

## ABBREVIATIONS

&	AND
@	AT
APPROX.	APPROXIMATE
ASPH.	ASPHALT
A.S.T.	AMERICAN SOCIETY OF TESTING AND MATERIALS
C.B.	CATCH BASIN
C.L. / 1	CENTER LINE
CLR.	CLEAR
CONC.	CONCRETE
C.O.	CLEAN OUT
D.I.	DRAIN INLET
E	ELECTRIC LINE
E.J.	EXPANSION JOINT
ELEV.	ELEVATION
EQ.	EQUAL
G	GAS LINE
G.V.	GAS VALVE
H.H.	HAND HOLE
+ H.P.	HIGH POINT
HYD.	HYDRANT
INV.	INVERT ELEVATION
I.J.	ISOLATION JOINT
L.T.P.	LIGHT POLE / FIXTURE
+ L.P.	LOW POINT
M.H.	MANHOLE
MIN.	MINIMUM
MAX.	MAXIMUM
M.W.	MONITORING WELL
N.Y.S.D.O.T.	NEW YORK STATE DEPARTMENT OF TRANSPORTATION
P.B.	PULL BOX
P.L. / 1	PROPERTY LINE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF CURVATURE
P.O.T.	POINT OF TANGENT
P.P.	POWER POLE
P.T.	POINT
P.V.C.	POLYVINYL CHLORIDE
R / RAD.	RADIUS
RGE	ROCHESTER GAS & ELECTRIC
S / SAN.	SANITARY SEWER
D / STM.	STORM SEWER / DRAIN
STD.	STANDARD
TEL.	TELEPHONE
TC / BC	TOP / BOTTOM OF CURB
T.H.	SOIL TEST HOLE
TR / BR	TOP / BOTTOM OF RAMP
TYP.	TYPICAL
W / WAT.	WATER LINE / SERVICE
W.V.	WATER VALVE
W /	WITH

## GENERAL NOTES

1. THE HORIZONTAL AND VERTICAL LOCATION INFORMATION OF THE SITE EXISTING CONDITIONS WITHIN THIS DRAWING SET HAS BEEN OBTAINED FROM A CONSTRUCTION DOCUMENT SET ENTITLED ERIE HARBOR, LOC. PREPARED BY PASSERO ASSOCIATES, DATED JUNE 2008, SELECTED SITE SURVEYS BY MAGDE LAN SURVEYING, DATED JANUARY 2011, AND CITY OF ROCHESTER GIS DATA OBTAINED IN FEBRUARY 2011.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING AND PROPOSED HORIZONTAL AND VERTICAL LOCATION INFORMATION SHOWN ON THESE PLANS FOR BOTH BIDDING AND CONSTRUCTION PURPOSES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL HAVE ALL UTILITIES AND INFRASTRUCTURE FIELD LOCATED AND MARKED BY THE RESPONSIBLE PUBLIC OR PRIVATE AGENCY PRIOR TO THE START OF CONSTRUCTION, AND SHALL MAINTAIN ALL LOCATION STAKES AND MARKINGS THROUGHOUT THE CONSTRUCTION PROCESS.
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, PIPE SIZES AND INVERT ELEVATIONS, OF ANY EXISTING SEWERS TO BE AFFECTED BY THE PROJECT.
5. PROVIDE THE OWNER'S REPRESENTATIVE WITH AT LEAST SEVEN DAYS NOTICE FOR ANY REQUIRED INTERRUPTION OF A UTILITY SERVICE. WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE IS REQUIRED BEFORE THE UTILITY SERVICE CAN BE INTERRUPTED. A TEMPORARY SERVICE MAY BE REQUIRED BY THE OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PAVEMENT, CURBS, PLANTINGS, UTILITIES AND ANY OTHER EXISTING OR PROPOSED FEATURES PROPOSED TO BE REMOVED BY CONSTRUCTION OR OTHER RELATED OPERATIONS. ALL SUCH DAMAGE SHALL BE REPLACED IN-KIND AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR SHALL NOT DISTURB ANY AREAS OUTSIDE THE PROJECT LIMITS.
8. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING TREES, SHRUBS AND GROUNDCOVERS WITHIN AND ADJACENT TO THE PROJECT SITE EXCEPT FOR THOSE SPECIFICALLY IDENTIFIED ON THESE PLANS AND APPROVED FOR REMOVAL IN THE FIELD BY THE OWNER'S REPRESENTATIVE. SEE TREE PROTECTION DETAIL.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN A SAFE AND ORDERLY CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDRESSING ALL SAFETY ISSUES. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS, INCLUDING, BUT NOT LIMONITE TO, BARRIERS AND OTHER DEVICES AS NECESSARY TO KEEP PEDESTRIANS SAFE FROM CONSTRUCTION OPERATIONS AND OUT OF THE CONSTRUCTION ZONE.
10. THE CONTRACTOR SHALL MAINTAIN THE PROJECT SITE IN A NEAT AND ORDERLY STATE AND TAKE THE NECESSARY STEPS TO MINIMIZE THE MIGRATION OF DUST AND DEBRIS FROM THE PROJECT SITE, INCLUDING MEASURES AS REQUIRED BY THE SITE MANAGEMENT PLAN, CONSTRUCTION TRAVEL ROUTES AND ALL AREAS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CHECKED DAILY AND CLEANED, AS NECESSARY, TO REMOVE ANY ACCUMULATION OF MUD, DUST OR OTHER CONSTRUCTION DEBRIS.
11. PRIOR TO THE COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL CHECK AND CLEAN ALL MANHOLES, CATCH BASINS, DRAIN INLETS, AND OTHER SITE DRAINAGE SYSTEM COMPONENTS WITHIN THE PROJECT LIMITS AND DRAINAGE PATH OF THE PROJECT SITE SO THAT THEY ARE FREE FROM ALL DEBRIS, SILT, ETC..
12. THE CONTRACTOR SHALL BE REQUIRED FOR OBTAINING ANY REQUIRED MUNICIPAL AND LOCAL REGULAR OR INTERMITTENT CONSTRUCTION PERMITS AND/OR INSPECTIONS.
13. THE CONTRACTOR IS ADVISED TO CAREFULLY REVIEW ALL OF THE ADDITIONAL PROJECT REQUIREMENTS CONTAINED WITHIN THE PROJECT MANUAL, CITY OF ROCHESTER STANDARD CONSTRUCTION CONTRACT DOCUMENTS, AND THIS DRAWING SET.

## SITE MANAGEMENT PLAN COMPLIANCE

- CONSTRUCTION ACTIVITY ON CITY OF ROCHESTER PROPERTY ARE NOT REQUIRED TO COMPLY WITH THE ERIE HARBOR SITE MANAGEMENT PLAN.
2. THE PRIVATELY OWNED DEVELOPMENT PORTION OF THIS SITE, INCLUDING ALL PUBLIC ACCESS EASEMENTS CONTAINED THEREIN, IS PART OF A "BROWNFIELD CLEANUP PROGRAM" (BCP) AND REQUIRES THE IMPLEMENTATION OF REQUIREMENTS OBTAINED WITHIN AN EXISTING SITE MANAGEMENT PLAN (SMP).
3. PROVISIONS SET FORTH IN THE ERIE HARBOR SITE MANAGEMENT PLAN (SMP) PREPARED BY DAY ENVIRONMENTAL, INC. (DATED AUGUST 2010, MUST BE IMPLEMENTED FOR ANY AND ALL ACTIVITIES WITHIN PUBLIC ACCESS EASEMENTS UPON ANY AND ALL LANDS OWNED BY ERIE HARBOR, LLC, OR CONIFER REALTY (HEREIN REFERRED TO AS THE "SITE"), LANDS OUTSIDE THE ERIE HARBOR, LLC, BOUNDARY, SUCH AS ADJACENT PARK LANDS OWNED BY THE CITY OF ROCHESTER, ARE NOT REQUIRED TO CONFORM TO THE PROVISIONS AND REQUIREMENTS SET FORTH WITHIN THE SMP.
4. THE CONTRACTOR SHALL BE AWARE OF RESIDUAL CONTAMINATION AT THE SITE, REFER TO THE SMP, FIGURE 14.
5. MONITORING WELLS EXIST ON THE SITE AND ARE LABELED WITHIN THE DRAWING SET. SOME MONITORING WELLS MAY BE DECOMMISSIONED BY OTHERS UPON THE ERIE HARBOR LLC PROJECT'S SUBSTANTIAL COMPLETION. OTHERS MAY BE INTRODUCED AFTER SUBSTANTIAL COMPLETION. CONTACT THE OWNER'S REPRESENTATIVE AND DAY ENVIRONMENTAL, 40 COMMERCIAL STREET, ROCHESTER, NEW YORK, IF ANY CONSTRUCTION ACTIVITY IS TO DISTURB EXISTING OR PLANNED MONITORING WELLS. PRIOR TO ANY AND ALL SITE WORK THE CONTRACTOR SHALL LOCATE EXISTING MONITORING WELLS ON SITE AND PROTECT AS NEEDED FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
6. ALL MATERIALS PROPOSED FOR IMPORT TO THE SITE SHALL BE APPROVED BY A QUALIFIED ENVIRONMENTAL PROFESSIONAL AND MUST BE IN COMPLIANCE WITH THE PROVISIONS OF THE SITE MANAGEMENT PLAN PRIOR TO RECEIPT AT THE SITE.
7. WRITTEN APPROVAL SHALL BE OBTAINED FROM THE NYSDEC PROJECT MANAGER PRIOR TO IMPORTING ANY IMPORT TO THE SITE OR FILL MATERIALS ONTO THE SITE. EXCEPTIONS MAY BE MADE FOR MATERIALS THAT HAVE ALREADY BEEN APPROVED BY NYSDEC UNDER THE REQUIREMENTS OF THIS SMP AND THE CONSTRUCTION OF THE ERIE HARBOR PRIVATE DEVELOPMENT.
8. ALL IMPORTED SOILS SHALL MEET THE BACKFILL AND COVER SOIL QUALITY STANDARDS ESTABLISHED IN 6 NYCRR 375-6.7(D), AS "RESTRICTED RESIDENTIAL" OR "PROTECTION OF GROUNDWATER" SOIL CLEANUP OBJECTIVES (SCOS). SOILS THAT MEET "EXEMPT FILL REQUIREMENTS" UNDER 6 NYCRR PART 360, BUT

DO NOT MEET THE MINIMUM SOIL CLEANUP OBJECTIVES FOR THIS SITE, WILL NOT BE IMPORTED ONTO THE SITE WITHOUT PRIOR APPROVAL BY NYSDEC.

1. ALL IMPORTED STONE MUST HAVE LESS THAN 10% PASSING A #80 SIEVE TO NOT REQUIRE LAB DATA AND APPROVAL BY NYSDCE.
2. CONTRACTOR IS REQUIRED TO STAKE OUT AND STAKEOUT AT 1:600-962-7900 FOR LOCATION OF ANY UNDERGROUND UTILITIES BEFORE UNDERTAKING ANY CONSTRUCTION IN THIS AREA. R.P.W.D.
3. ALL FILL AREAS SHALL BE COMPACTED TO 95% OF ORIGINAL DENSITY PER MODIFIED PROCTOR TEST. THIS SHALL BE CERTIFIED TO THE CITY OR ITS REPRESENTATIVE BY A LICENSED TESTING COMPANY.
4. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS OR OTHER APPLICABLE REGULATIONS.
5. CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE DURING CONSTRUCTION, WHEREVER POSSIBLE, ALL NATURAL FEATURES, INCLUDING LARGE TREES. CONTRACTOR SHALL NOT REMOVE TREES THAT ARE NOT DIRECTLY INTERFERING WITH THE PROPOSED WORK OR HAVE OTHERWISE BEEN APPROVED FOR REMOVAL BY THE CITY OF ITS REPRESENTATIVE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SILTATION AND EROSION CONTROL MEASURES DURING THE ENTIRE PERIOD OF CONSTRUCTION AND UNTIL SUBSTANTIAL GROUND COVER HAS BEEN ESTABLISHED. IT IS RECOGNIZED THAT THESE CONTROLS MAY INTERFERE WITH CONSTRUCTION. IN THIS EVENT, ALTERNATE MEASURES AND/OR FACILITIES SHALL BE APPROVED BY THE CITY OR ITS REPRESENTATIVE.
7. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT UTILITY LINES SHOWN ON THE APPROVED DRAWINGS AND OTHER LINES NOT SHOWN HEREIN OR OF RECORD.
8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL IMPROVEMENTS SHOWN ON THE APPROVED PLANS.
9. HIGHWAY DRAINAGE SHALL BE MAINTAINED AT ALL TIMES.
10. UPON COMPLETION OF THE PROJECT, AS-BUILT PLANS OF THE COMPLETED UTILITIES SHALL BE FURNISHED ON REPRODUCIBLE MATERIAL TO THE CITY, C.R.P.W. AND THE OWNER.
11. THE CONTRACTOR IS CAUTIONED THAT THIS SITE HAS SEVERAL BURIED UTILITIES AND OTHER UNKNOWN UTILITIES, CONDUITS, DEBRIS AND DRAINAGE INFRASTRUCTURE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL PREPARE TO DEAL WITH THESE FACILITIES WHEN DISCOVERED AND ALLOW FOR CONSTRUCTION TIME LOSSES IF ADDITIONAL ENGINEERING IS REQUIRED TO RESOLVE THE DISCOVERY.
12. A 15-DAY NOTIFICATION TO THE NYSDCE IS REQUIRED BEFORE COMMENCING ANY ACTIVITY THAT IS ANTICIPATED TO ENCOUNTER POSSIBLE REMAINING CONTAMINATION OR INVOLVES OFF-SITE REUSE OR DISPOSAL OF MATERIALS FROM THE ERIE HARBOR LLC SITE. THIS INCLUDES ANY EXCAVATION ACTIVITIES THAT EXTEND MORE THAN A 24" IN DEPTH, THROUGH GRADES WITHIN THE ENGINEERING CONTROL AREA IDENTIFIED IN THE PROJECT SMP.
13. CONTRACTORS MUST BE PREPARED TO SUPPRESS DUST AND POSSIBLE VOC VAPORS WHEN EXCAVATING MORE THAN 24" IN DEPTH. HEALTH AND SAFETY DUST MONITORING MUST BE IMPLEMENTED, DOCUMENTED AND MADE AVAILABLE FOR REVIEW BY REGULATORS IF REQUESTED. AIR MONITORING WILL NOTE BE REQUIRED WHEN WEATHER IS NOT CONDUCTIVE TO GENERATION OF DUST (I.E. WET SOIL, RAINING, SNOWING, ETC). COORDINATE WITH ERIE HARBOR SITE CONTRACTOR FOR DUST MONITORING REQUIREMENTS AND MONITORING VARIANCE CONDITIONS / REQUIREMENTS.

## GENERAL CITY NOTES

1. ALL FACILITIES TO BE CONSTRUCTED OR INSTALLED SHALL COMPLY WITH ALL THE LATEST REVISIONS AND APPLICABLE SECTIONS OF CITY OF ROCHESTER REGULATIONS.
2. THE CONTRACTOR IS CAUTIONED TO NOTIFY CENTRAL STAKEOUT AT 1-800-962-7962 FOR LOCATION OF ANY UNDERGROUND UTILITIES BEFORE UNDERTAKING ANY CONSTRUCTION IN THIS AREA. R.P.W.D.
3. ALL FILL AREAS SHALL BE COMPACTED TO 95% OF ORIGINAL DENSITY PER MODIFIED PROCTOR TEST. THIS SHALL BE CERTIFIED TO THE CITY OR ITS REPRESENTATIVE BY A LICENSED TESTING COMPANY.
4. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS OR OTHER APPLICABLE REGULATIONS.
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6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SILTATION AND EROSION CONTROL MEASURES DURING THE ENTIRE PERIOD OF CONSTRUCTION AND UNTIL SUBSTANTIAL GROUND COVER HAS BEEN ESTABLISHED. IT IS THE POLICY OF THESE VILLAGE CONTROLS MAY INTERFERE WITH CONSTRUCTION. IN THIS EVENT, ALTERNATE MEASURES AND/OR FACILITIES SHALL BE APPROVED BY THE CITY OR ITS REPRESENTATIVE.
7. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT UTILITY LINES SHOWN ON THE APPROVED DRAWINGS AND OTHER LINES NOT SHOWN HEREIN OR OF RECORD.
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## DRAWING SCHEDULE

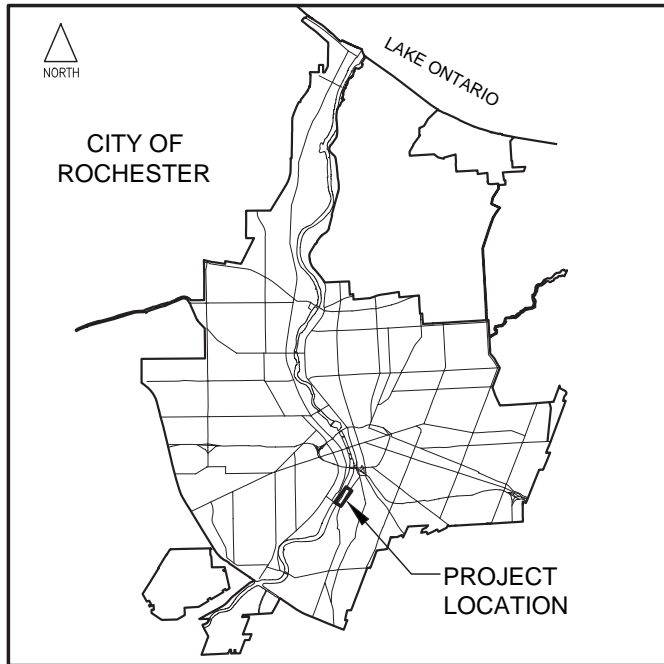
SHEET #	SHEET TITLE
01	GENERAL INFORMATION
02	SOUTH, CENTRAL & NORTH EASEMENT DEMOLITION PLAN
03	PAVEMENT DEMOLITION AREAS - ALTERNATE 12
04	SOUTH & NORTH EASEMENT LAYOUT AND PAVING PLANS (W/ ALTERNATE 11)
05	CENTRAL EASEMENT GENERAL LAYOUT PLAN
06	CENTRAL EASEMENT PLAZA LAYOUT PLAN
07	CENTRAL EASEMENT SITE FEATURES LAYOUT PLAN
08	MT. HOPE EASEMENT LAYOUT AND PAVING PLAN (W/ ALTERNATE 10)
09	CENTRAL EASEMENT PAVING & MATERIALS PLAN
10	SOUTH & NORTH EASEMENT GRADING & DRAINAGE PLAN
11	CENTRAL EASEMENT GRADING PLAN
12	CENTRAL EASEMENT DRAINAGE & LIGHTING PLAN
13	SOUTH & NORTH EASEMENT PLANTING PLAN (W/ ALTERNATES 4, 5, 7 & 8)
14	CENTRAL EASEMENT PLANTING PLAN - ALTERNATE 1
15	MT. HOPE EASEMENT PLANTING PLAN (W/ ALTERNATES 2, 3 & 6)
16	STONE AND BLOCK DETAILS (W/ ALTERNATE 9)
17	MISCELLANEOUS DETAILS 1
18	MISCELLANEOUS DETAILS 2
19	NORTH AND SOUTH EASEMENT PAVING DETAILS
20	CENTRAL EASEMENT PAVING DETAILS 1
21	CENTRAL EASEMENT PAVING DETAILS 2

NOTE: \* W/ ALTERNATES \* = SHEET INCLUDES BASE BID AND BID ALTERNATE ITEMS

THIS DOCUMENT WAS PREPARED FOR THE NEW YORK STATE DEPARTMENT  
OF STATE WITH FUNDS PROVIDED UNDER TITLE 11 OF THE ENVIRONMENTAL  
PROTECTION FUND.

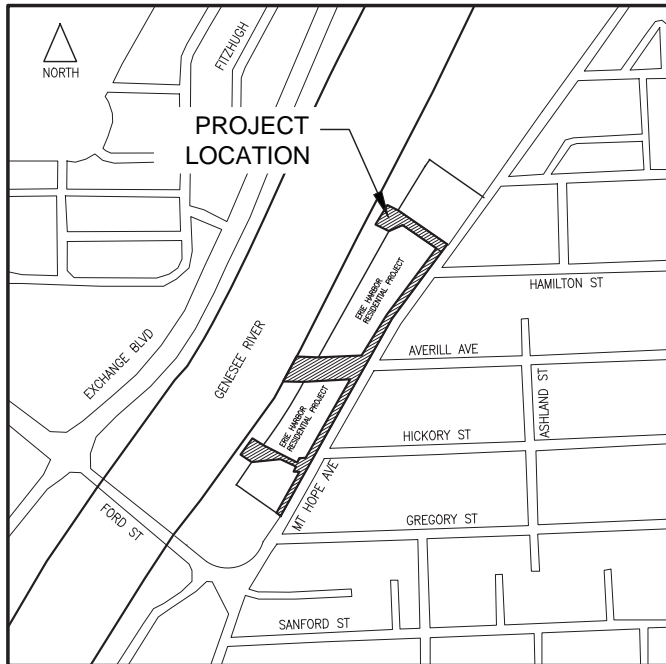
## REGIONAL LOCATION PLAN

NOT TO SCALE



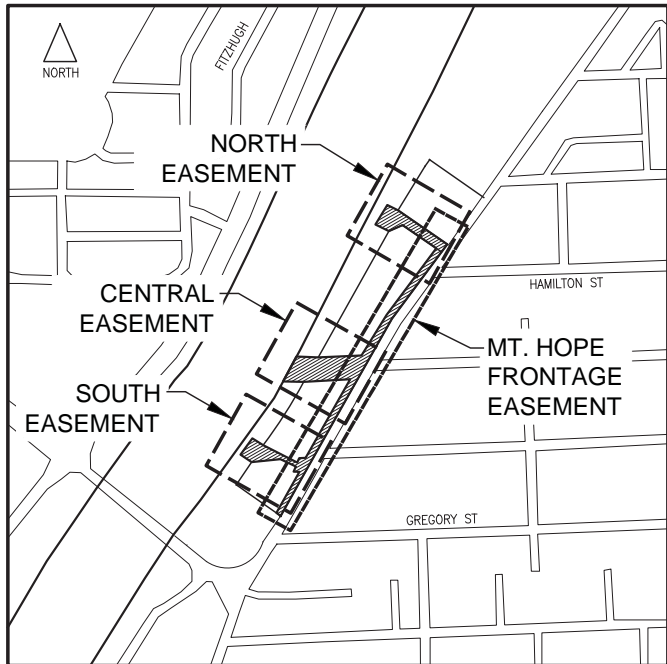
## DETAIL LOCATION PLAN

NOT TO SCALE



### EASEMENT AREA KEY

NOT TO SCALE



## SYMBOLS LEGEND

	CONTRACT LIMIT LINE
	PROPERTY LINE
	EASEMENT LINE
	FENCE LINE
	TREE PROTECTION OR SILT FENCING
	CENTER LINE (C.L.)
	UNDERGROUND NATURAL GAS UTILITY
	UNDERGROUND ELECTRIC UTILITY
	SANITARY SEWER
	STORM SEWER / DRAIN / COMBINED STORM WATER SERVICE
	UTILITY MANHOLE / CLEANOUT
	CATCH BASIN / DRAIN INLET
	WATER / GAS VALVE / HAND HOLE
	FIRE HYDRANT
	TELEPHONE / ELECTRIC POLE
	LIGHT POLE / FIXTURE
	TRAFFIC SIGNAL / PEDESTRIAN CROSSING POLE
	SIGN
	EXISTING TREE
	MONITORING WELL

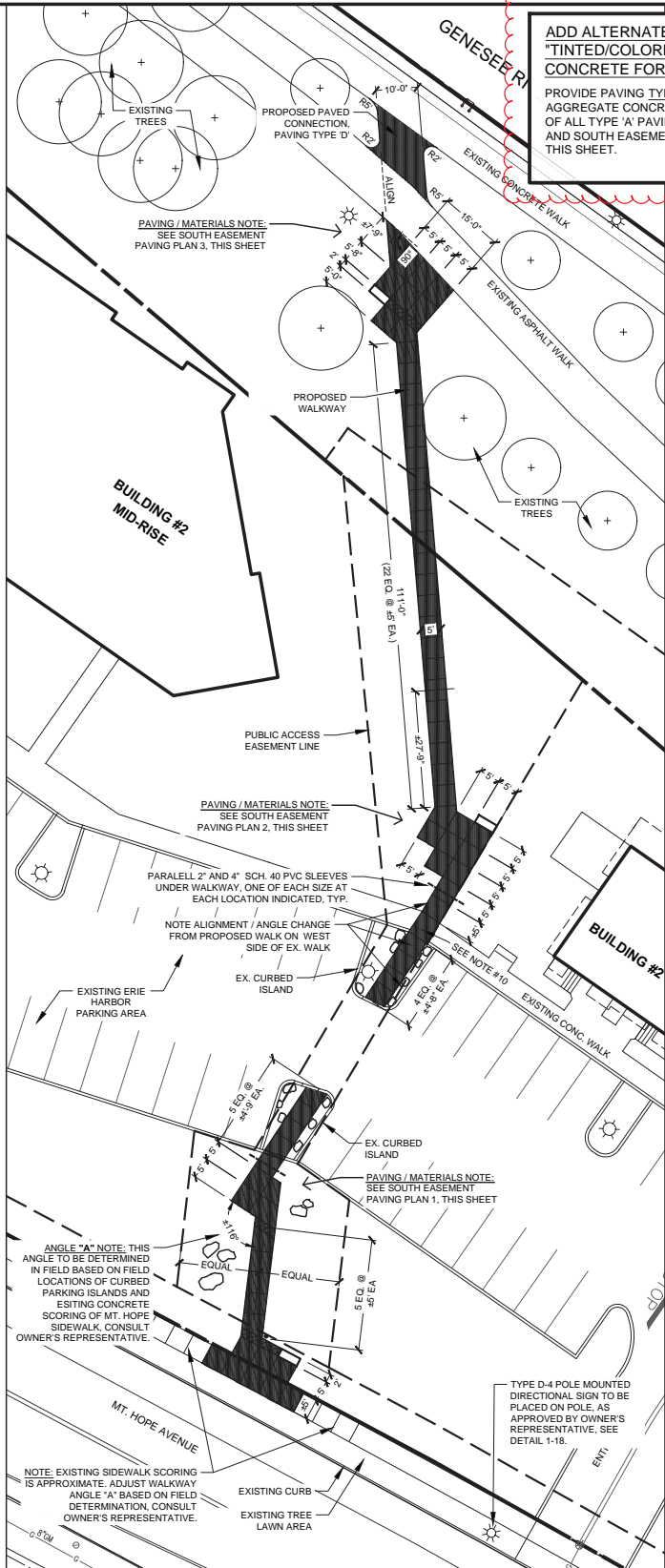

**CITY OF ROCHESTER**  
 Project ID # 9330  
 Department of Environmental Services  
 Architecture and Engineering  
 Project Manager: JoAnn Beck



SCALE:	N.T.S.		
CHECKED BY:	MHB		
DRAWN BY:	ZDS		
DESIGNED BY:	BAYERLA		
DATE:	03-12-2012		
PROJECT No.:	CITY I.D. #9330	REVISIONS	BY DATE

PROJECT:  ERIE HARBOR PUBLIC ENHANCEMENTS (#C006966)	DRAWING TITLE:  <b>GENERAL INFORMATION</b>
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DATE: LOCATION: © 2012 BAYER LANDSCAPE ARCHITECTURE, PLLC

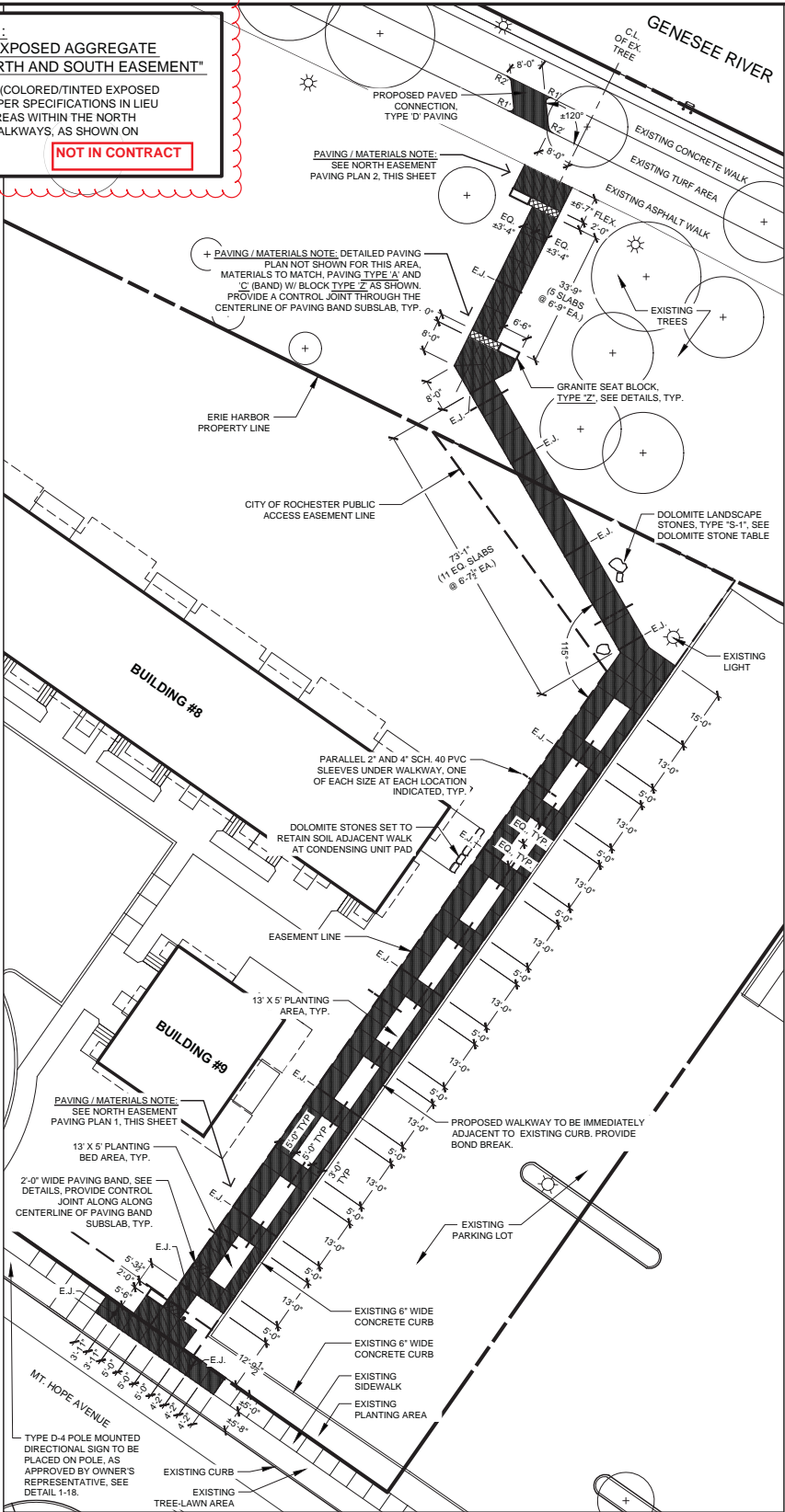


SOUTH EASEMENT LAYOUT PLAN SCALE: 1" = 20'

GENERAL LAYOUT NOTES

- PROPOSED SITE FEATURES SHOWN ON THIS PLAN SHALL BE STAKED OUT IN ACCORDANCE WITH THIS PLAN AND THE GRADING PLAN, AND SHALL BE REVIEWED WITH THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION. WHERE POSSIBLE, LAYOUT STAKES SHALL REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION PROCESS.
- ADHERE TO WRITTEN DIMENSIONS, DO NOT SCALE THIS DRAWING.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL LAYOUT DIMENSIONS IN THIS DRAWING SET SHALL BE FIELD VERIFIED BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DECISION.
- ALL DIMENSIONS TO OR FROM CURB LINES ARE MEASURED FROM THE EXPOSED FACE OF CURB, UNLESS OTHERWISE NOTED.
- REFER TO CONSTRUCTION DETAILS FOR ADDITIONAL LAYOUT INFORMATION.
- WHERE INCHES ARE NOT INDICATED, DIMENSIONS SHOWN ARE IN INCREMENTS OF AN EVEN FOOT.
- CONTROL AND EXPANSION JOINTS SHALL BE PLACED IN THE LOCATIONS INDICATED ON THE LAYOUT AND PAVING DETAIL PLANS. JOINTS PERPENDICULAR TO SUBSLABS CONTINUE THROUGH SUBSLABS.
- ISOLATION JOINTS OR BOND BREAKS SHALL BE PLACED WHEREVER PROPOSED CONCRETE PAVEMENT ABUTS BUILDINGS, CURBING, GRANITE OR DOLOMITE STONE, UTILITY STRUCTURES, EXISTING CONCRETE, OR OTHER FIXED OBJECTS, AS INDICATED ON PAVING DETAIL PLANS, CONSTRUCTION DETAILS, OR AS REQUIRED BY OWNERS REPRESENTATIVE/
- THIS SLAB SECTION TO BE CUT INTO EXISTING WALKWAY BASED ON STATUS OF ERIE HARBOR APARTMENTS CONSTRUCTION, CONSULT WITH OWNER'S REPRESENTATIVE FOR DIRECTION.

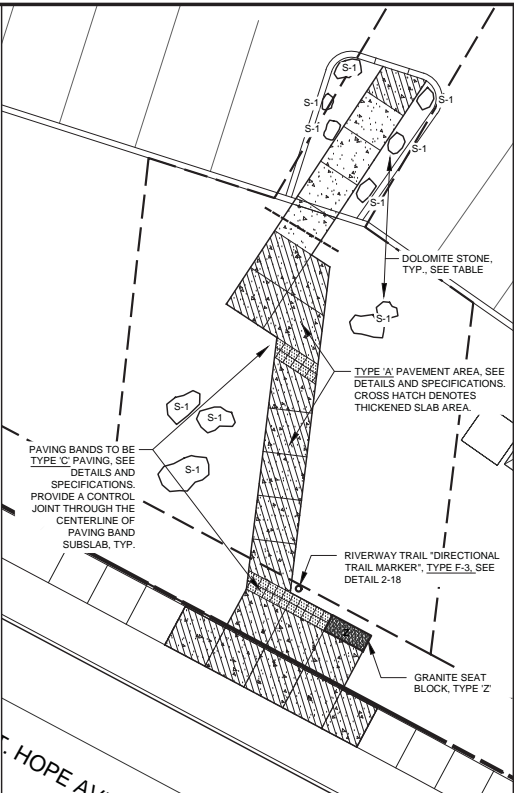
ADD ALTERNATE #11:  
"TINTED/COLORED EXPOSED AGGREGATE  
CONCRETE FOR NORTH AND SOUTH EASEMENT"  
PROVIDE PAVING TYPE 'B' (COLORED/TINTED EXPOSED AGGREGATE CONCRETE) PER SPECIFICATIONS IN LIEU OF ALL TYPE 'A' PAVING AREAS WITHIN THE NORTH AND SOUTH EASEMENT WALKWAYS, AS SHOWN ON THIS SHEET.  
**NOT IN CONTRACT**



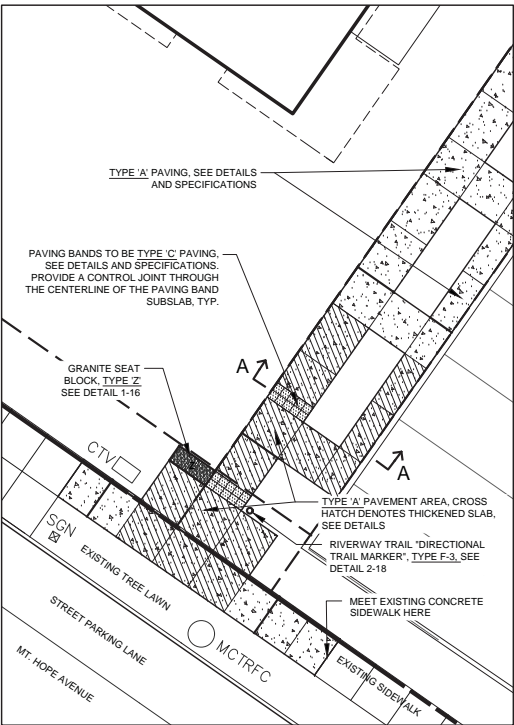
NORTH EASEMENT LAYOUT PLAN SCALE: 1" = 20'

PAVING PLAN LEGEND

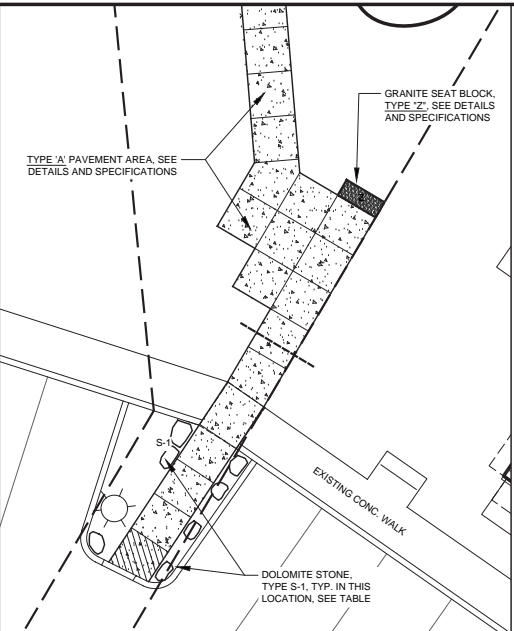
- |  |                                                                                                            |  |                                                                |  |                                                             |
|--|------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------|--|-------------------------------------------------------------|
|  | TYPE 'A' STANDARD CONCRETE PAVEMENT AREA, SLAB THICKNESS VARIES, SEE DETAILS. SEE PLAN FOR JOINT LOCATIONS |  | TYPE 'D' ASPHALT PAVEMENT AREA, SEE DETAILS AND SPECIFICATIONS |  | CROSS HATCH DENOTES THICKENED SLAB AREA, SEE PAVING DETAILS |
|  | TYPE 'C' GRANITE PAVEMENT UNIT AREA, SEE DETAILS AND SPECIFICATIONS                                        |  | GRANITE SEAT BLOCKS, SEE DETAILS FOR TYPES/SIZES               |  |                                                             |



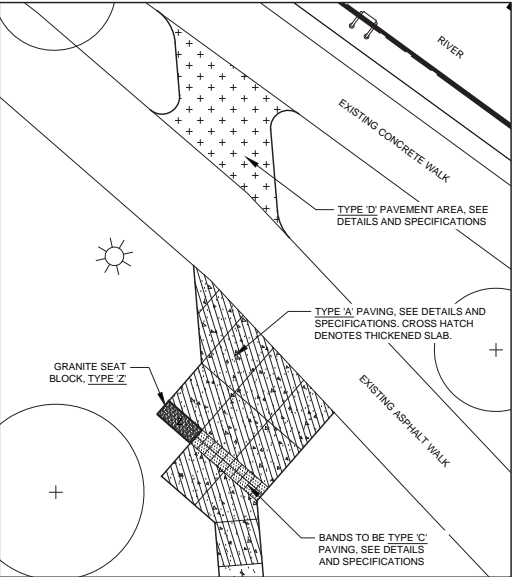
SOUTH EASEMENT PAVING PLAN 1 SCALE: 1" = 10'



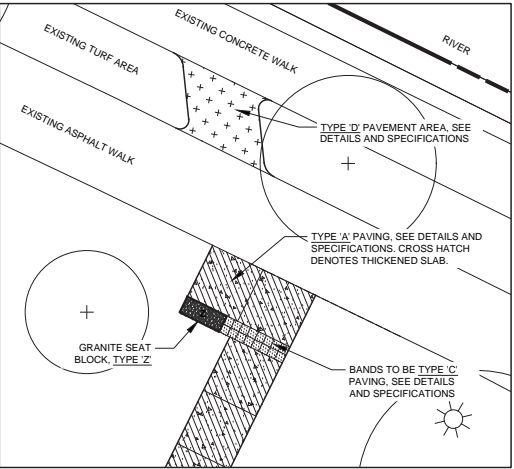
NORTH EASEMENT PAVING PLAN 1 SCALE: 1" = 10'



SOUTH EASEMENT PAVING PLAN 2 SCALE: 1" = 10'



SOUTH EASEMENT PAVING PLAN 3 SCALE: 1" = 10'



NORTH EASEMENT PAVING PLAN 2 SCALE: 1" = 10'

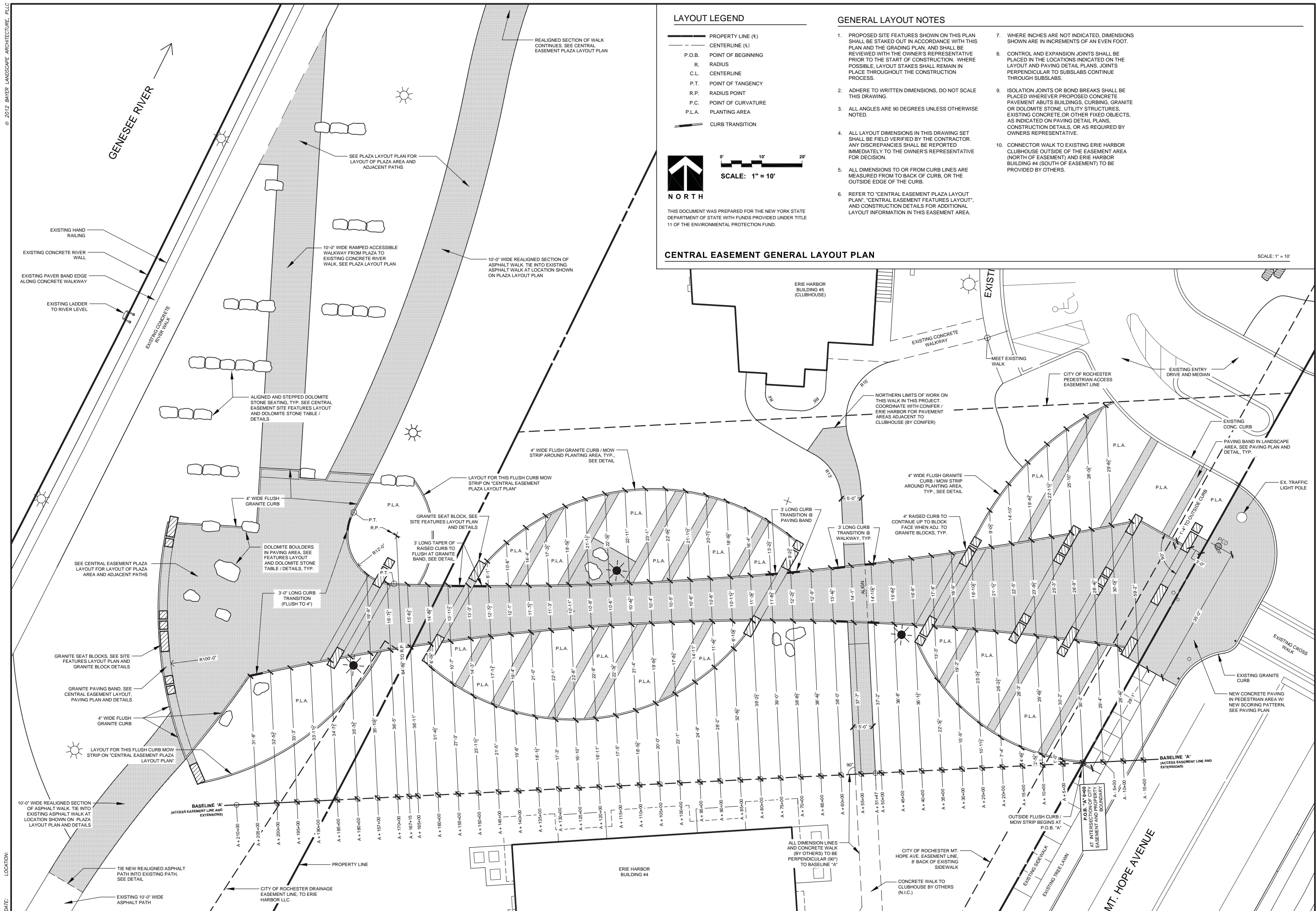
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bayerla.com

**CITY OF ROCHESTER**  
Project ID #9330  
Department of Environmental Services  
Architecture and Engineering  
Project Manager: Adam Beck

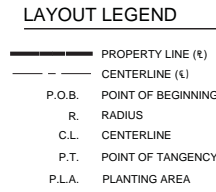
**STATE OF NEW YORK**  
LANDSCAPE ARCHITECT  
JAMES R. BAYER  
No. 03-12-2012  
CITY ID #9330

PROJECT: ERIE HARBOR PUBLIC ENHANCEMENTS (#C006966)  
DRAWING TITLE: SOUTH & NORTH EASEMENT LAYOUT & PAVING PLANS (W/ ALTERNATE 11)  
04 OF 21



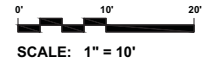


SCALE: 1" = 10'

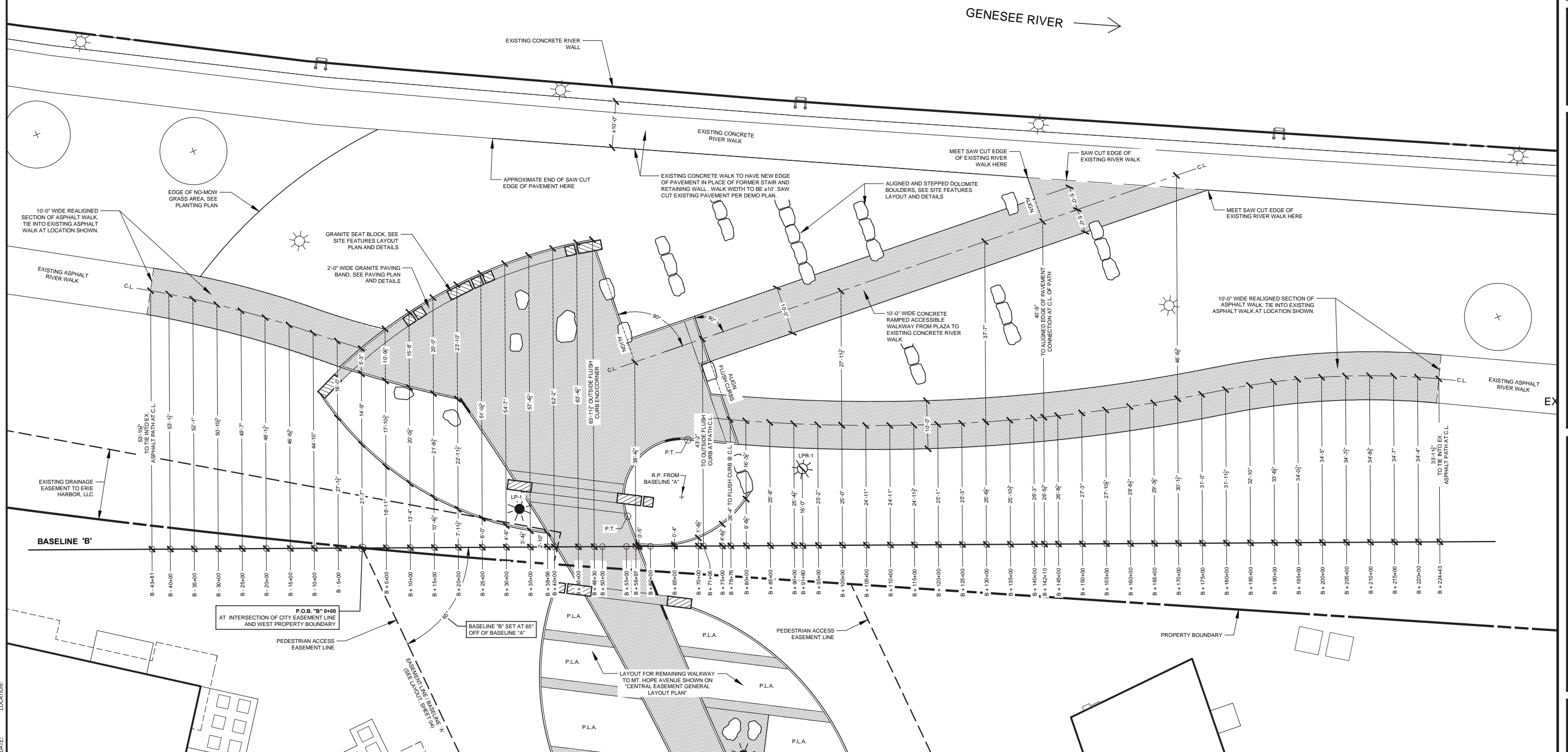


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2. ADHERE TO WRITTEN DIMENSIONS, DO NOT SCALE THIS DRAWING.
3. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.

- |    |                                                                                                                                                                                  |    |                                                                                                                                                                                                                                             |
|----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 4. | ALL LAYOUT DIMENSIONS IN THIS DRAWING SET SHALL BE FIELD VERIFIED BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DECISION. | 8. | CONTROL AND EXPANSION JOINTS SHALL BE PLACED IN THE LOCATIONS INDICATED ON THE LAYOUT AND PAVING DETAIL PLANS. JOINTS PERPENDICULAR TO SUBSLABS CONTINUE THROUGH SUBSLABS.                                                                  |
| 5. | ALL DIMENSIONS TO OR FROM CURB LINES ARE MEASURED FROM THE EXPOSED FACE OF CURB, UNLESS OTHERWISE NOTED.                                                                         | 9. | ISOLATION JOINTS OR BOND BREAKS SHALL BE PLACED WHEREVER PROPOSED CONCRETE PAVEMENT ABUTS BUILDINGS, CURBING, GRANITE OR DOLOMITE STONE, UTILITY STRUCTURES, EXISTING CONCRETE OR OTHER FIELD OBJECTS, AS INDICATED ON PAVING DETAIL PLANS. |
| 6. | REFER TO CONSTRUCTION DETAILS FOR ADDITIONAL LAYOUT INFORMATION.                                                                                                                 |    | CONSTRUCTION DETAILS, OR AS REQUIRED BY OWNERS REPRESENTATIVE.                                                                                                                                                                              |
| 7. | WHERE INCHES ARE NOT INDICATED, DIMENSIONS SHOWN ARE IN INCREMENTS OF AN EVEN FOOT.                                                                                              |    |                                                                                                                                                                                                                                             |



THIS DOCUMENT WAS PREPARED FOR THE NEW YORK STATE  
DEPARTMENT OF STATE WITH FUNDS PROVIDED UNDER TITLE  
11 OF THE ENVIRONMENTAL PROTECTION FUND.



DATE:	03-12-2012		
DESIGNED BY:	BAYERLA		
DRAWN BY:	ZDS		
CHECKED BY:	MHB		
PROJECT No.:	CITY I.D. #9330	No.	
		REVISIONS	BY DATE

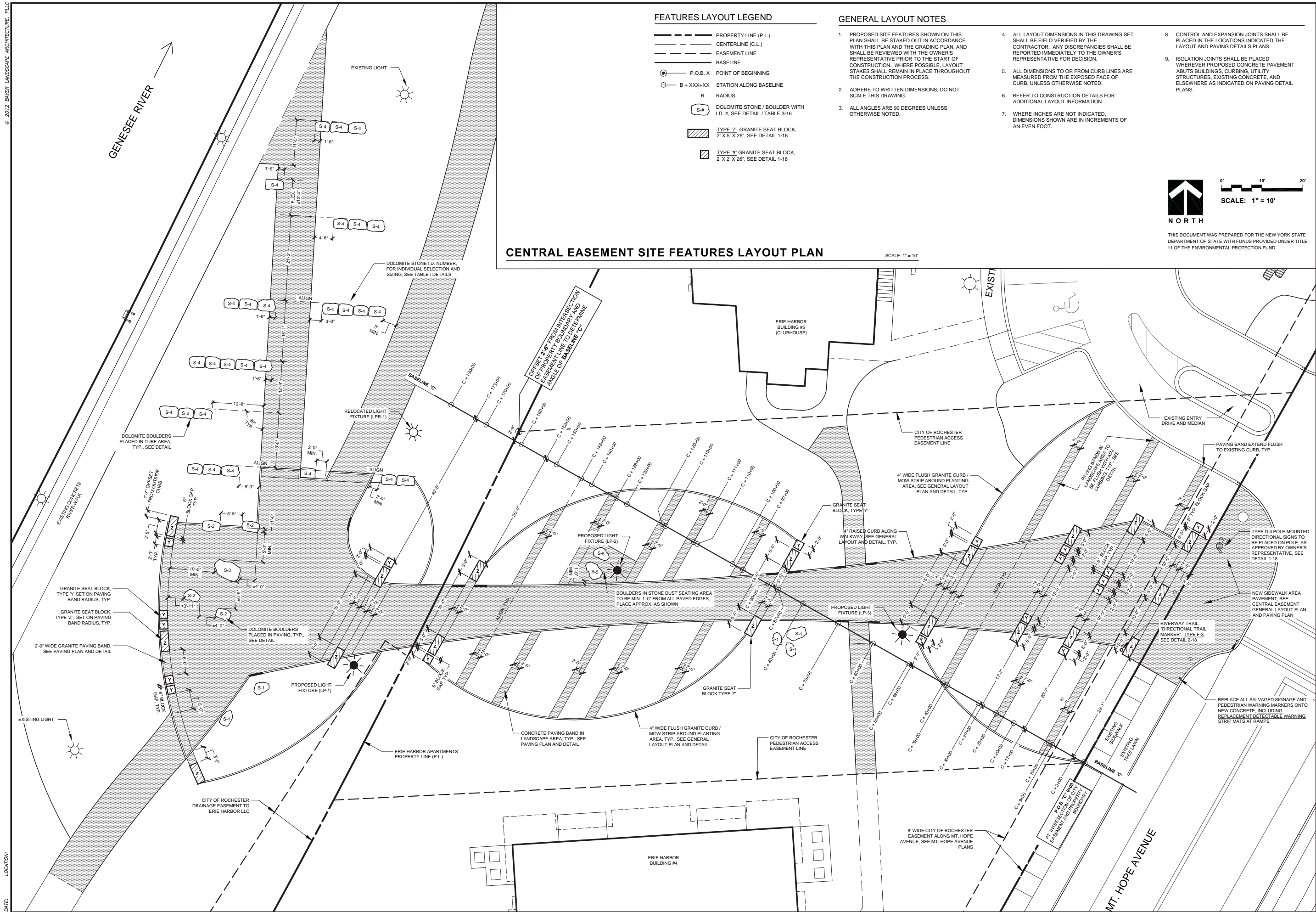
ERIC HARBOUR PUBLIC  
ENHANCEMENTS (#C006966)

**CENTRAL EASEMENT  
PLAZA LAYOUT PLAN**

REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_

DRAWING  
TITLE:





FEATURES LAYOUT LEGEND

- PROPERTY LINE (P.L.)
- CENTERLINE (C.L.)
- EASEMENT LINE
- BASELINE
- P.O.B. X POINT OF BEGINNING
- B + XXX+XX STATION ALONG BASELINE
- R. RADIUS
- S-# DOLOMITE STONE / BOULDER WITH I.D. #, SEE DETAIL / TABLE 3-16
- TYPE 'Z' GRANITE SEAT BLOCK, 2' X 5' X 26", SEE DETAIL 1-16
- TYPE 'Y' GRANITE SEAT BLOCK, 2' X 2' X 26", SEE DETAIL 1-16

GENERAL LAYOUT NOTES

- PROPOSED SITE FEATURES SHOWN ON THIS PLAN SHALL BE STAKED OUT IN ACCORDANCE WITH THIS PLAN AND THE GRADING PLAN, AND SHALL BE REVIEWED WITH THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION. WHERE POSSIBLE, LAYOUT STAKES SHALL REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION PROCESS.
- ADHERE TO WRITTEN DIMENSIONS, DO NOT SCALE THIS DRAWING.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL LAYOUT DIMENSIONS IN THIS DRAWING SET SHALL BE FIELD VERIFIED BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DECISION.
- ALL DIMENSIONS TO OR FROM CURB LINES ARE MEASURED FROM THE EXPOSED FACE OF CURB, UNLESS OTHERWISE NOTED.
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- WHERE INCHES ARE NOT INDICATED, DIMENSIONS SHOWN ARE IN INCREMENTS OF AN EVEN FOOT.
- CONTROL AND EXPANSION JOINTS SHALL BE PLACED IN THE LOCATIONS INDICATED THE LAYOUT AND PAVING DETAILS PLANS.
- ISOLATION JOINTS SHALL BE PLACED WHEREVER PROPOSED CONCRETE PAVEMENT ABUTS BUILDINGS, CURBING, UTILITY STRUCTURES, EXISTING CONCRETE, AND ELSEWHERE AS INDICATED ON PAVING DETAIL PLANS.



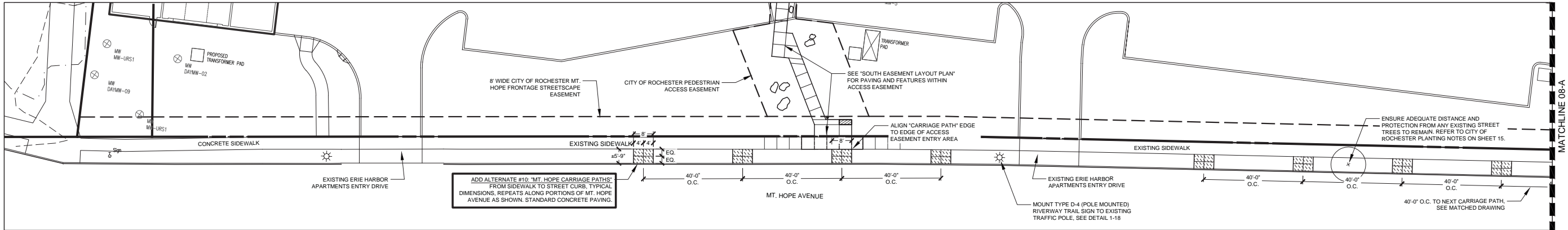
0' 10' 20'  
SCALE: 1" = 10'

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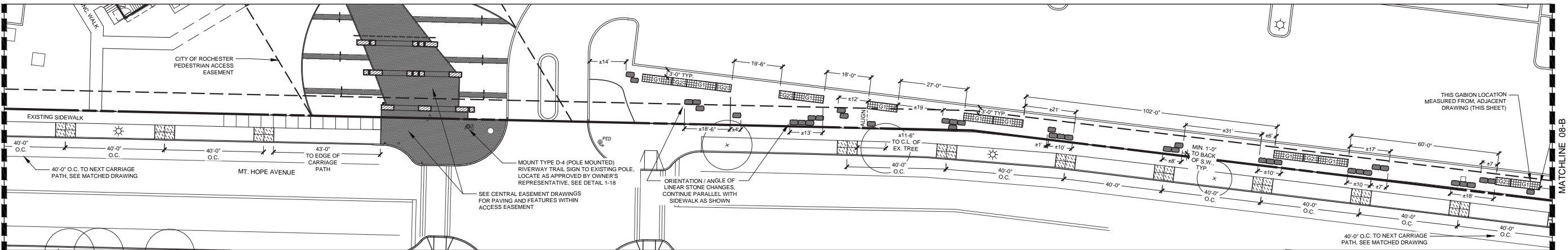
SCALE:	CHECKED BY:	DRAWN BY:	DESIGNED BY:	DATE:	PROJECT No.:	CITY ID #9330	No.	REVISIONS	BY	DATE
1"=10'	MHB	ZDS	BAYERLA	03-12-2012						

PROJECT:	DRAWING TITLE:
ERIE HARBOR PUBLIC ENHANCEMENTS (#C006966)	CENTRAL EASEMENT SITE FEATURES LAYOUT



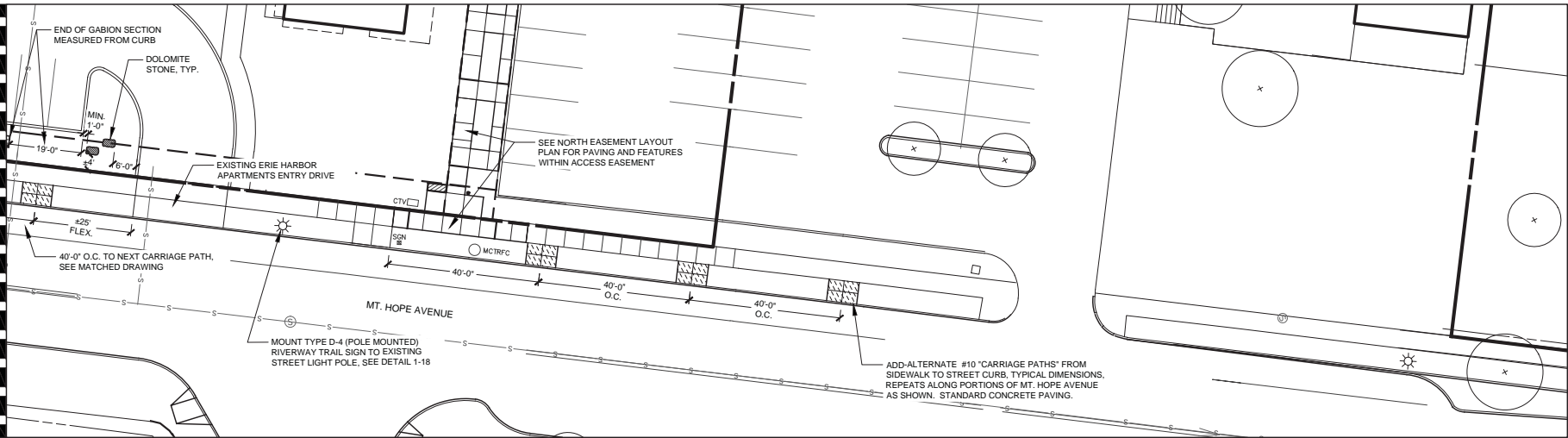
MT. HOPE AVENUE EASEMENT LAYOUT PLAN - A

SCALE: 1" = 20'



MT. HOPE AVENUE EASEMENT LAYOUT PLAN - B

SCALE: 1" = 20'



MT. HOPE AVENUE EASEMENT LAYOUT PLAN - C

SCALE: 1" = 20'

ADD ALTERNATE #10: **NOT IN CONTRACT**  
**'MT. HOPE CARRIAGE PATHS'**

PROVIDE ADDITIONAL PAVEMENT AREAS BETWEEN THE STREET CURB AND THE SIDEWALK AS SHOWN ON THIS LAYOUT / PAVING PLAN. THIS ALTERNATE ELIMINATES TURF GRASS INSTALLATION AND ESTABLISHMENT WITHIN THE 'CARRIAGE PATH' PAVING AREAS FROM THE BASE BID.

#### MT. HOPE AVENUE LAYOUT & PAVING NOTES

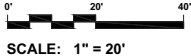
- FEATURES ON THE MT. HOPE AVENUE LAYOUT AND PAVING PLAN INCLUDE BASE BID AND ADD-ALTERNATE BID ITEMS.
- THE PROPOSED CONCRETE 'CARRIAGE PATHS' LOCATED IN THE TREE LAWN AREA SHALL BE BID AS AN ADD-ALTERNATE, (ADD-ALT #10)
- PROPOSED SITE FEATURES SHOWN ON THIS PLAN SHALL BE STAKED OUT IN ACCORDANCE WITH THIS PLAN AND THE GRADING PLAN, AND SHALL BE REVIEWED WITH THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION. WHERE POSSIBLE, LAYOUT STAKES SHALL REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION PROCESS.
- ADHERE TO WRITTEN DIMENSIONS, DO NOT SCALE THIS DRAWING.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
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- WHERE INCHES ARE NOT INDICATED, DIMENSIONS SHOWN ARE IN INCREMENTS OF AN EVEN FOOT.
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- ISOLATION JOINTS OR BOND BREAKS SHALL BE PLACED WHEREVER PROPOSED CONCRETE PAVEMENT ABUTS STONE BLOCKS, BUILDINGS, CURBING, UTILITY STRUCTURES, EXISTING CONCRETE, OR OTHER FIXED OBJECTS AS INDICATED ON PAVING DETAIL PLANS, OR AS REQUIRED BY OWNERS REPRESENTATIVE.

#### MT. HOPE AVENUE FEATURES LEGEND

- LINEAR ARRANGED DOLOMITE STONES, ± 3' X 2' EACH, SEE DOLOMITE STONE TABLE
- 6'-0" GABION WALL SEGMENT 3' X 3' CELL SIZE, SEE DETAILS AND SPECIFICATIONS
- 12'-0" GABION WALL SEGMENT 3' X 3' CELL SIZE, SEE DETAILS AND SPECIFICATIONS

#### MT. HOPE AVENUE PAVING LEGEND

- 'CARRIAGE PATHS' ADD ALTERNATE TYPE 'A' PAVING AREA



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1"=20'	MHB	ZDS	BAYERLA	03/12/2012	No.				



DATE: LOCATION: © 2012 BAYER LANDSCAPE ARCHITECTURE, PLLC



0' 10' 20'  
SCALE: 1" = 10'

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NEW YORK STATE DEPARTMENT OF STATE  
WITH FUNDS PROVIDED UNDER TITLE 11 OF  
THE ENVIRONMENTAL PROTECTION FUND.

GENESEE RIVER

PROVIDE ISOLATION  
JOINT, SEE DETAILS

PATH CONTINUES, SEE PLAZA LAYOUT  
PLAN, PROVIDE LAP JOINT WHERE  
PATH MEETS EXISTING ASPHALT, SEE  
DETAIL

RAMP / WALKWAY TO EXISTING  
RIVERWALK TO BE TYPE 'A'  
PAVEMENT AREA

REALIGNED WALKWAY, TYPE 'D'  
PAVEMENT, SEE DETAILS AND  
SPECIFICATIONS

OUTSIDE ENDS OF PAVING BANDS WITHIN  
PLANTING AREAS TO BE FLUSH WITH GRANITE CURB  
/ MOW-STRIP, SEE DETAILS AND GRADING PLAN, TYP.

DOLOMITE BOULDERS, SEE  
SITE FEATURES LAYOUT AND  
DOLOMITE STONE TABLE /  
DETAILS, TYP.

PAVING BANDS TO  
BE TYPE 'C' PAVING,  
SEE DETAILS

PAVING BANDS ADJACENT TO 9'  
SLAB AREA TO BE SET ON  
SUB-SLAB, SEE DETAIL

INSIDE ENDS OF PAVING BANDS WITHIN  
PLANTING AREAS TO BE FLUSH WITH ADJ. 4"  
RAISED GRANITE CURB, SEE DETAILS, TYP.

TRANSITION BANDS  
WITHIN WALKWAY TO  
BE TYPE 'E' PAVING

CENTER CONTROL JOINT  
OFFSET FROM BLOCK TO  
DETERMINE ALIGNMENT

CENTER CONTROL JOINT

PAVING BANDS TO  
BE TYPE 'C' PAVING,  
SEE DETAILS

THESE PAVING BANDS  
ADJACENT TO 6' SLAB AREA  
TO BE DRY SET ON CRUSHED  
STONE, SEE DETAIL

PLAZA AREA TO BE  
TYPE 'B' PAVING

SUB-SLAB LIMITS

PAVING BANDS ADJACENT TO 9'  
SLAB AREA TO BE SET ON  
SUB-SLAB, SEE DETAIL

PLAZA AREA TO BE  
TYPE 'B' PAVING  
(SEE THICKENED  
SLAB DETAIL)

CONSTR. JOINT  
(ALONG SUB-SLAB)

REALIGNED WALKWAY, TYPE 'D'  
PAVING, SEE DETAILS

PROVIDE LAP JOINT WHERE  
PATH MEETS EXISTING  
ASPHALT, SEE DETAIL

EXISTING ASPHALT  
WALKWAY

### PAVING LEGEND



TYPE 'A' PAVING AREA: STANDARD  
CONCRETE, SEE DETAILS AND  
SPECIFICATIONS



TYPE 'B' PAVING AREA: TINTED / COLORED  
EXPOSED AGGREGATE CONCRETE, SEE  
DETAILS SPECIFICATIONS, NOTE: SLAB  
THICKNESS VARIES, SEE DETAILS.



TYPE 'C' PAVING AREA: 12X12 GRANITE  
PAVER BANDS, SEE DETAILS AND  
SPECIFICATIONS



TYPE 'D' PAVING AREA:  
ASPHALT PAVING  
SEE DETAILS AND  
SPECIFICATIONS



TYPE 'E' PAVEMENT AREA: TINTED /  
COLORED CONCRETE (TRANSITION BANDS).  
SEE DETAILS AND SPECIFICATIONS



TYPE 'F' PAVING AREA: STONE DUST,  
SEE DETAILS



GRANITE SEAT BLOCKS, SEE  
DETAILS, FOR TYPES AND SIZES



DOLOMITE STONE BOULDERS, SEE  
DETAILS AND DOLOMITE STONE TABLE  
FOR TYPES/SIZES



HATCH REPRESENTS  
THICKENED SLAB AREA,  
SEE PAVING DETAILS

C.J.  
CR.J. / CONSTR.  
JOINT

CONTROL JOINT  
CONSTRUCTION JOINT

E.J.  
I.J.

EXPANSION JOINT  
ISOLATION JOINT

### PAVING NOTES

1. PROVIDE ISOLATION JOINTS IN ALL LOCATIONS WHERE CONCRETE  
SLAB OR SUB-SLAB ABUTS STONE CURBING, STONE BOULDERS,  
GRANITE BLOCKS, AND EXISTING CONCRETE PAVEMENTS.
2. IN SUBSLABS WHERE ADJACENT FULL DEPTH SLABS HAVE  
CONTROL JOINTS THAT ARE NOT RUNNING PARALLEL OR  
PERPENDICULAR TO THE SUBSLAB BAND, PROVIDE CONTROL  
JOINTS PERPENDICULAR TO THE LONG AXIS OF THE SUBSLAB AT  
3'-0" O.C.

### CENTRAL EASEMENT PAVING AND MATERIALS PLAN

SCALE: 1" = 10'

BUILDING #5  
(CLUBHOUSE)  
ERIE HARBOR  
BUILDING #5  
(CLUBHOUSE)

EXIST

EXISTING WALK

NORTHERN LIMITS OF WORK  
ON THIS CONCRETE WALK IN  
THIS PROJECT

CONCRETE WALK TO ERIE HARBOR APARTMENTS  
CLUBHOUSE TO BE TYPE 'A' PAVING, COORDINATE  
WITH ERIE HARBOR/CONIFER LLC FOR PAVEMENT  
AREAS ADJACENT TO CLUBHOUSE (BY CONIFER)

OUTSIDE ENDS OF OF THESE PLANTING  
AREA PAVING BANDS TO BE FLUSH  
WITH ADJ. CONC. CURB

CROSSWALK RAMP,  
SEE DETAIL

BANDS IN PLANTING AREAS  
TO BE TYPE 'B' PAVING

GRANITE SEAT BLOCK,  
SEE FEATURES  
LAYOUT PLAN

TYPE 'B' PAVEMENT AREA, SEE  
DETAILS AND SPECIFICATIONS

CENTER CONTROL JOINT  
OFFSET FROM BLOCK TO  
DETERMINE ALIGNMENT

C

B

CROSSWALK RAMP,  
SEE DETAIL

CROSSWALK RAMP,  
SEE DETAIL

EXISTING GRANITE CURB

SIDEWALK REPLACEMENT AREA /  
INTERSECTION TO BE TYPE 'A'  
PAVEMENT

4" WIDE RAISED (4" HIGH)  
CURB ALONG WALK, TYP.

7 EQUAL SLABS, INCLUDING RAMP

CONCRETE WALK TO ERIE HARBOR  
APARTMENTS, ON-EASEMENT  
SEGMENT, TO BE TYPE 'A' PAVING,  
COORDINATE WITH CONIFER LLC FOR  
ADJACENT PAVEMENT AREAS BY  
OTHERS.

TRANSITION BANDS  
WITHIN WALKWAY TO  
BE TYPE 'E' PAVING

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

CONSTR. JOINT  
ALONG CL OF SUBSLAB

BUILDING #4  
ERIE HARBOR  
BUILDING #4

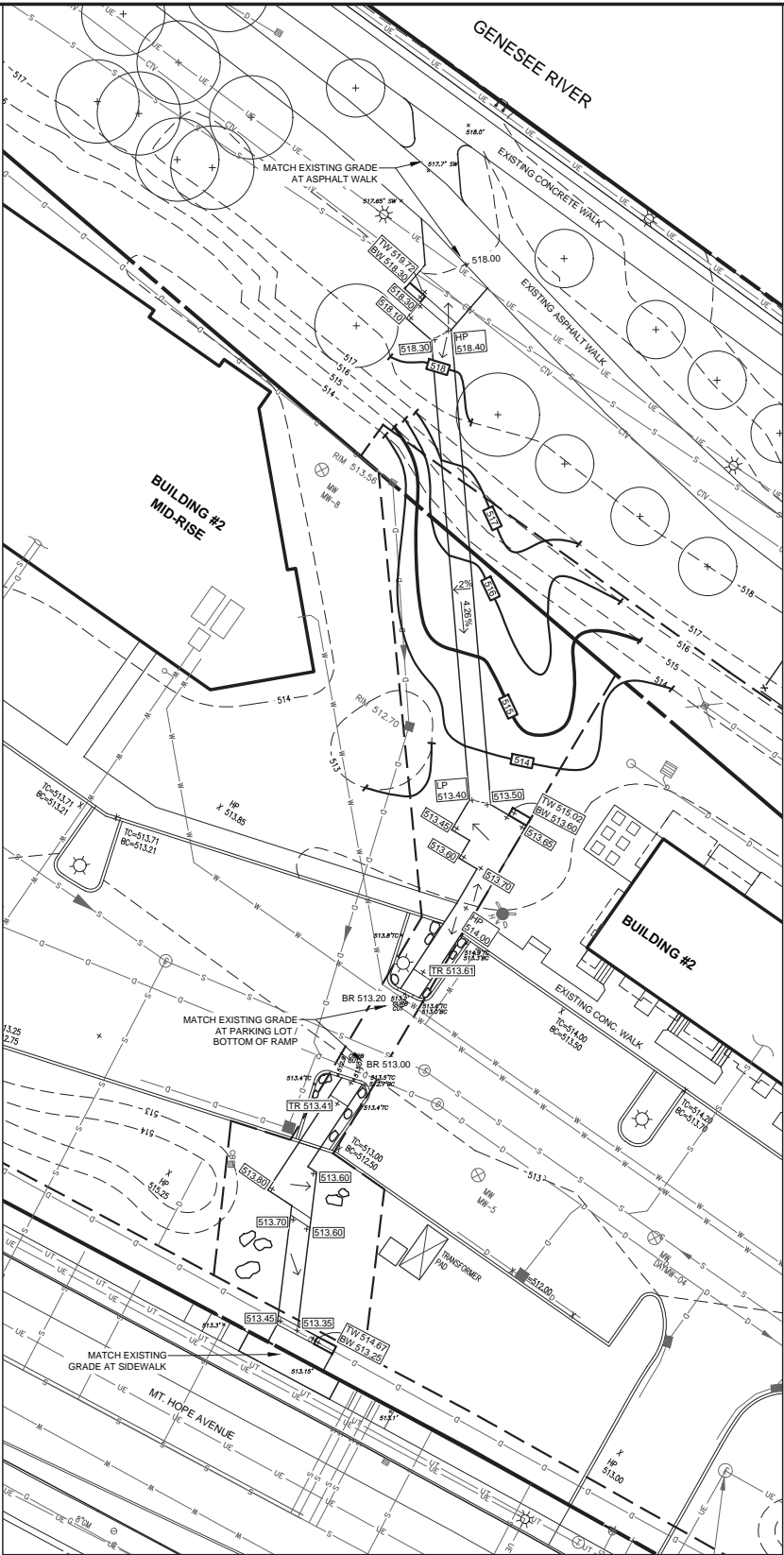
CONCRETE WALK TO ERIE  
HARBOR APARTMENTS  
CLUBHOUSE BY OTHERS (N.I.C.)



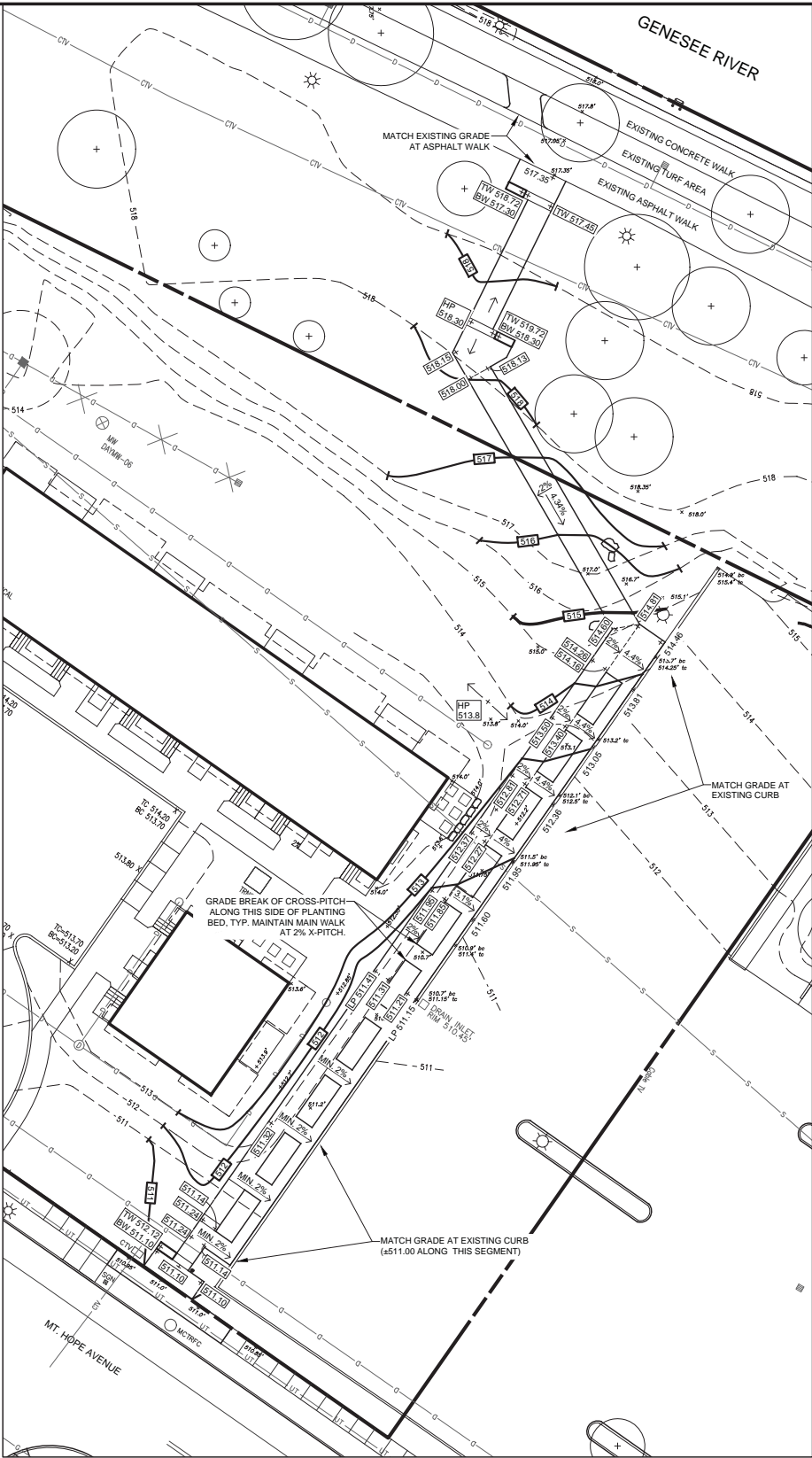
SCALE:	CHECKED BY:	DRAWN BY:	DESIGNED BY:	DATE:	PROJECT NO.:	CITY ID #9330	No.	REVISIONS	BY	DATE
1"=10'	MRB	ZDS	BAYERLA	03-12-2012						

PROJECT:	DRAWING TITLE:
ERIE HARBOR PUBLIC ENHANCEMENTS (#C006966)	<b>CENTRAL EASEMENT PAVING AND MATERIALS PLAN</b>





SOUTH EASEMENT GRADING PLAN SCALE: 1" = 20'



NORTH EASEMENT GRADING PLAN SCALE: 1" = 20'

GRADING AND DRAINAGE NOTES

1. NOTE THAT EXISTING TOPOGRAPHIC CONDITIONS IN THIS DRAWING SET ARE BASED ON A COMBINATION OF FIELD SURVEYS AND "PROPOSED" GRADES FOR THE ERIE HARBOR PRIVATE RESIDENTIAL DEVELOPMENT, WHICH IS CURRENTLY UNDER CONSTRUCTION. THE CONTRACTOR SHOULD FIELD INSPECT ALL GRADES PRIOR TO BID. NOTE WHICH CONDITIONS MAY OR MAY NOT REFLECT GRADES AS SHOWN ON THE PLAN AND REVISE AS NECESSARY IN ORDER TO ACHIEVE FINISHED GRADES AS SHOWN.
2. ALL PROPOSED ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
3. THE CONTRACTOR SHALL ESTABLISH FINISH GRADE STAKES IN ACCORDANCE WITH THIS PLAN (AND IN CONJUNCTION WITH THE LAYOUT PLAN) PRIOR TO THE START OF CONSTRUCTION. FINISH GRADES SHALL BE REVIEWED WITH THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION. MAINTAIN GRADE STAKES, WHERE FEASIBLE, THROUGHOUT THE CONSTRUCTION PROCESS.
4. ANY DISCREPANCIES IN PROPOSED ELEVATIONS NOTED BY THE CONTRACTOR DURING THE CONSTRUCTION PROCESS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DECISION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL CUT AND FILL OPERATIONS AND MATERIALS NECESSARY TO ACHIEVE THE ELEVATIONS SPECIFIED ON THIS PLAN, INCLUDING THE OFF SITE DISPOSAL OF ANY EXCESS MATERIALS IN A LEGAL MANNER.
6. ALL FILL AND BACKFILL MATERIALS MUST BE THOROUGHLY COMPACTED AS THEY ARE PLACED. REFER TO THE TECHNICAL SPECIFICATIONS FOR DETAILED COMPACTION INFORMATION INCLUDING THE MAXIMUM LOOSE DEPTH LAYER THICKNESS ALLOWABLE, AND THE PERCENTAGE OF MAXIMUM DRY DENSITY REQUIREMENTS FOR THE FILLING AND BACKFILLING OPERATIONS.
7. REFER TO THE TECHNICAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS RELEVANT TO DRAINAGE, GRADING AND OTHER EARTHWORK OPERATIONS.
8. ADJUST THE HEIGHT OF ALL UTILITY FRAMES, GRATES, VALVES, HYDRANTS, AND ANY OTHER UTILITY STRUCTURE OR COMPONENTS AS REQUIRED TO ACHIEVE THE PROPER RELATIONSHIP TO THE PROPOSED FINISHED GRADES.
9. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CATCH BASINS, DRAINAGE BASINS, AND OTHER DRAINAGE STRUCTURES.
10. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DISTURBANCE OF, OR DAMAGE TO, EXISTING PLANTS TO REMAIN. PLACE PLANT PROTECTION FENCING AROUND ALL PLANTS ON AREAS OF PLANTING IDENTIFIED IN THE DRAWINGS.
11. THE CONTRACTOR SHALL CLEAN AND FLUSH THE ENTIRE STORM DRAINAGE SYSTEM WITHIN THE PROJECT AREA, PRIOR TO COMPLETION OF WORK.

GRADING LEGEND

- 514 —

514

1.5%

x 514.5

+ 514.5

+ HP 514.5

+ LP 514.5

+ TW 514.5

+ BW 514.0
- EXISTING CONTOUR

PROPOSED CONTOUR

PROPOSED SLOPE AND DIRECTION

EXISTING SPOT ELEVATION

PROPOSED SPOT ELEVATION

HIGH POINT ELEVATION

LOW POINT ELEVATION

TOP / BOTTOM OF WALL
- + TR 514.5

+ BR 514.0

+ TC 514.5

+ BC 514.0

FTE=514.5

IG/RIM=514.5

X TC 514.5

BC 514.0

X 514.0
- TOP / BOTTOM OF RAMP

TOP / BOTTOM OF CURB

EXISTING FINISHED FLOOR ELEVATION

EXISTING DRAIN INLET / CATCH BASIN

EXISTING GRATE ELEVATION

EXISTING SPOT ELEVATION



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PROJECT: ERIE HARBOR PUBLIC ENHANCEMENTS (#C006966)

DRAWING TITLE: SOUTH & NORTH EASEMENT GRADING AND DRAINAGE PLAN

10

OF 21

DATE: 03-12-2012

DESIGNED BY: BAYERLA

DRAWN BY: ZDS

CHECKED BY: MHB

SCALE: 1"=20'

PROJECT No.: CITY ID #9330

REVISIONS

BY

DATE

CITY OF ROCHESTER Project ID#9330

Department of Environmental Services Architecture and Engineering

Project Manager: Adam Beck

Bayer Landscape Architecture, PLLC

19 North Main Street

Hempstead Falls, New York 14472

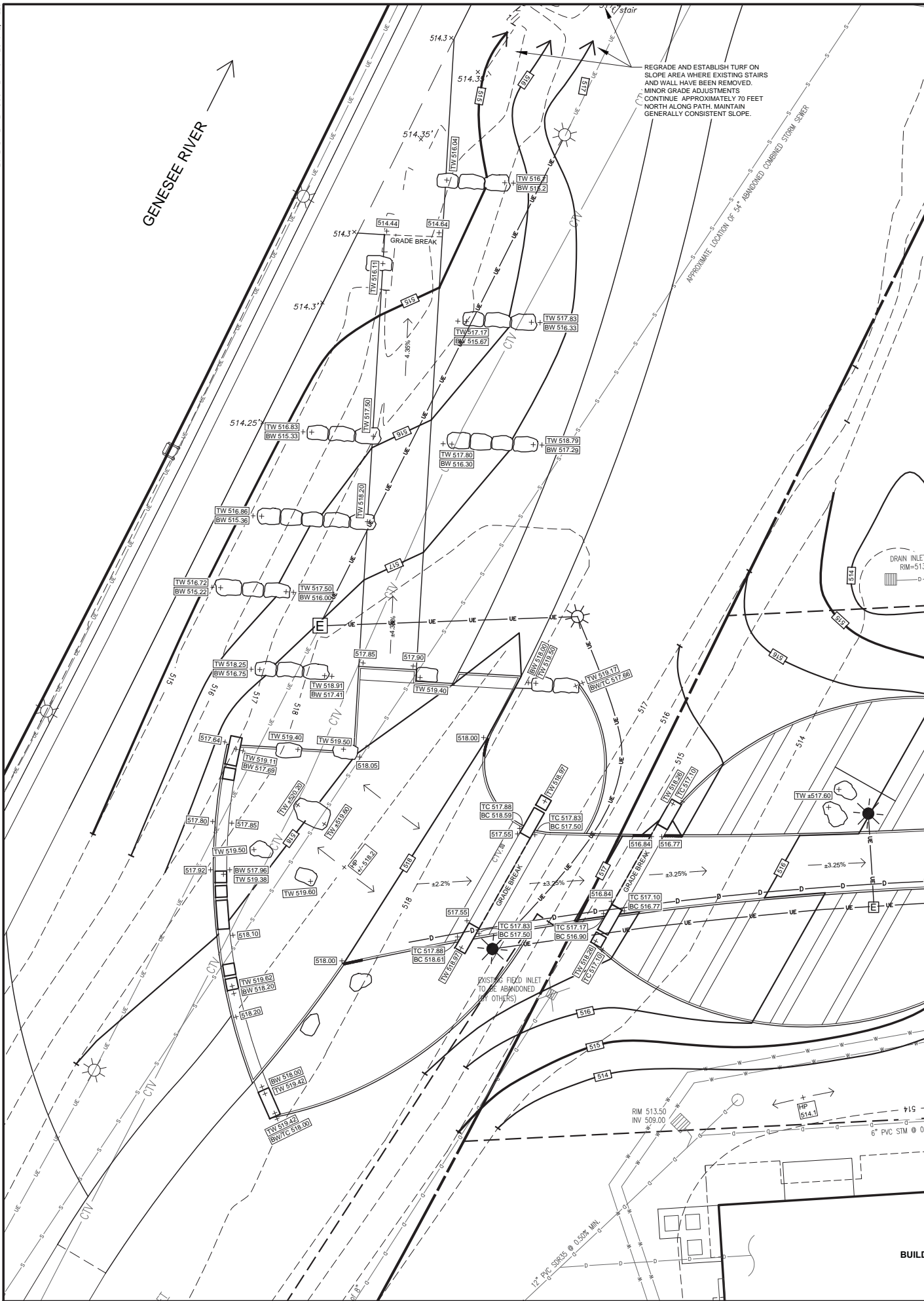
bayerla.com

P: 585-582-2000

F: 585-582-2005

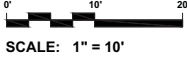


DATE: LOCATION: © 2012 BAYER LANDSCAPE ARCHITECTURE, PLLC



GRADING AND DRAINAGE LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SLOPE AND DIRECTION
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- HIGH POINT ELEVATION
- LOW POINT ELEVATION
- TOP / BOTTOM OF WALL
- PROPOSED DRAIN PIPE
- TOP / BOTTOM OF RAMP
- TOP / BOTTOM OF CURB
- EXISTING FINISHED FLOOR ELEVATION
- EXISTING DRAIN INLET / CATCH BASIN
- EXISTING GRATE ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED DRAIN INLET



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CENTRAL EASEMENT PAVING AND DRAINAGE PLAN

SCALE: 1" = 10'

GRADING AND DRAINAGE NOTES

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- REFER TO THE TECHNICAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS RELEVANT TO DRAINAGE, GRADING AND OTHER EARTHWORK OPERATIONS.
- ADJUST THE HEIGHT OF ALL UTILITY FRAMES, GRATES, VALVES, HYDRANTS, AND ANY OTHER UTILITY STRUCTURE OR COMPONENTS AS REQUIRED TO ACHIEVE THE PROPER RELATIONSHIP TO THE PROPOSED FINISHED GRADES.
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- THE CONTRACTOR SHALL CLEAN AND FLUSH THE ENTIRE STORM DRAINAGE SYSTEM WITHIN THE PROJECT AREA, PRIOR TO COMPLETION OF WORK.

**Bayer Landscape Architecture, PLLC**

19 North Main Street  
Honesdale Falls, New York 14472

P: 585-582-2000  
F: 585-582-2005  
bayerla.com

**CITY OF ROCHESTER**  
Project ID #9330

Department of Environmental Services  
Architecture and Engineering  
Project Manager: Adam Beck



SCALE:	CHECKED BY:	DRAWN BY:	DESIGNED BY:	DATE:	PROJECT No.:	CITY ID #9330	No.	REVISIONS	BY	DATE
1"=10'	MHB	ZDS	BAYERLA	03/12/2012						

PROJECT: ERIE HARBOR PUBLIC ENHANCEMENTS (#C006966)

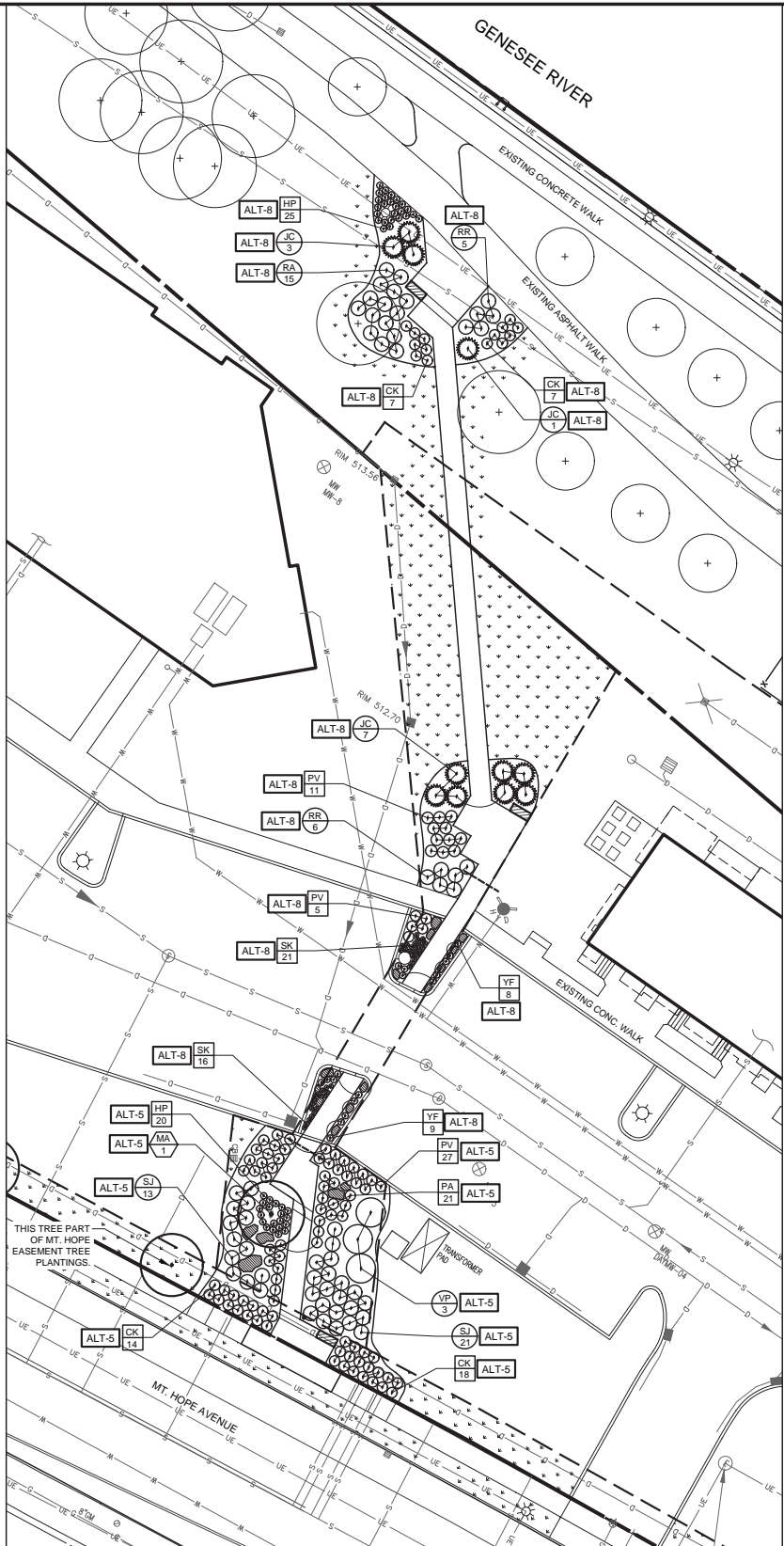
DRAWING TITLE: CENTRAL EASEMENT GRADING AND DRAINAGE PLAN

PROJECT No.:

CITY ID #9330

No.





SOUTH EASEMENT PLANTING PLAN

SCALE: 1" = 20'

PLANTING LEGEND

- TREE PLANTING, I.D. & QUANTITY, SEE SCHEDULE
- SHRUB PLANTING, I.D. & QUANTITY, SEE SCHEDULE
- PERENNIAL OR ORNAMENTAL GRASS PLANTING, I.D. & QUANTITY, SEE SCHEDULE
- TOPSOIL AND SEED TURF AREAS, SEE NOTE

ADD ALTERNATE #4: "PLANTING - NORTH EASEMENT ALONG PARKING LOT AND MT. HOPE"

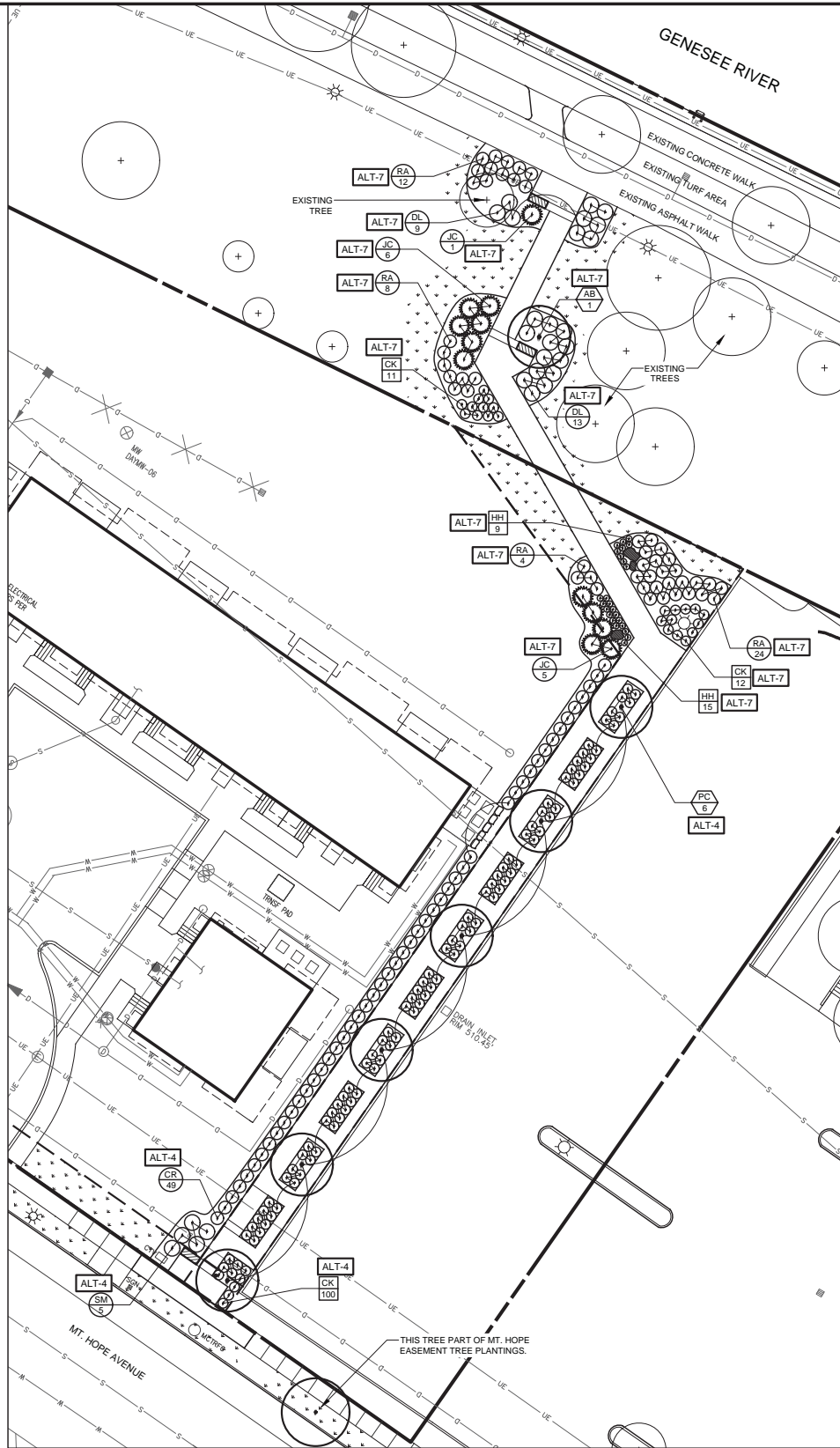
PROVIDE AND INSTALL PLANTINGS MARKED AS "ALT-4" WITHIN THE NORTH EASEMENT AREA, AS SHOWN ON THIS PLAN. THIS ALTERNATE ELIMINATES TURF GRASS INSTALLATION AND ESTABLISHMENT FROM THESE PLANTING AREAS FROM THE BASE BID.

ADD ALTERNATE #5: "PLANTING - SOUTH EASEMENT AT MT. HOPE"

PROVIDE AND INSTALL PLANTINGS MARKED AS "ALT-5" WITHIN THE SOUTH EASEMENT AREA, AS SHOWN ON THIS PLAN. THIS ALTERNATE ELIMINATES TURF GRASS INSTALLATION AND ESTABLISHMENT FROM THESE PLANTING AREAS FROM THE BASE BID.

NORTH EASEMENT PLANTING PLAN

SCALE: 1" = 20'



ADD ALTERNATE #4: "PLANTING - NORTH EASEMENT ALONG PARKING LOT AND MT. HOPE"

I.D.	QTY.	SCIENTIFIC NAME	COMMON NAME	ROOT	SIZE	NOTES
TREES						
PC	6	Pyrus calleryana 'Cleveland Select'	Cleveland Select Callery Pear	BB	2"	MATCHED SPECIMENS, BRANCHED AT 5' TO 6'
SHRUBS						
CR	48	Cornus racemosa 'Muszam'	Muskingum Gray Dogwood	CG #2	18"	HEAVY
SM	5	Syringa meyeri 'Pallisi'	Meyer Lilac	CG #3	24"	HEAVY
PERENNIALS, GROUND COVERS & GRASSES						
CK	100	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	CG	No. 1	POT FULL, HEAVY

ADD ALTERNATE #5: "PLANTING - SOUTH EASEMENT AT MT. HOPE"

I.D.	QTY.	SCIENTIFIC NAME	COMMON NAME	ROOT	SIZE	NOTES
TREES						
MA	1	Maackia amurensis	Amur Maackia	BB	2"	SPECIMEN
SHRUBS						
SJ	34	Spiraea japonica 'Neon Flash'	Neon Flash Spiraea	CG #2	18"	HEAVY
VP	3	Viburnum pragnense	Prague viburnum	BB	36"	HEAVY
PERENNIALS, GROUND COVERS & GRASSES						
CK	32	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	CG	No. 1	POT FULL, HEAVY
HP	20	Hemerocallis 'Prairie Blue Eyes'	Prairie Blue Eyes Daylily	CG	No. 1	POT FULL, HEAVY
PV	27	Panicum virgatum 'Shenandoah'	Shenandoah Red Switch Grass	CG	No. 1	POT FULL, HEAVY
PA	21	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	CG	No. 1	POT FULL, HEAVY

ADD ALTERNATE #7: "PLANTING - NORTH EASEMENT RIVERWALK INTERSECTION AND MIDPOINTS"

I.D.	QTY.	SCIENTIFIC NAME	COMMON NAME	ROOT	SIZE	NOTES
TREES						
AB	1	Acer buergerianum	Trident Maple	BB	2"	SPECIMEN
SHRUBS						
DL	22	Diervilla lonicera 'Butterflies'	Butterflies Northern Bush Honeysuckle	CG #3	18"	HEAVY
JC	12	Juniperus chinensis 'Kallays Compact'	Kallay's Compact Pfitzer Chinese Juniper	BB	24"	HEAVY
RA	48	Rhus aromatica 'Gro-low'	Fragrant Sumac	CG #2	18"	HEAVY
PERENNIALS, GROUND COVERS & GRASSES						
CK	23	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	CG	No. 1	POT FULL, HEAVY
HH	24	Hemerocallis 'Hyperion'	Hyperion Daylily	CG	No. 1	POT FULL, HEAVY

ADD ALTERNATE #8: "PLANTING - SOUTH EASEMENT RIVERWALK INTERSECTION AND MIDPOINTS"

I.D.	QTY.	SCIENTIFIC NAME	COMMON NAME	ROOT	SIZE	NOTES
SHRUBS						
JC	11	Juniperus chinensis 'Kallays Compact'	Kallay's Compact Pfitzer Chinese Juniper	BB	24"	HEAVY
RA	15	Rhus aromatica 'Gro-low'	Fragrant Sumac	CG #2	18"	HEAVY
RR	11	Rosa rugosa 'Frau Dagmar Hastrup'	Frau Dagmar Hastrup Rugosa Rose	CG #3	18"	HEAVY
PERENNIALS, GROUND COVERS & GRASSES						
CK	14	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	CG	No. 1	POT FULL, HEAVY
HP	25	Hemerocallis 'Prairie Blue Eyes'	Prairie Blue Eyes Daylily	CG	No. 1	POT FULL, HEAVY
PV	16	Panicum virgatum 'Shenandoah'	Shenandoah Red Switch Grass	CG	No. 1	POT FULL, HEAVY
PA	21	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	CG	No. 1	POT FULL, HEAVY
SK	37	Sedum kamchaticum	Kamchaticum Sedum	CG	No. 1	POT FULL, HEAVY
YF	17	Yucca filamentosa 'Hofer's Blue'	Hofer's Blue Yucca	CG	No. 1	POT FULL, HEAVY

PLANTING NOTES

- ALL EXISTING LAWN AREAS DISTURBED BY THIS CONSTRUCTION PROJECT SHALL RECEIVE 4" TOPSOIL MINIMUM AND SHALL BE FINE GRADED AND SEEDED. (SEE SPECIFICATIONS FOR SEED AND TOPSOIL REQUIREMENTS)
- ALL BED CONFIGURATIONS AND PLANT POSITIONS SHALL APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- THE CONTRACTOR SHALL COORDINATE WITH UTILITY AGENCIES TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING PLANTING OPERATIONS.
- ALL PLANTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
- ALL PLANTS MUST MEET OR EXCEED THE STANDARDS OUTLINED IN THE CURRENT EDITION OF ANSI Z260.1, THE AMERICAN STANDARD FOR NURSERY STOCK.
- TOPSOIL AND ORGANIC MATERIAL SOURCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. SEE THE SITE MANAGEMENT PLAN FOR ADDITIONAL APPROVALS THAT MAY BE REQUIRED REGARDING THE IMPORT OF TOPSOIL OR OTHER MATERIALS.
- SOIL MIX SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
- ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- THE LAYOUT OF ALL PLANT MATERIAL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- ALL NEW GRASS AREAS CREATED BY CONSTRUCTION, SHALL RECEIVE 4" OF TOPSOIL MINIMUM AND SHALL BE FINE GRADED AND SEEDED (SEE THE TECHNICAL SPECIFICATIONS FOR SEED AND TOPSOIL REQUIREMENTS).
- ALL PLANTING BEDS SHALL RECEIVE 3" OF DOUBLE GROUND SHREDDED HARDWOOD BARK MULCH.

ADD ALTERNATE #7: "PLANTING - NORTH EASEMENT RIVERWALK INTERSECTION AND MIDPOINTS"

PROVIDE AND INSTALL PLANTINGS MARKED AS "ALT-7" WITHIN THE NORTH EASEMENT AREA AND PARK LANDS, AS SHOWN ON THIS PLAN. THIS ALTERNATE ELIMINATES TURF GRASS INSTALLATION AND ESTABLISHMENT FROM THESE PLANTING AREAS FROM THE BASE BID.

ADD ALTERNATE #8: "PLANTING - SOUTH EASEMENT RIVERWALK INTERSECTION AND MIDPOINTS"

PROVIDE AND INSTALL PLANTINGS MARKED AS "ALT-8" WITHIN THE SOUTH EASEMENT AREA AND PARK LANDS, AS SHOWN ON THIS PLAN. THIS ALTERNATE ELIMINATES TURF GRASS INSTALLATION AND ESTABLISHMENT FROM THESE PLANTING AREAS FROM THE BASE BID.

FOR ALTERNATES ON THIS SHEET, PLANT LABEL INDICATES WHICH ADD ALTERNATE PLANTINGS SHALL BE PART OF FOR ALTERNATE BIDDING PURPOSES



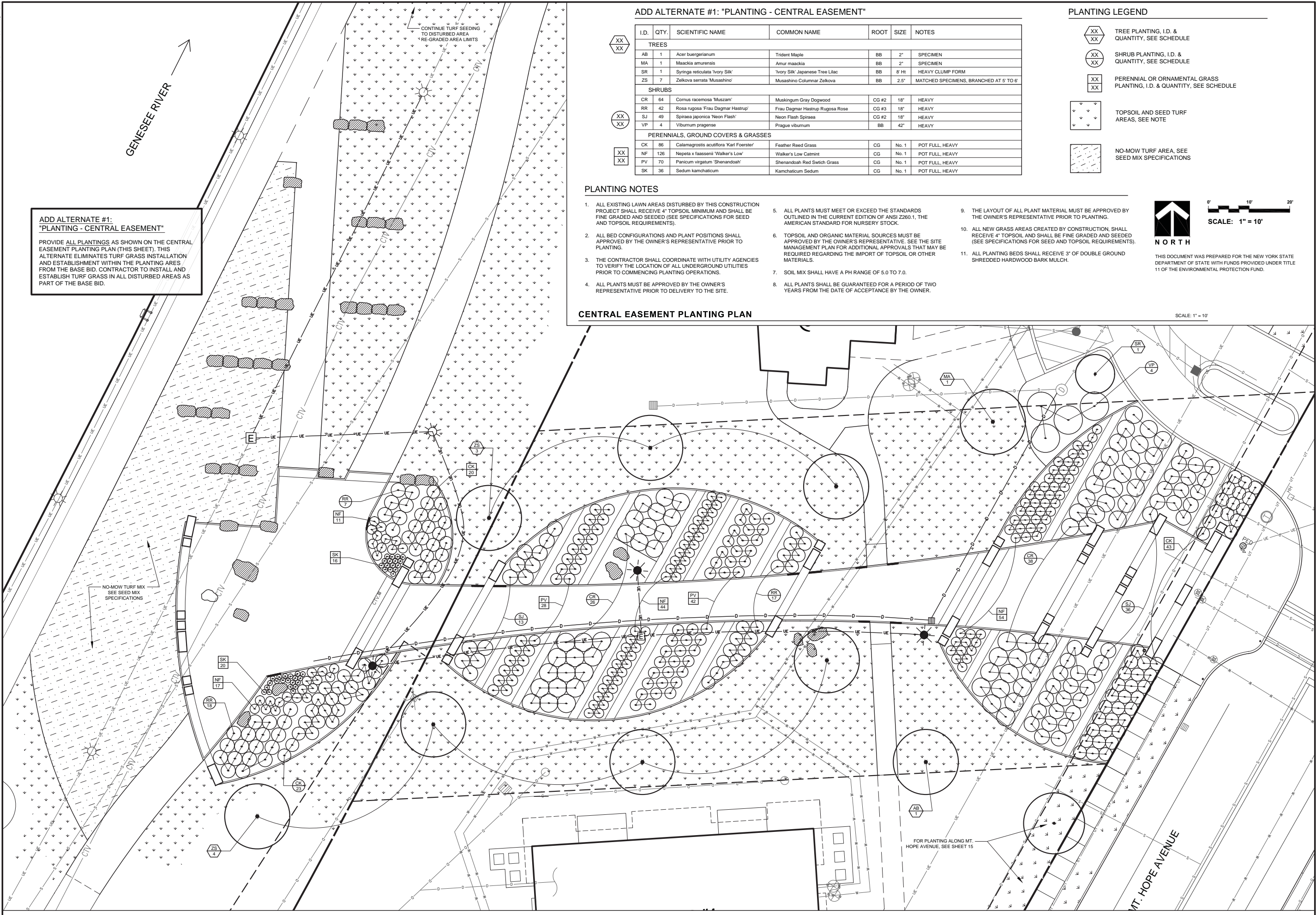
0' 20' 40'  
SCALE: 1" = 20'

THIS DOCUMENT WAS PREPARED FOR THE NEW YORK STATE DEPARTMENT OF STATE WITH FUNDS PROVIDED UNDER TITLE 11 OF THE ENVIRONMENTAL PROTECTION FUND.



SCALE:	1"=20'	CHECKED BY:	MHB	DRAWN BY:	ZDS	DESIGNED BY:	BAYERLA	DATE:	03-12-2012	PROJECT No.:	CITY ID #9330	REVISIONS	BY	DATE





ADD ALTERNATE #1: "PLANTING - CENTRAL EASEMENT"

I.D.	QTY.	SCIENTIFIC NAME	COMMON NAME	ROOT	SIZE	NOTES
TREES						
AB	1	Acer buergerianum	Trident Maple	BB	2"	SPECIMEN
MA	1	Maackia amurensis	Amur maackia	BB	2"	SPECIMEN
SR	1	Syringa reticulata 'Ivory Silk'	'Ivory Silk' Japanese Tree Lilac	BB	8' Ht	HEAVY CLUMP FORM
ZS	7	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	BB	2.5'	MATCHED SPECIMENS, BRANCHED AT 5' TO 6'
SHRUBS						
CR	64	Cornus racemosa 'Muszam'	Muskingum Gray Dogwood	CG #2	18"	HEAVY
RR	42	Rosa rugosa 'Frau Dagmar Hastrup'	Frau Dagmar Hastrup Rugosa Rose	CG #3	18"	HEAVY
SJ	49	Spiraea japonica 'Neon Flash'	Neon Flash Spiraea	CG #2	18"	HEAVY
VP	4	Viburnum pragnense	Prague viburnum	BB	42"	HEAVY
PERENNIALS, GROUND COVERS & GRASSES						
CK	86	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	CG	No. 1	POT FULL, HEAVY
NF	126	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	CG	No. 1	POT FULL, HEAVY
PV	70	Panicum virgatum 'Shenandoah'	Shenandoah Red Switch Grass	CG	No. 1	POT FULL, HEAVY
SK	36	Sedum kamchaticum	Kamchaticum Sedum	CG	No. 1	POT FULL, HEAVY

PLANTING LEGEND

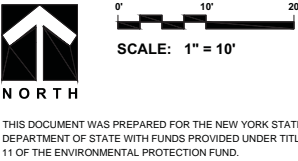
- TREE PLANTING, I.D. & QUANTITY, SEE SCHEDULE
- SHRUB PLANTING, I.D. & QUANTITY, SEE SCHEDULE
- PERENNIAL OR ORNAMENTAL GRASS PLANTING, I.D. & QUANTITY, SEE SCHEDULE
- TOPSOIL AND SEED TURF AREAS, SEE NOTE
- NO-MOW TURF AREA, SEE SEED MIX SPECIFICATIONS

PLANTING NOTES

- ALL EXISTING LAWN AREAS DISTURBED BY THIS CONSTRUCTION PROJECT SHALL RECEIVE 4" TOPSOIL MINIMUM AND SHALL BE FINE GRADED AND SEEDED (SEE SPECIFICATIONS FOR SEED AND TOPSOIL REQUIREMENTS).
- ALL BED CONFIGURATIONS AND PLANT POSITIONS SHALL APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- THE CONTRACTOR SHALL COORDINATE WITH UTILITY AGENCIES TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING PLANTING OPERATIONS.
- ALL PLANTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
- ALL PLANTS MUST MEET OR EXCEED THE STANDARDS OUTLINED IN THE CURRENT EDITION OF ANSI Z260.1, THE AMERICAN STANDARD FOR NURSERY STOCK.
- TOPSOIL AND ORGANIC MATERIAL SOURCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. SEE THE SITE MANAGEMENT PLAN FOR ADDITIONAL APPROVALS THAT MAY BE REQUIRED REGARDING THE IMPORT OF TOPSOIL OR OTHER MATERIALS.
- SOIL MIX SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
- ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- THE LAYOUT OF ALL PLANT MATERIAL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- ALL NEW GRASS AREAS CREATED BY CONSTRUCTION, SHALL RECEIVE 4" TOPSOIL AND SHALL BE FINE GRADED AND SEEDED (SEE SPECIFICATIONS FOR SEED AND TOPSOIL REQUIREMENTS).
- ALL PLANTING BEDS SHALL RECEIVE 3" OF DOUBLE GROUND SHREDDED HARDWOOD BARK MULCH.

CENTRAL EASEMENT PLANTING PLAN

SCALE: 1" = 10'



ERIE HARBOR PUBLIC  
ENHANCEMENTS (#C006966)

CITY OF  
ROCHESTER  
Project ID#9330

Department of Environmental Services  
Architecture and Engineering  
Project Manager: Adam Beck

14

OF 21

PROJECT: ERIE HARBOR PUBLIC ENHANCEMENTS (#C006966)

DRAWING TITLE: CENTRAL EASEMENT PLANTING PLAN - ALTERNATE 1

SCALE: 1"=10'

CHECKED BY: MHB

DRAWN BY: ZDS

DESIGNED BY: BAYERLA

DATE: 03-12-2012

PROJECT No.: CITY ID #9330

No.

REVISIONS

BY

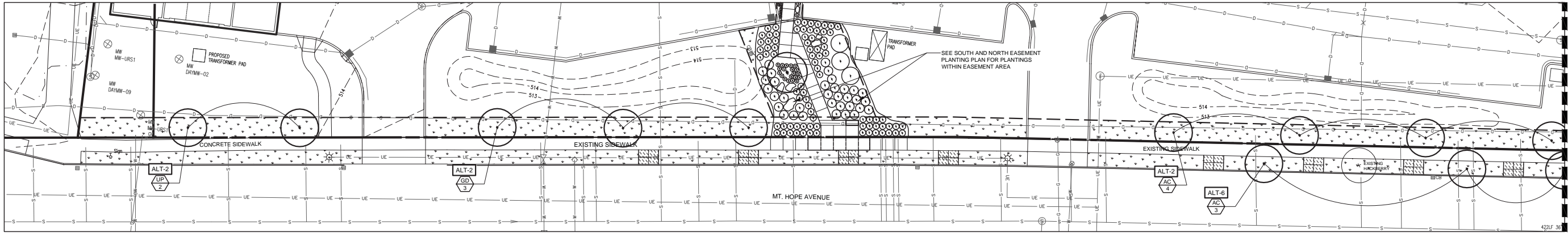
DATE

Bayer Landscape Architecture, PLLC

19 North Main Street  
Honeoye Falls, New York 14472

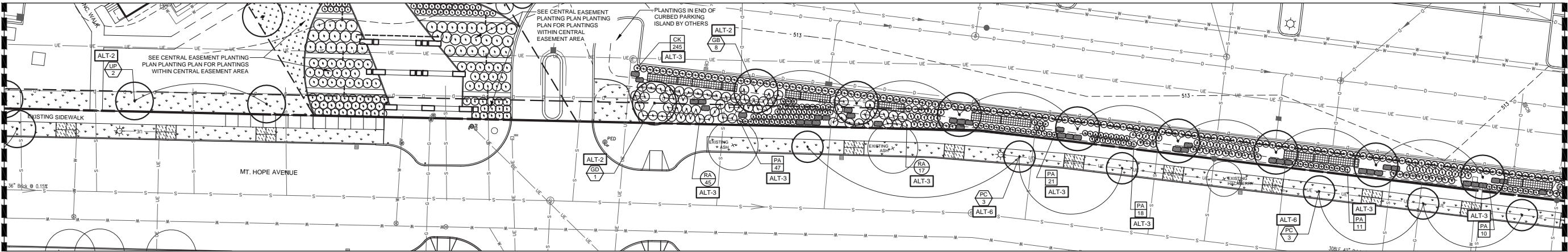
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F: 585-582-2005  
bayerla.com





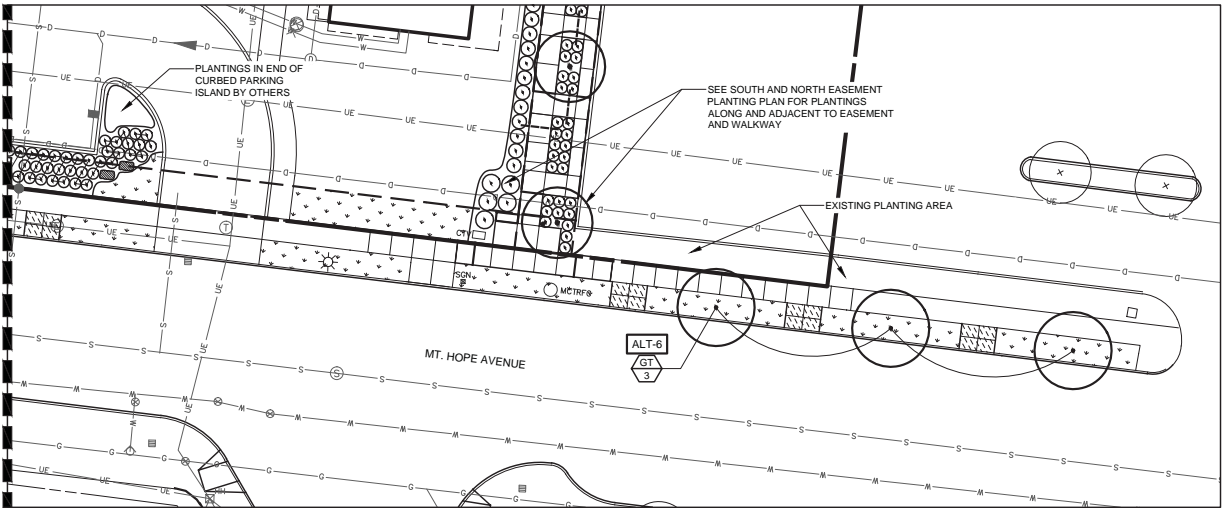
MT. HOPE AVENUE PLANTING PLAN - A

SCALE: 1" = 20'



MT. HOPE AVENUE EASEMENT PLANTING PLAN - B

SCALE: 1" = 20'



MT. HOPE AVENUE EASEMENT PLANTING PLAN - C

SCALE: 1" = 20'

PLANTING LEGEND

- TREE PLANTING, I.D. & QUANTITY, SEE SCHEDULE
- SHRUB PLANTING, I.D. & QUANTITY, SEE SCHEDULE
- PERENNIAL OR ORNAMENTAL GRASS PLANTING, I.D. & QUANTITY, SEE SCHEDULE
- TOPSOIL AND SEED TURF AREAS, SEE NOTE

PLANTING NOTES

- ALL LAWN AREAS DISTURBED BY THIS CONSTRUCTION PROJECT SHALL RECEIVE 4" OF TOPSOIL MINIMUM AND BE FINE GRADED AND SEEDED. (SEE SPECIFICATIONS FOR SEED AND TOPSOIL REQUIREMENTS)
- ALL BED CONFIGURATIONS AND PLANT POSITIONS SHALL APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- THE CONTRACTOR SHALL COORDINATE WITH UTILITY AGENCIES TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING PLANTING OPERATIONS.
- ALL PLANTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
- ALL PLANTS MUST MEET OR EXCEED THE STANDARDS OUTLINED IN THE CURRENT EDITION OF ANSI Z260.1, THE AMERICAN STANDARD FOR NURSERY STOCK.
- TOPSOIL AND ORGANIC MATERIAL SOURCES MUST BE SEEDING WITH TURF AS SHOWN ON THIS PLAN WITH THE 'CARRIAGE PATH' ADD ALTERNATE BID ITEM. IF THIS ADD ALTERNATE IS NOT APPROVED, THEN PAVING SQUARES IN ALTERNATE SHALL BE SEEDING WITH TURF.
- SOIL MIX SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
- ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- THE LAYOUT OF ALL ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- ALL NEW GRASS AREAS CREATED BY CONSTRUCTION, SHALL RECEIVE 4" OF TOPSOIL AND SHALL BE FINE GRADED AND SEEDED (SEE SPECIFICATIONS FOR SEEDING AND TOPSOIL REQUIREMENTS)
- THE TREELAWN AREA ALONG MT. HOPE AVENUE SHALL BE SEEDING WITH TURF AS SHOWN ON THIS PLAN WITH THE 'CARRIAGE PATH' ADD ALTERNATE BID ITEM. IF THIS ADD ALTERNATE IS NOT APPROVED, THEN PAVING SQUARES IN ALTERNATE SHALL BE SEEDING WITH TURF.
- ALL PLANTING BEDS SHALL RECEIVE 3" OF DOUBLE GROUND SHREDDED HARDWOOD BARK MULCH.
- TREES OF THE SAME SPECIES SHALL BE MATCHED SPECIMENS.
- ALL TREES ADJACENT TO SIDEWALKS STREETS OR PARKING AREAS SHALL BE BRANCHED AT 5' TO 6'.

ADD ALTERNATE #2: "PLANTING - MT. HOPE EASEMENT TREES"

PROVIDE AND INSTALL TREES MARKED "ALT-2" LOCATED WITHIN THE MT. HOPE EASEMENT AREA (BACK OF SIDEWALK).

ADD ALTERNATE #3: "PLANTING - MT. HOPE EASEMENT SHRUBS AND PERENNIALS ALONG FRONTAGE"

PROVIDE AND INSTALL PLANTINGS MARKED "ALT-3" AROUND GABION BASKETS/ DOLOMITE STONES ALONG SEGMENT OF MT. HOPE AVENUE FRONTAGE AS SHOWN ON THIS SHEET. THIS ALTERNATE ELIMINATES SPECIALTY "NO-MOW" TURF GRASS INSTALLATION AND ESTABLISHMENT WITHIN THE PLANTING AREAS FROM THE BASE BID. CONTRACTOR TO INSTALL AND ESTABLISH "NO-MOW" SEED MIX WITHIN ALTERNATE #3 PLANTING AREAS AS PART OF THE BASE BID AND PER SUPPLEMENTARY SPECIFICATIONS.

ADD ALTERNATE #6: "PLANTING - MT. HOPE R.O.W. TREES"

PROVIDE AND INSTALL TREES MARKED "ALT-6" LOCATED WITHIN THE MT. HOPE AVENUE RIGHT-OF-WAY (BETWEEN SIDEWALK AND STREET CURB).

FOR ALTERNATES ON THIS SHEET, PLANT LABEL INDICATES WHICH ADD ALTERNATE PLANTINGS SHALL BE PART OF FOR ALTERNATE BIDDING PURPOSES

ADD ALTERNATE #3: "PLANTING - MT. HOPE EASEMENT SHRUBS AND PERENNIALS ALONG FRONTAGE"

I.D.	QTY.	SCIENTIFIC NAME	COMMON NAME	ROOT	SIZE
SHRUBS					
RA	62	Rhus aromatica 'Gro-low'	Gro-Low Fragrant Sumac	CG #3	18"
PERENNIALS, GROUND COVERS & GRASSES					
CK	245	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	CG	No. 1
PA	107	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	CG	No. 1

\*SEE NOTES 13 AND 14

ADD ALTERNATE #2: "PLANTING - MT. HOPE EASEMENT TREES"

I.D.	QTY.	SCIENTIFIC NAME	COMMON NAME	ROOT	SIZE
TREES					
AC	4	Acer campestre	Hedge Maple	BB	2.5"
GB	8	Ginkgo biloba 'Golden Columnade'	Golden Columnade Ginkgo	BB	2.5"
GD	4	Gymnocladus dioica 'Slaty Manor'	Kentucky Coffee Tree	BB	2.5"
UP	4	Ulmus parvifolia 'Allee'	Allee Lacebark Elm	BB	2.5"

\*SEE NOTES 13 AND 14

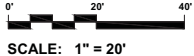
ADD ALTERNATE #6: "PLANTING - MT. HOPE R.O.W. TREES"

I.D.	QTY.	SCIENTIFIC NAME	COMMON NAME	ROOT	SIZE
TREES					
AC	3	Acer campestre	Hedge Maple	BB	2.5"
GT	3	Gleditsia tricanthos 'Shademaster'	Shademaster Locust	BB	2.5"
PC	6	Pyrus calleryana 'Cleveland Select'	Cleveland Select Callery Pear	BB	2.5"

\*SEE NOTES 13 AND 14

STANDARD CITY OF ROCHESTER PLANTING NOTES

- WHEN CONSTRUCTING/POURING SIDEWALKS, THE ROOT SYSTEM ON THE WALK SIDE OF THE TREE SHALL NOT BE CUT. IF ROOTS LARGER THAN 2" ARE ENCOUNTERED NO SUB BASE WILL BE USED AND SIDEWALK IS TO BE POURED OVER ROOTS. RAMPING OVER ROOTS IS ALSO ACCEPTABLE.
- ROOT FOUNDATIONS MUST REMAIN ADEQUATE TO WITHSTAND HEAVY WINDSTORMS. TREE ROOTS 2" AND UNDER ARE TO BE CUT CLEANLY. CITY FORESTRY IS TO BE NOTIFIED, (585-428-7581), TO SET UP AN INSPECTION IF ROOTS LARGER THAN 2" ARE IN CONFLICT WITH CONSTRUCTION.
- ROOT SYSTEMS OF STREET TREES SHALL NOT BE CUT FOR THE INSTALLATION OF ANY TYPE OF UTILITY BY THE CONTRACTOR OR CITY DEPARTMENT. CONTACT THE FORESTRY DIVISION, 428-7581, FOR BRIDGING/TUNNELING SPECIFICATIONS.
- EXPOSED TREE ROOTS SHALL BE COVERED WITH MULCH, TOPSOIL OR BURLAP AND KEPT MOIST FROM A PERIOD IMMEDIATELY FOLLOWING CURB/GUTTER/SIDEWALK REMOVAL UNTIL THE AREA IS BACKFILLED AND/OR SIDEWALKS CONSTRUCTED.
- VIOLATIONS TO SPECIFICATION §617 FOR TREE PROTECTION, (STANDARDS FOR WORK IN THE PUBLIC RIGHT-OF-WAY), AND CITY CHARTER AND CODE 89.9 FOR TREES WILL BE SUBJECT TO A FINE OF \$150.00 PER VIOLATIONS PER DAY.

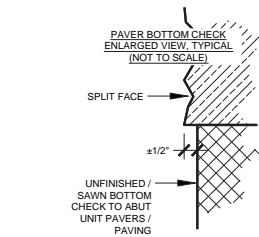


THIS DOCUMENT WAS PREPARED FOR THE NEW YORK STATE DEPARTMENT OF STATE WITH FUNDS PROVIDED UNDER TITLE 11 OF THE ENVIRONMENTAL PROTECTION FUND.



SCALE:	CHECKED BY:	DRAWN BY:	DESIGNED BY:	DATE:	PROJECT NO.:	CITY ID #9330	REVISIONS	BY	DATE
1"=20'	MHB	ZDS	BAYERLA	03-12-2012	No.				

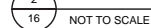




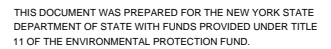
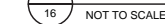
1. SEE SPECIFICATIONS FOR GRANITE APPROVED COLORS AND SUPPLIERS.
2. GRANITE TYPE AND SUPPLIER FOR ALL SEAT BLOCKS MUST MATCH GRANITE PROVIDED FOR PAVING BAYS.
3. DO NOT ROCK-PITCH OR CREATE STRAIGHT AND TRUE ARIS LINES AT THE INTERSECTION OF THE SPLIT AND THERMAL FINISHES. THE CORNER OF THIS INTERSECTION SHOULD BE ROUGHED AND GENERALLY FOLLOW THE NATURAL CONTOURS OF THE SPLICE FINISH.
4. OPTIONAL LIFTING HOLES OR DIMPLES CREATED TO FACILITATE MOVEMENT AND/OR INSTALLATION SHOULD BE PLACED IN THE NON-EXPOSED BELOW GRADE PORTION OF BLOCK AND MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO FABRICATION.
5. SUBMIT SHOP DRAWINGS TO OWNER'S REPRESENTATIVE PRIOR TO FABRICATION

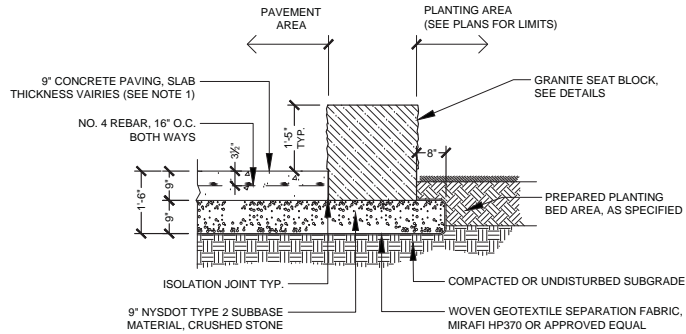


16 NOT TO SCALE



16 NOT TO SCALE

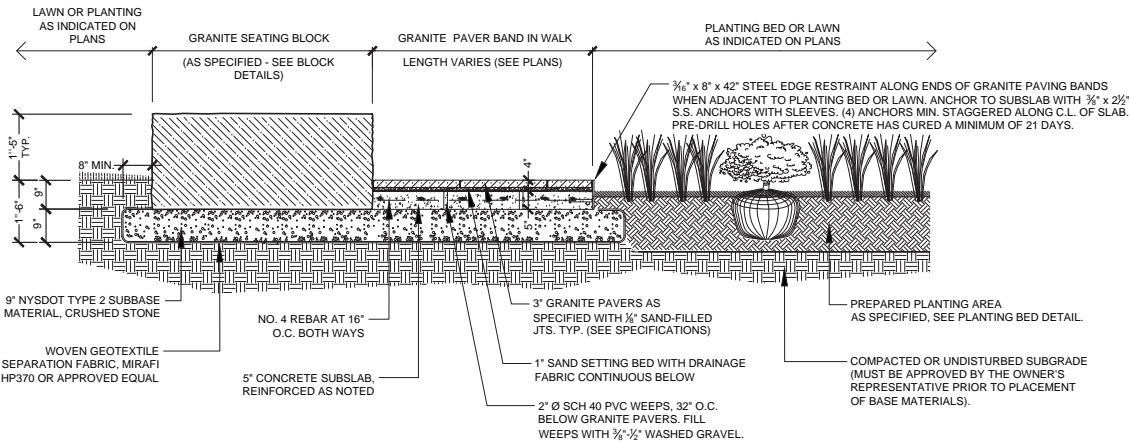




NOTES:  
1. SLAB THICKNESS VARIES. THICKENED 9" CONCRETE SLABS ONLY OCCUR IN AREAS ADJACENT TO GRANITE PAVING BANDS. SEE PAVING PLANS FOR LIMITS OF THICKENED SLABS.

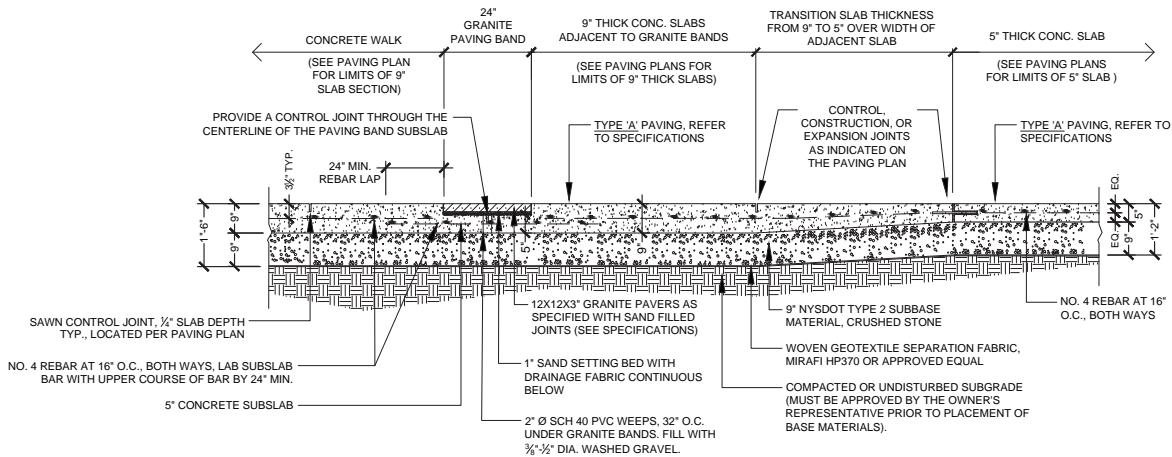
NORTH AND SOUTH EASEMENT  
TYPICAL GRANITE SEAT BLOCK SECTION  
ADJACENT TO PLANTING BED

1  
19  
NOT TO SCALE



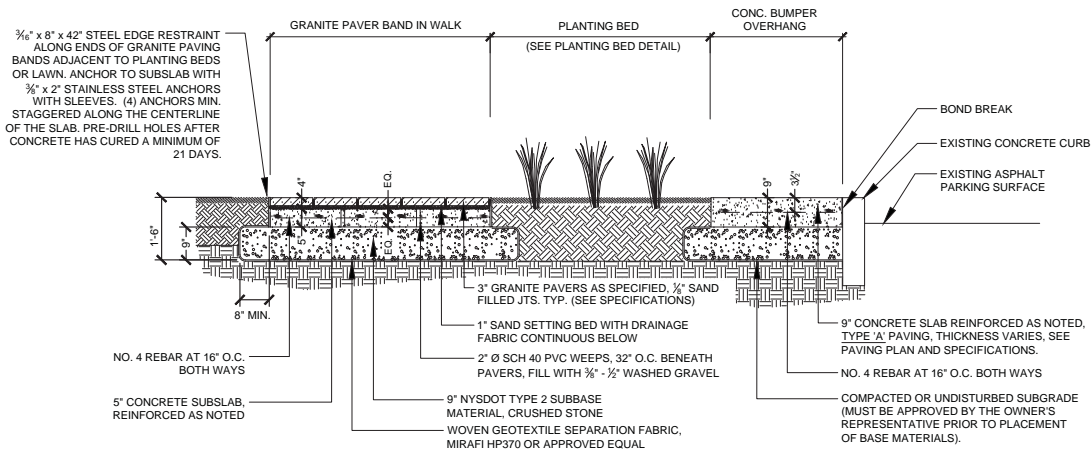
NORTH AND SOUTH EASEMENT  
TYPICAL GRANITE SEAT BLOCK AND GRANITE BAND PAVEMENT SECTION ADJACENT TO LAWN / PLANTING

2  
19  
NOT TO SCALE



NORTH AND SOUTH EASEMENT  
TYPICAL CONCRETE PAVEMENT W/ GRANITE BANDING SHOWING SLAB THICKNESS TRANSITION

3  
19  
NOT TO SCALE



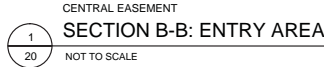
NORTH EASEMENT  
WALK SECTION A-A: GRANITE BAND AND PLANTING BED ADJACENT TO PARKING LOT

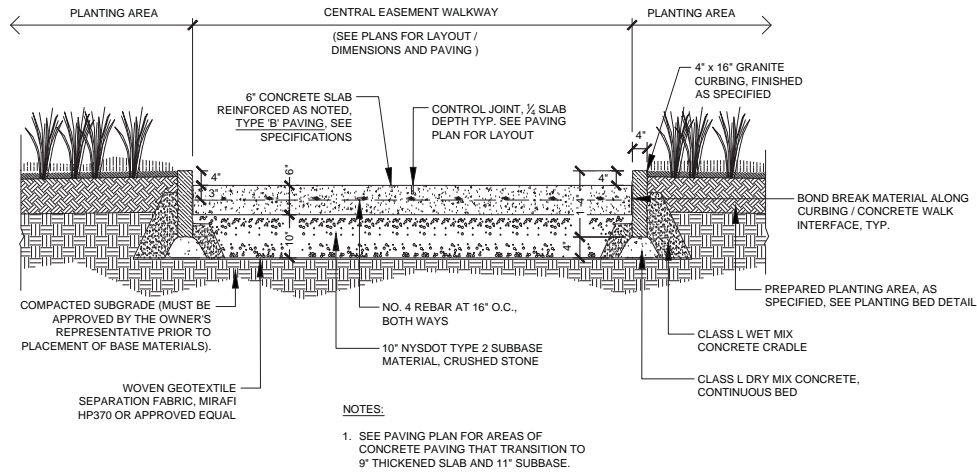
4  
19  
NOT TO SCALE

SCALE:	AS NOTED	NO.	REVISIONS	BY	DATE
CHECKED BY:	MMB				
DRAWN BY:	MH				
DESIGNED BY:	BAYER LA				
DATE:	03-12-2012				
PROJECT NO.:	CITY ID #9330				

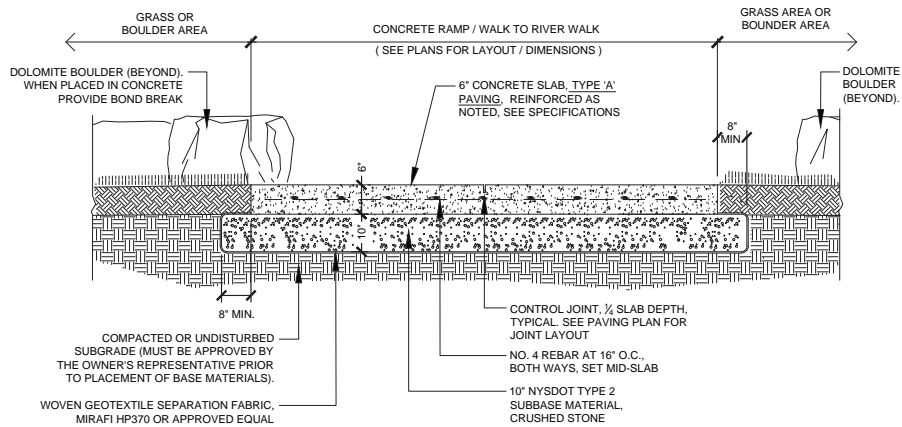
PROJECT:	DRAWING TITLE:
ERIE HARBOR PUBLIC ENHANCEMENTS (#C006966)	NORTH AND SOUTH EASEMENT PAVING DETAILS



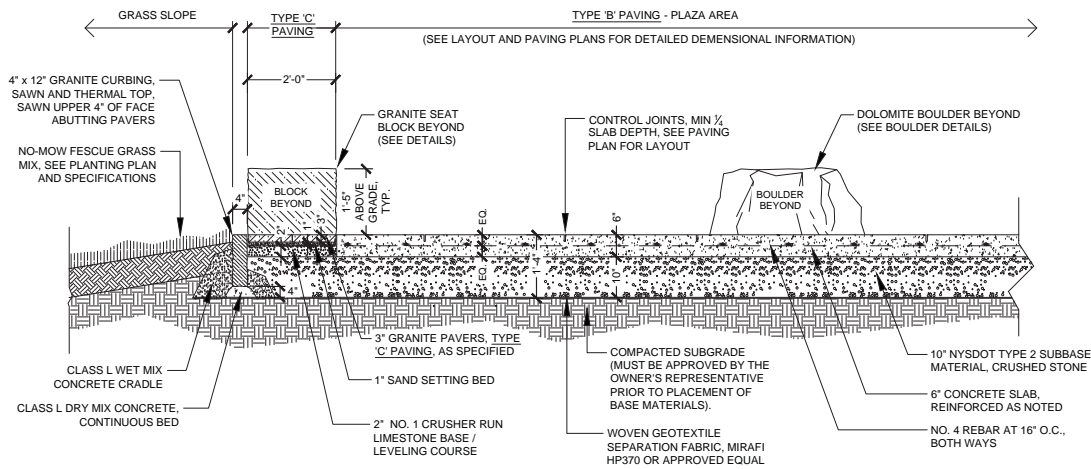




CENTRAL EASEMENT  
SECTION D-D: CONCRETE PAVEMENT  
1  
21  
NOT TO SCALE



CENTRAL EASEMENT  
SECTION E-E: CONCRETE RAMP TO RIVER WALK  
2  
21  
NOT TO SCALE



CENTRAL EASEMENT  
SECTION F-F: PLAZA AREA PAVEMENT  
3  
21  
NOT TO SCALE

SCALE:	AS NOTED	No.	REVISIONS	BY	DATE
CHECKED BY:	MHB				
DRAWN BY:	MH				
DESIGNED BY:	BAYER LA				
DATE:	03-12-2012				
PROJECT No.:	CITY ID #9330				

PROJECT:	DRAWING TITLE:
ERIE HARBOR PUBLIC ENHANCEMENTS (#C006966)	CENTRAL EASEMENT PAVING DETAILS 2