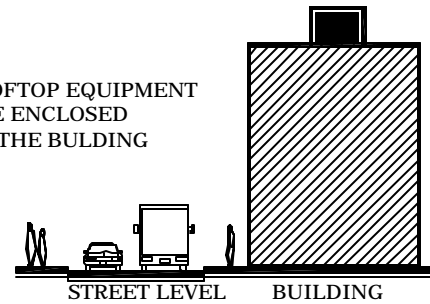
- [5] All entrances shall be illuminated with accent lighting and shall conform to facade lighting. Light shall be cast downward.



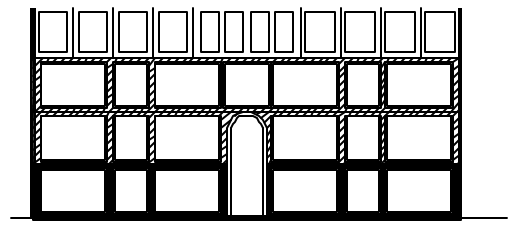
**(d) Roofline**

- [1]** Rooftop mechanical equipment shall be concealed so as not to be visible from the street. Enclosures for mechanical equipment shall be equal to facade.

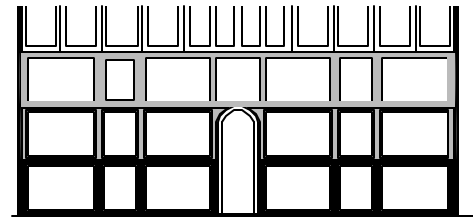
ALL ROOFTOP EQUIPMENT  
MUST BE ENCLOSED  
WITHIN THE BUILDING

**(e) Material and Color**

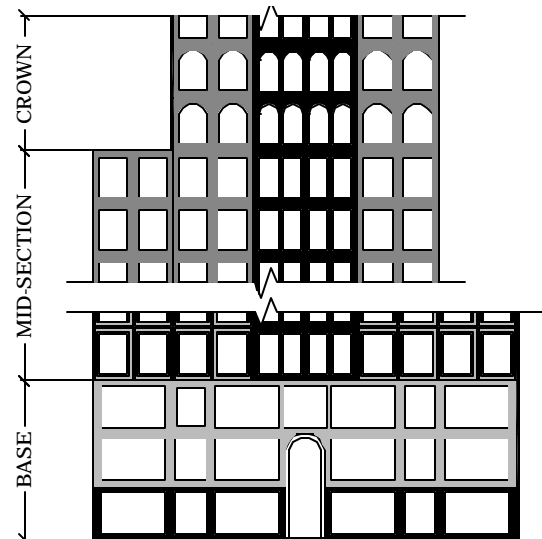
- [1]** In addition to windows, the base of the building shall include a maximum of two materials.



- [2]** In addition to windows, the base of buildings shall include a minimum two colors and a maximum three.

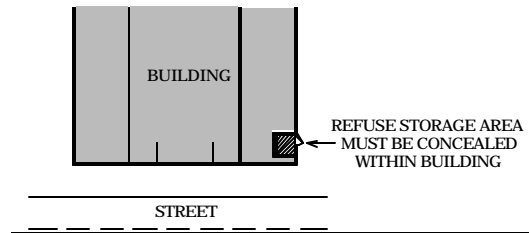


- [3]** The mid-section and crown of buildings shall include only colors found in the base.

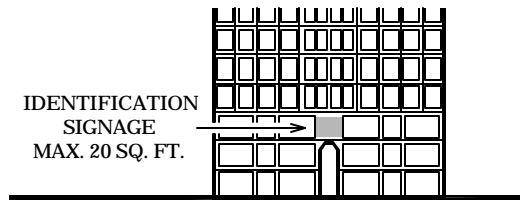


**(f) Refuse Storage**

- [1] Refuse storage shall be concealed within the building.

**(3) Signage****(a) Building Identification Signage**

- [1] A maximum of one building or corporate identification sign is permitted on each building to a maximum 120 square feet.



- [2] Attached sign shall be flush to the building.

**(b) Business Signage**

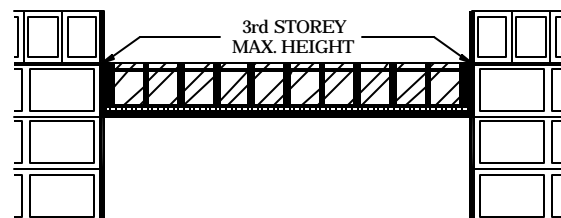
- [1] One window sign per ground floor commercial user shall be permitted.
- [2] Signage shall be internal to the building and located no higher than the top of the first floor.
- [3] Sign area shall not exceed 12 square feet.

**(c) Address Signage**

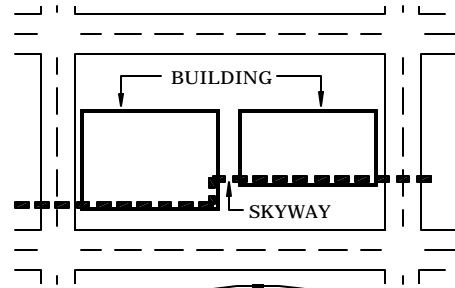
- [1] One sign shall be located at the primary building entrance.
- [2] Sign shall be a maximum of 3 feet high and shall not exceed 30 square feet.

**(4) Skyway****(a) Facade Composition**

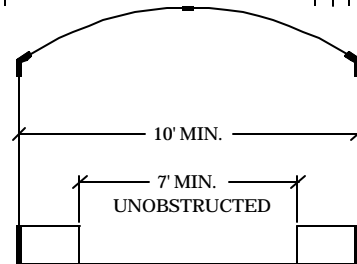
- [1] Skyway shall be no higher than the top of the third story.



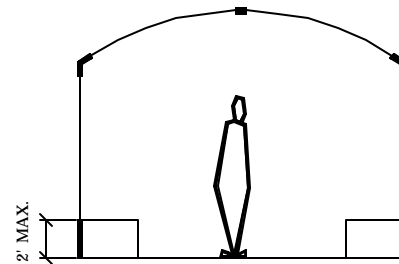
- [2] Interior skyway shall run parallel to the exterior building facade.



- [3] Skyway shall be a minimum 10 feet wide and shall have a minimum 7 foot unobstructed travel width.



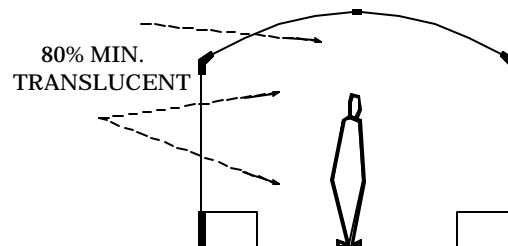
- [4] Skyway non-translucent walls shall be a maximum 2 feet high measured from the floor.



- [5] Skyway shall be supported from the building facade.  
[6] All light sources shall be concealed and interior.

(b) Window

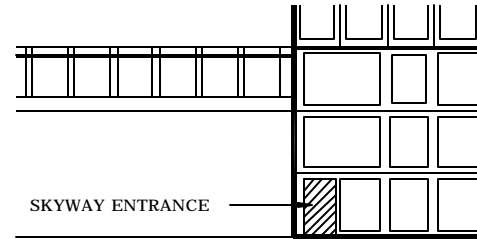
- [1] Exterior Skyway shall be a minimum 80% translucent.



- [2] The facade wall of an Interior Skyway shall be a minimum 50% translucent or as existing.

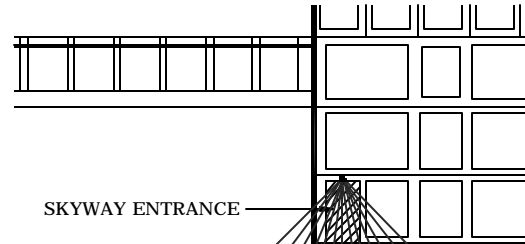
**(c) Entrance**

- [1]** Skyway entrances shall provide direct entry from the sidewalk integral to the building.



- [2]** Entrances shall be clearly identified and 80% translucent.

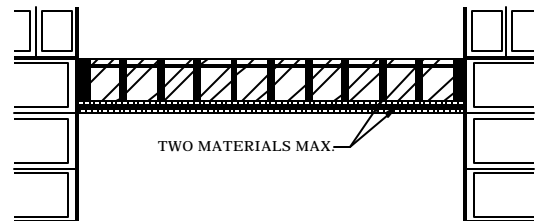
- [3]** All entrances shall be illuminated lighting that defines the entrance and shall conform to building entrance lighting.

**(d) Roofline**

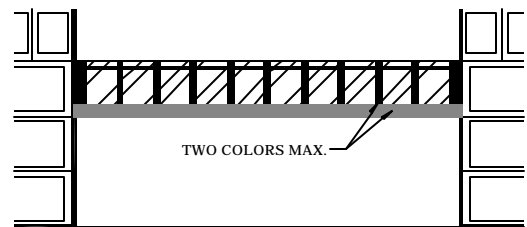
- [1]** Rooflines shall be pitched or arched.

**(e) Material and Color**

- [1]** Excluding windows, a maximum of two primary construction materials conforming to district building criteria and metal may be used.



- [2]** Excluding windows, a maximum of two colors shall be permitted.

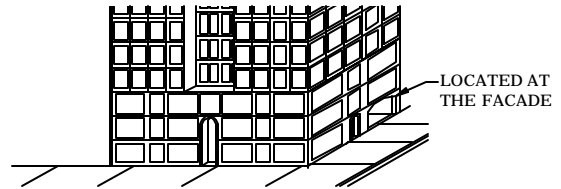




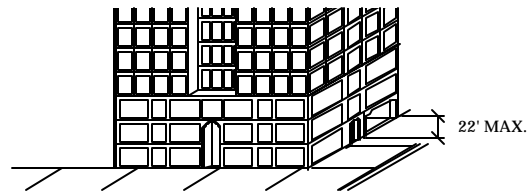
**G. Site****(1) Parking****(a) Building Parking**

- [1] Building parking shall be located underground where building coverage exceeds 10,000 square feet.

- [2] Underground parking entrance shall be at the facade and located fronting City, District or Neighborhood Streets.



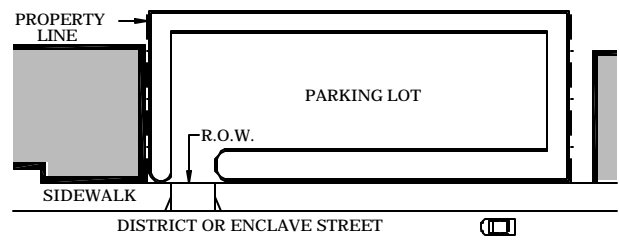
- [3] Total width of the parking garage entrance shall not exceed 22 feet.



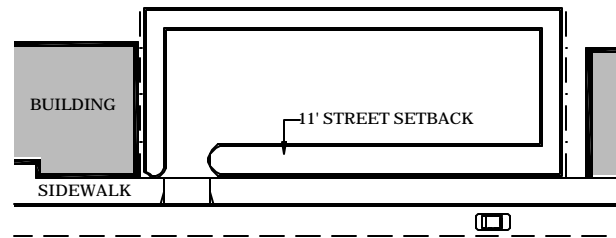
- [4] Pedestrian access to underground parking shall be integral to the building.
- [5] Mechanical equipment for underground parking shall be integral to the building.
- [6] Light level at the entrance to underground parking shall conform to Illumination Engineers Society of North America (IESNA) guidelines.
- [7] Surface parking is permitted where building coverage is 10,000 square feet or less.
- [8] Surface parking lot shall not exceed 3,000 square feet including aisles.

- [9] Surface parking shall be located in the rear yard, be hard surfaced, and curbed.
  - [10] Surface parking shall not be located at intersecting City Streets.
  - [11] Surface parking shall be accessed from District, Neighborhood or Alley Streets.
  - [12] Lighting levels shall conform to Illumination Engineers Society of North America (IESNA) guidelines
- (b) Parking Lot
- [1] Parking lots shall not be located at intersecting City Streets.

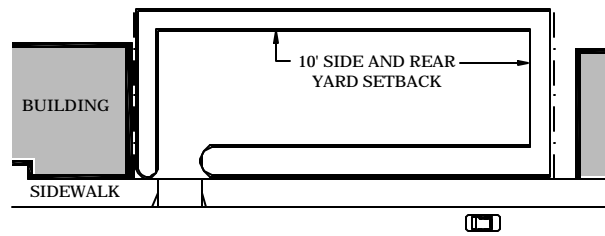
- [2] Access to parking lots shall be from District or Neighborhood Streets.



- [3] Parking lots shall be setback a minimum of 11 feet on all streets.

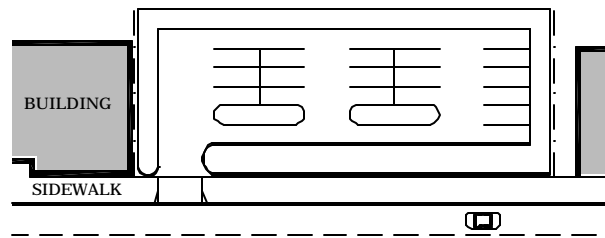


- [4] Side and rear yard setback shall be a minimum 10 feet.

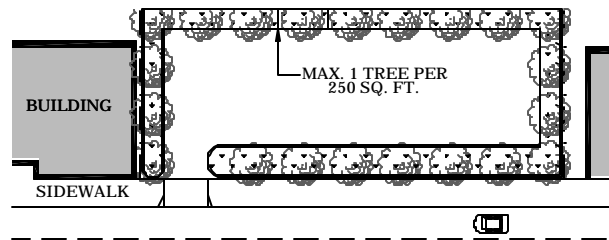


- [5] Parking lots shall be hard surfaced and concrete or granite curbed.

- [6] Parking aisles shall be oriented perpendicular to the front yard.



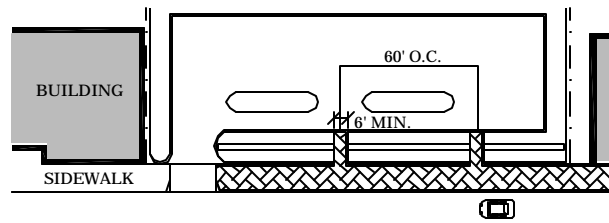
- [7] Setbacks shall be landscaped with one tree per 250 square feet and continuous groundcover.



- [8] Parking lots shall be landscaped with trees and continuous groundcover in curbed islands so that the parking lot is shaded to a minimum 40% at tree maturity.

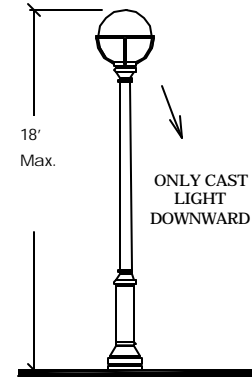


- [9] Pedestrian walks a minimum 60 feet on center and 6 feet wide shall be provided continuous to the sidewalk and shall be equal in material and pattern.



- [10]** Lighting shall conform to Illumination Engineers Society of North America (IESNA) guidelines and shall be maintained from dusk to dawn.

- [11]** Light fixtures shall not exceed 18 feet in height.



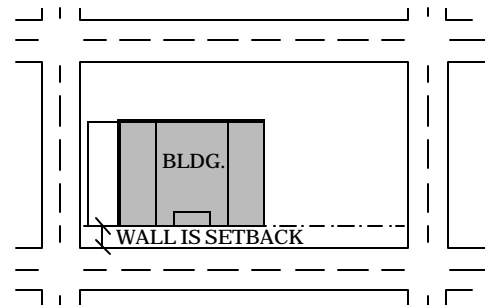
**(2) Additional Amenities**

**(a) Drive-thrus**

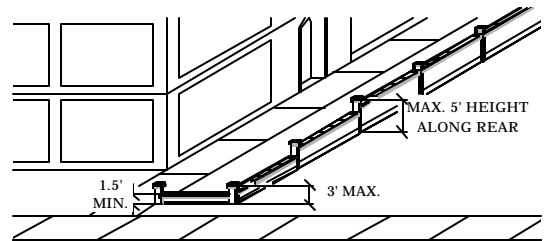
- [1]** Drive-thrus, including all queuing and additional facilities, shall be located interior to buildings.

**(b) Fencing/Walls**

- [1]** Walls shall conform to all building setbacks.



- [2]** Walls shall have a maximum height of 5 feet along rear yards and a minimum height of 1.5 feet and a maximum height 3 feet along street frontages, side yards and in plaza/forecourt.

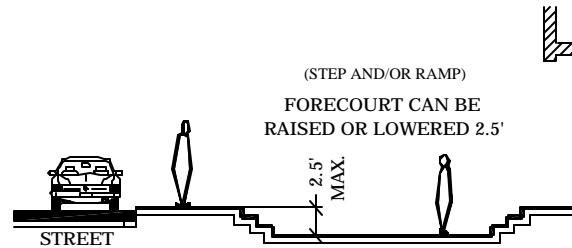


- [3]** Walls shall conform to the district building materials.

**(c) Plaza/Forecourt**

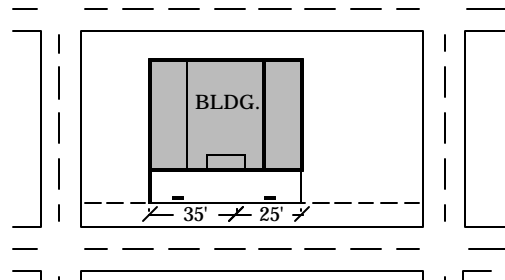
- [1]** Entrances into the plaza/forecourt shall be provided on all street frontages; entrances shall be a minimum of 10 feet wide.

- [2]** Plaza or forecourt shall vary in elevation a maximum 2.5 feet from sidewalk grade.

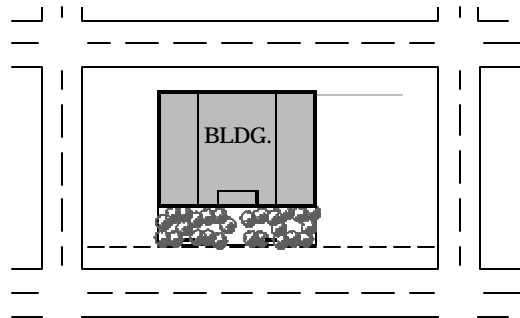


- [3]** Plaza/Forecourt shall be concrete or modular unit paving.

- [4]** Benches shall be provided at a minimum of 1 bench per 35 feet of frontage.

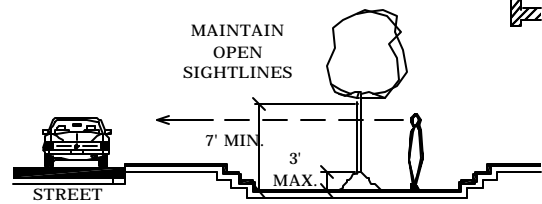


- [5]** Plaza/Forecourt shall be landscaped with trees so that the area is shaded to a minimum 50% at tree maturity.

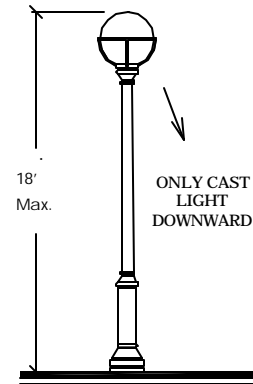


- [6] Mature planting shall maintain open sight lines to the street between 3 feet and 7 feet high.

- [7] Plazas shall be illuminated and shall conform to Illumination Engineers Society of North America (IESNA) guidelines.



- [8] Light fixtures shall not exceed 18 feet in height.



#### H. Noise Level Performance Criteria

STREET TYPE	CUMULATIVE # OF MINUTES OF NOISE IN ANY HOUR	MAXIMUM ALLOWABLE NOISE LEVEL IN dBa	
		7:00 a.m. to 10:p.m.	10:00 p.m. to 7:00 a.m.
Main Street	30	65	60
	15	70	65
City	30	65	60
	15	70	65
District	30	60	55
	15	65	60
Neighborhood	30	50	40
	15	55	45
Alley	30	55	40
	15	55	45

Note: Noise level measured at boundary between receiving property and source property.

**I. District Plant Materials**

The plant materials shall conform to the Forestry Master Plan. Trees shall adhere to the following:

- (1) Viability: Winter hardy, suitable for urban conditions of shade, air quality, desiccation and soil and space limitations as found on the particular site, resistant to blight and pests;
- (2) Public health and safety: thornless, no tap roots, no weak or brittle wood and no invasive weed species;
- (3) Design character: mature size and shape suitable for the space available, tall canopy trees for wide streets and large sites, small or columnar trees for narrow streets and small sites, multiple seasons of special interest (in leaf, in blossom, fall color, bark or branching pattern) and/or harmony with the dominant character defining tree association of the area.
- (4) All proposed street trees and work related to street trees shall conform to the Standards & Specifications for Street Tree & Public Tree Work.