

LOCATION MAP  
NOT TO SCALE

FINAL SITE PLANS

ALTA VISTA AT ST. JOSEPH'S  
PARK

DWG. No.	TITLE
2744-03	COVER SHEET
2744-04	SITE PLAN
2744-05	CONSOLIDATION PLAT
2744-06	EXISTING CONDITIONS / DEMOLITION PLAN
2744-07	UTILITY PLAN
2774-08	GRADING PLAN
2274-09	CONSTRUCTION EROSION CONTROL PLAN
2774-10	LANDSCAPE PLAN
2774-11	LIGHTING PLAN
2744-12	DETAIL SHEET (SHEET 1 OF 5)
2744-13	DETAIL SHEET (SHEET 2 OF 5)
2744-14	DETAIL SHEET (SHEET 3 OF 5)
2744-15	DETAIL SHEET (SHEET 4 OF 5)
2744-16	DETAIL SHEET (SHEET 5 OF 5)
2744-17	SIDEWALK DETOUR PLAN

ALTA VISTA AT ST. JOSEPH'S PARK

(317, 325 Andrews Street & 101-113 Franklin Street & 106 Pleasant Street)

CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:  
ALTA VISTA HOUSING LLC  
954 CLIFFORD AVE.  
ROCHESTER, NY 14621

SCALE: 1"=100'

DRAWING NUMBER: 2744\_03  
DATED: DECEMBER 07, 2021  
LAST REVISED: MARCH 4, 2022

BME

ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
WWW.BMEPC.COM

PHONE 585-377-7360  
FAX 585-377-7309



NOTE: ANY WORK IN THE CITY RIGHT-OF-WAY WILL REQUIRE SEPARATE PERMITS FROM THE DES ENGINEERING BUREAU PERMIT OFFICE ROOM 121B

ANDREWS STREET  
(60' RIGHT-OF-WAY)

FRANKLIN STREET  
(64' RIGHT-OF-WAY)

PLEASANT STREET  
(VARIABLE WIDTH RIGHT-OF-WAY)

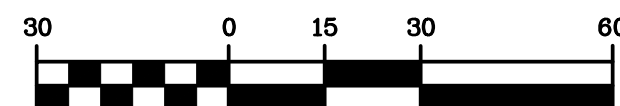
NOTE: ANY WORK IN THE CITY RIGHT-OF-WAY WILL REQUIRE SEPARATE PERMITS FROM THE DES ENGINEERING BUREAU PERMIT OFFICE ROOM 121B

SEE CONSOLIDATION PLAT (BME DRAWING No. 2744-05) FOR CONSOLIDATION OF PARCELS, BOUNDARY INFORMATION AND SURVEY NOTES AND REFERENCES.

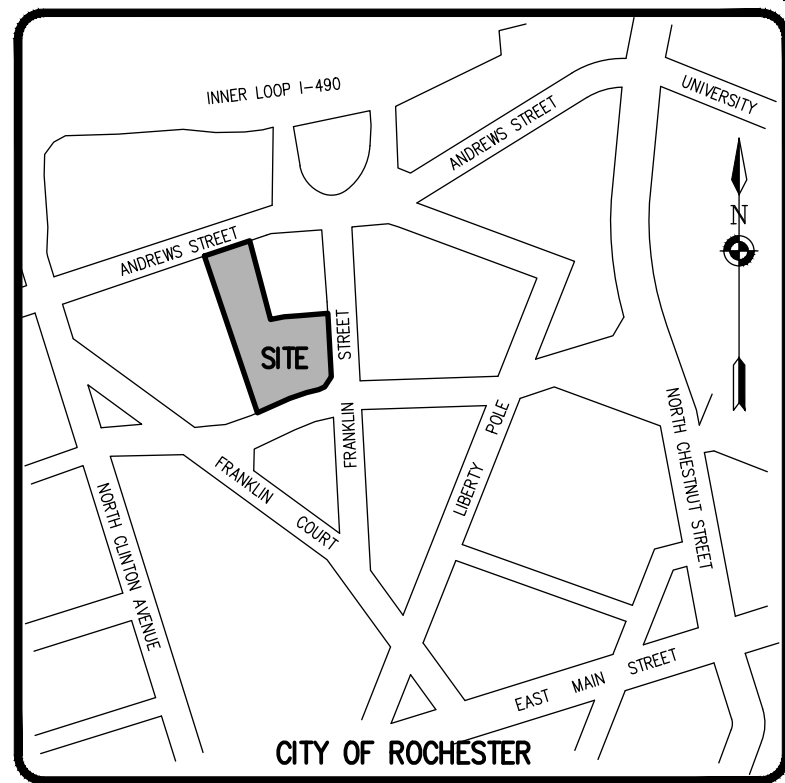
LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- ADJOINER LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED RESUBDIVISION LINE
- PROPERTY MARKER FOUND
- CONCRETE HIGHWAY MONUMENT FOUND
- CONCRETE HIGHWAY MONUMENT FOUND

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.



LOCATION MAP  
NOT TO SCALE

SITE NOTES:

- EXISTING ZONING: CC - (CENTRAL CITY DISTRICT)
- TOTAL LOT AREA : ± 44,201 S.F. (±1.01 ACRES)
- EXISTING PARCELS:

TA No.	LOT AREA	ADDRESS
106.80-1-2	± 7,538 SF	317 ANDREWS ST.
106.80-1-3	± 6,657 SF	325 ANDREWS ST.
106.80-1-25.001	± 25,290 SF	101-113 FRANKLIN ST.
106.80-1-44.003	± 4,716 SF	106 PLEASANT ST.
- EXISTING PARCELS TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO ONE (1) LOT
- PROPOSED USE: MULTI-FAMILY RESIDENTIAL (76 UNITS)
- LOT DIMENSIONS ARE AS FOLLOWS:

	CC DISTRICT	PROVIDED
MIN. LOT AREA	N/A	±1.01 ACRES
MIN. LOT WIDTH	45'	±77'
SETBACKS		
FRONT YARD	WITHIN 2' OF AVERAGE SETBACK OF THREE ADJACENT BUILDINGS MAXIMUM 15'	±1.6'
SIDE YARD	N/A	±4'
REAR YARD	N/A	N/A
MAX. BUILDING HEIGHT	6 STORIES	6 STORIES
MAX. BLDG. COVERAGE	N/A	±33%
MAX. LOT COVERAGE	N/A	±76%
PARKING	NOT REQUIRED	49 SPACES (4 ADA SPACES) (INCLUDING 4 EV STATIONS)
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS, FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS TO BE CONSTRUCTED SUCH THAT THE OVERALL AREA IS PEDESTRIAN FRIENDLY, FULLY ACCESSIBLE FOR PERSONS WITH DISABILITIES, AND FULLY COMPLIANT WITH THE PROPOSED GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROWAG)
- NEW DRIVEWAY OPENINGS ARE TO BE CONSTRUCTED PER THE CITY'S TRANSITION STYLE DRIVEWAY OPENING, USING BOTH TRANSITION AND HEADER CURBS (CITY DETAIL R608-5). THE MAIN SIDEWALK THOROUGHFARE IS TO BE MAINTAINED CONTINUOUS, TRUE TO LINE AND GRADE ACROSS ALL DRIVEWAY OPENINGS.
- SEE DEMOLITION AND UTILITY PLANS FOR EXISTING PAVEMENT AND SIDEWALK REPLACEMENT LIMITS FOR UTILITY INSTALLATIONS.
- ANY PROJECT SIGNAGE IS TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- ANY WORK IN THE CITY PUBLIC RIGHT-OF-WAY WILL REQUIRE SEPARATE PERMITS FROM THE DES ENGINEERING BUREAU PERMIT OFFICE, ROOM 121B.
- ANY CHANGES OR MODIFICATIONS TO TRAFFIC REGULATION SIGN WITHIN THE RIGHT-OF-WAY REQUIRES APPROVAL FROM THE MONROE COUNTY OFFICE.
- CONTACT DES PERMIT OFFICE AT 585-428-6848 TO OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY CURB, SIDEWALK, UTILITY CONNECTIONS, TEMPORARY FENCING OR SCAFFOLDING WORK PLACED IN THE PUBLIC RIGHT-OF-WAY.
- ALL UTILITY TRENCH, PAVEMENT AND CONCRETE SIDEWALK RESTORATION WITHIN THE RIGHT-OF-WAY ARE TO BE DONE USING CITY OF ROCHESTER STANDARDS.
- CONTACT THE GARAGEPARKING@CITYOFROCHESTER.GOV TO COORDINATE REMOVAL OF PARKING METERS DURING CONSTRUCTION.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

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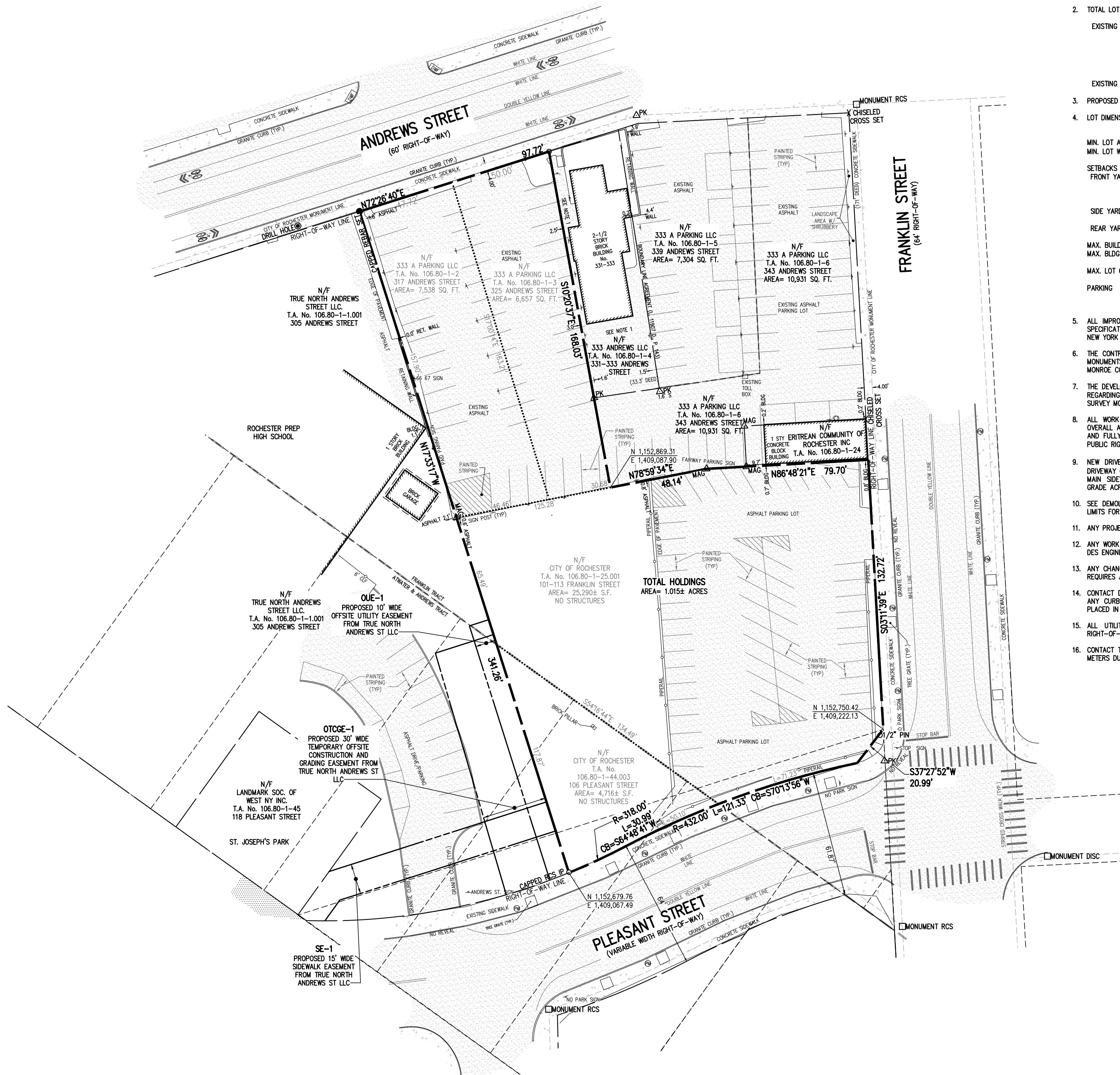


PROJECT: ALTA VISTA AT ST. JOSEPH'S PARK  
LOCATION: CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
CLIENT: ALTA VISTA HOUSING LLC  
100 W. MAIN STREET  
ROCHESTER, NY 14621  
DRAWING TITLE: FINAL SITE PLAN

PROJECT MANAGER: J.L. SWEDROCK  
PROJECT ENGINEER: RR. SPURR  
DRAWN BY: V.J. SCHLAGETER  
SCALE: 1" = 30'  
DATE ISSUED: DECEMBER 07, 2021  
PROJECT NO.: 2744

DRAWING NO.: 04





**SUBDIVISION NOTES:**

- EXISTING ZONING: CC - (CENTRAL CITY DISTRICT)
- TOTAL LOT AREA :  $\pm$  44,201 S.F. ( $\pm$ 1.01 ACRES)
- EXISTING PARCELS:

T.A. No.	LOT AREA	ADDRESS
106.80-1-2	$\pm$ 7,538 SF	317 ANDREWS ST.
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- PROPOSED USE: MULTI-FAMILY RESIDENTIAL (76 UNITS)
- LOT DIMENSIONS ARE AS FOLLOWS:

MIN. LOT AREA	CC DISTRICT	PROVIDED
N/A	N/A	$\pm$ 1.01 ACRES
MIN. LOT WIDTH	45'	$\pm$ 77'
SETBACKS	WITHIN 2' OF AVERAGE SETBACK OF THREE ADJACENT BUILDINGS MAXIMUM 15'	$\pm$ 1.6'
FRONT YARD	N/A	$\pm$ 4'
SIDE YARD	N/A	N/A
REAR YARD	N/A	N/A
MAX. BUILDING HEIGHT	6 STORIES	6 STORIES
MAX. BLDG. COVERAGE	N/A	$\pm$ 33%
MAX. LOT COVERAGE	N/A	$\pm$ 76%
PARKING	NOT REQUIRED	49 SPACES (4 ADA SPACES)

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- CONTACT THE GARAGEPARKING@CITYOFROCHESTER.GOV TO COORDINATE REMOVAL OF PARKING METERS DURING CONSTRUCTION.

**REFERENCES:**

- A MAP ENTITLED "MAP OF THE SUBDIVISION OF LOTS 4, 5, 6 & 7 IN THE 3RD DIVISION IN THE ORIGINAL TOWNSHIP No. 13, IN THE 7TH RANGE," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 2 OF MAPS, PAGE 54.
- A MAP ENTITLED "317, 325, 339 & 343 ANDREWS ST., MAP OF A SURVEY," PREPARED BY BME ASSOCIATES, HAVING DRAWING No. 8901-246, DATED APRIL 17, 2020.
- THE FOLLOWING DEEDS RECORDED IN THE MONROE COUNTY CLERK'S OFFICE:
  - LIBER 5779, PAGE 162
  - LIBER 11024, PAGE 376
  - LIBER 11754, PAGE 502
  - LIBER 11759, PAGE 473
- A MAP ENTITLED "STREET STUDY MAP No. 1B," PREPARED BY V.W. JUDSON, DATED DECEMBER 1, 1920.
- A MAP ENTITLED "PLAN OF LAND IN ROCHESTER, MONROE COUNTY, NEW YORK, BEING PARTS OF LOTS 79 & 80 OF THE ATWATER & ANDREWS TRACT, T. 13-N-7-R-03, SURVEYED FOR SOCONY VACUUM OIL COMPANY, INC.," PREPARED BY GRAY & SMITH, SURVEYORS, DATED FEBRUARY 8, 1936.
- A MAP ENTITLED "317, 325, 339 & 343 ANDREWS ST., MAP OF A SURVEY," PREPARED BY BME ASSOCIATES, HAVING DRAWING No. 8901-246, DATED APRIL 2018.
- CITY OF ROCHESTER DISTRICT MAP (DISTRICT 14, MAP 1).
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

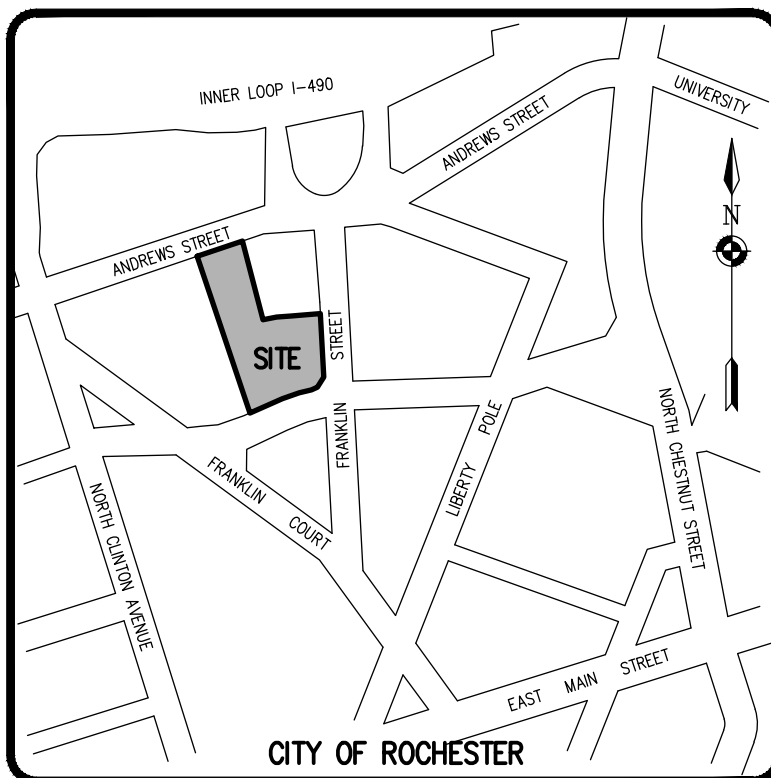
**SURVEY NOTES:**

- PARCEL MAY BE BENEFITED BY THE RIGHT TO USE THE PAVEMENT AREAS SHOWN HEREON.
- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1983, WESTERN ZONE, NAD 83 (2011)(EPOCH 2010) UTILIZING GPS OBSERVATIONS FROM THE NYSOT REFERENCE NETWORK STATION (NYPP 0032). PERIMETER AND/OR TIES TO MONUMENTS WERE MADE USING PROCEDURES NECESSARY TO ACHIEVE A HORIZONTAL ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.
- THE PURPOSE OF THIS PLAT IS TO COMBINE FOUR PARCELS, HAVING TAX ACCOUNT NUMBERS: 106.80-1-25.001, 106.80-1-2, 106.80-1-3 AND 106.80-1-44.003, INTO ONE PARCEL.

WE, BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON OCTOBER 19, 2021 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE GVL5A 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

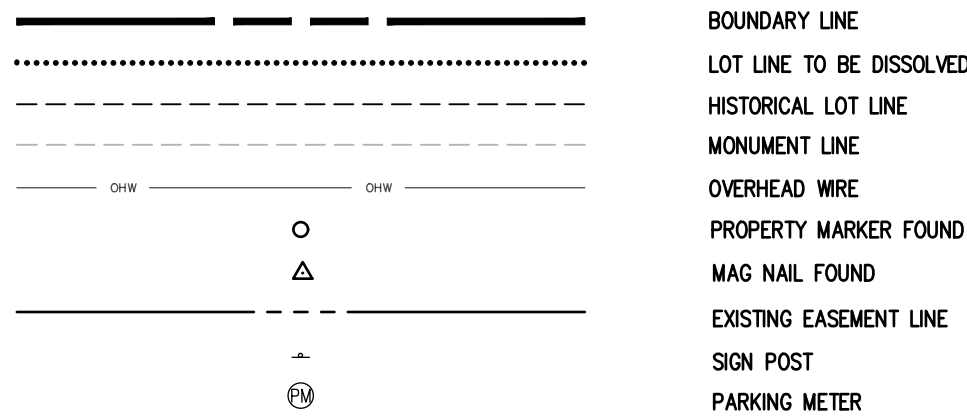
THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

BY: *Gregory D. Bell*  
GREGORY D. BELL, M.S.P.L.S. NO. 050661

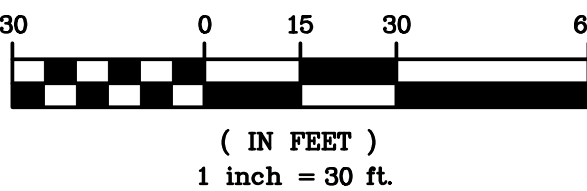


**LOCATION MAP**  
NOT TO SCALE

**LEGEND**



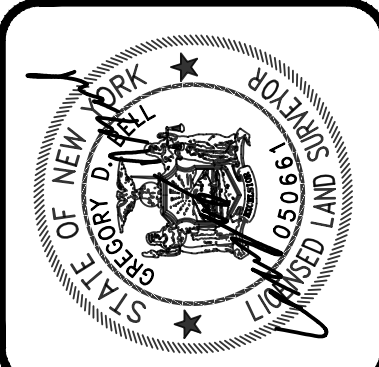
**GRAPHIC SCALE**



PHELPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, 3RD DIVISION, FRANKLIN TRACT, T.A. No.'S 106.80-1-25.001, 106.80-1-2 & 106.80-1-3 & ATWATER & ANDREWS TRACT, T.A. No. 106.80-1-44.003

REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2		
1		

**BME ASSOCIATES**  
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PHONE 585-377-7360  
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**CONSOLIDATION PLAT**  
FINAL  
DRAWING TITLE  
TOWN OF CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
LOCATION  
ALTA VISTA HOLDING LLC  
CLIENT  
854 CLIFFORD AVE.  
ROCHESTER, NY 14621  
PROJECT  
ALTA VISTA AT ST. JOSEPH'S PARK

PROJECT MANAGER	J. SWEDROCK
PROJECT SURVEYOR	GD BELL
DRAWN BY	JT GILMORE
SCALE	DATE ISSUED
1"=30'	FEBRUARY 23, 2022
PROJECT NO.	

2744

05







MCWP - ROCHESTER PURE WATERS DISTRICT SEWER NOTES FOR SEWER LATERAL CONNECTIONS.

- THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
2. PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCWP) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
3. SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO 'RPWD') OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
4. THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
5. SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
6. CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
7. IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/HER AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
8. ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
9. ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCWP) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
10. FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
11. ANY PORTION OF A SEWER LATERAL WITH LESS THAN FOUR-FOOT (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FOOT (3') OF COVER ARE NOT ALLOWED.
12. THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
13. ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

RWB WATER MAIN AND SERVICE NOTES

1. WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/](http://www.cityofrochester.gov/waterdocuments/).
2. ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
3. THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
4. FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
5. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
6. APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICE. THE WATER LEVEL IN THE EXISTING OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
7. STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
8. TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
9. A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGINS. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

MCDPH Standard Water Main Extension Notes

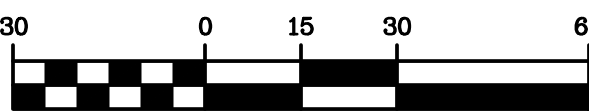
1. The water main and temporary bypass pipe shall be disinfected equal to AWWA Standard for Disinfecting Water Mains, designation C651, by using the continuous feed method. Following disinfection, the water main and bypass pipe shall be flushed until the chlorine concentration in the water leaving the main is no higher than that generally prevailing in the system. The interior of all water main pipe, valves, fittings and services four (4) inches and larger, including new hydrant branches connected to existing water mains, not receiving 24-hour chlorine disinfection contact time must be spray or swab disinfected with a minimum 1% - 5% solution of chlorine no more than 30-minutes prior to installation. Additionally, the exterior surfaces of existing pipe and fittings that new pipe and fittings will be connected to must be thoroughly cleaned and disinfected. The maximum distance between disinfection/sampling taps on new water main and bypass pipe shall be 1,000 feet. The sampling point(s) must be decontaminated by flaming. Fire hydrants are not acceptable sampling points. The Monroe County Department of Public Health must receive at least 48-hour advance notification requesting sampling services. The Contractor shall call 585-753-0557 to arrange for sampling services and is responsible for paying all MCDPH sampling fees. Sampling will not be performed prior to receipt from a New York State licensed or registered design professional (engineer, architect or land surveyor with a special exemption under Section 7208(n) of the Education Law) certifying that the water supply improvements, testing and disinfection procedures were completed in accordance with the approved plans, reports, specifications and any approved amendments. The department will collect samples for free chlorine residual, total coliform, Escherichia coli (E. coli) and turbidity. The water main and bypass pipe shall not be placed into service until so authorized by the Monroe County Department of Public Health.
2. Unless otherwise noted or shown on the approved plans, the minimum vertical separation between water mains and sewer pipe lines shall be 18-inches measured from the outside of the pipes at the point of crossing. One full standard laying length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer as possible. In addition, when the water main passes under a sewer, adequate structural support (compacted selected fill) shall be provided for the sewer to prevent excessive deflection of joints and settling of the sewer on the water main. Unless otherwise noted or shown on the approved plans, the minimum horizontal separation between parallel water mains and sewer pipes (including manholes and vaults) shall be 10-feet measured from the outside of the pipes, manholes or vaults.
3. When installing fire hydrants, should ground water be encountered within seven (7) feet of finished grade, fire hydrant weep holes (drains) shall be plugged.
4. The new water mains and services 4-inch and greater shall be pressure/leakage tested in accordance with the minimum requirements of the AWWA Standard C600 (latest revision) or in accordance with more stringent requirements imposed by the supplier of water. For City of Rochester water mains, pressure/leakage testing shall be performed in accordance with Subsection 3.05 of City of Rochester Water Bureau Specification S900 - General Water Provisions.

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	SETBACK LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT, DISINFECTION/SAMPLING TAP AND VALVE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE

EXISTING LIGHT POLE  
EXISTING SIGN  
EXISTING UTILITY POLE  
PROPOSED WATER LATERAL  
PROPOSED STORM LATERAL  
PROPOSED SANITARY LATERAL

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

WATERMAIN APPROVAL

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH

THESE PLANS FOR PUBLIC WATER SYSTEM EXTENSION / IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO 10NYORS OF THE STATE SANITARY CODE SUBJECT TO CONDITIONS OF APPROVAL.

DIRECTOR OF PUBLIC HEALTH

BY PUBLIC HEALTH ENGINEER DATE

CITY OF ROCHESTER WATER BUREAU

APPROVED ONLY FOR WATER FACILITY WORK SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY, UP TO AND INCLUDING THE CURB VALVE, AND INCLUDING THE WATER METER VAULT NEAR THE RIGHT-OF-WAY, IF APPLICABLE. THE OWNER, DEVELOPER OR THEIR PLUMBER IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FROM THE CITY BEFORE BEGINNING ANY WORK.

IF A BACKFLOW PREVENTION DEVICE IS REQUIRED, THE WATER BUREAU WILL NOT ISSUE A WATER SERVICE PERMIT UNTIL THE PLANS FOR THE BACKFLOW PREVENTION DEVICE HAVE BEEN APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.

☐ BACKFLOW DEVICE REQUIRED ☐ BACKFLOW DEVICE NOT REQUIRED

SIGNATURE TITLE DATE

ROCHESTER PURE WATERS DISTRICT CONNECTION TO PUBLIC SEWER

☐ SANITARY ☐ STORM ☐ COMBINED

☐ APPROVED

☐ APPROVED WITH CHANGES NOTED

☐

☐ A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE DISTRICT PERMIT OFFICE

REVIEW #

DATE:

SIGNATURE:

SIGNATURE TITLE DATE

LOCATION MAP

NOT TO SCALE

UTILITY NOTES:

1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (E. ROCHESTER PURE WATERS DISTRICT, CITY OF ROCHESTER WATER BUREAU, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE DIG SAFELY NY HOTLINE AT (800)982-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
7. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
- WATER: 4" / 6" PVC0 PC-235 & 305 FROM THE PUBLIC WATERMAIN TO THE BUILDING (DOMESTIC & FIRE).  
STORM: 8" PVC SDR-21, 12" PVC SDR-21 STORM LATERALS  
SANITARY SEWER: 8" PVC SDR-21 SANITARY LATERALS
8. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
9. THE SITE CONTRACTOR AND DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES FOR SITE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL SITE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED (SEE #2744-09).
10. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
11. A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 1218, 585-428-6848.
12. HYDRANT FLOW TEST PERFORMED BY CITY OF ROCHESTER WATER BUREAU ON PLEASANT STREET AND LIBERTY POLE WAY

12" HOLLY MAIN  
STATIC PRESSURE: 94 PSI  
RESIDUAL PRESSURE: 84 PSI  
FLOW AT 20 PSI: 6,405 GPM  
OBSERVED FLOW: 2,173 GPM  
DATE: 10/25/2013; PROVIDED 10/20/2021

12" DOMESTIC MAIN  
STATIC PRESSURE: 41.5 PSI  
RESIDUAL PRESSURE: 38.5 PSI  
FLOW AT 20 PSI: 2,353 GPM  
OBSERVED FLOW: 6,817 GPM  
DATE: 10/25/2013; PROVIDED 10/20/2021

13. CONTRACTOR TO FULL DEPTH SAWCUT EXISTING PAVEMENT, EXTENDING THRU PAVEMENT BASE COURSE AND RE-CONSTRUCT PAVEMENT TO CITY OF ROCHESTER STANDARDS (SEE CITY DETAILS, MODIFIED ASPHALT PAVEMENT SECTION WITH 6" ASPHALT BASE). EXISTING GRADE CURBING TO BE REPLACED IN-KIND OR AS NOTED ON THE PLANS PER CITY OF ROCHESTER STANDARDS. CONTRACTOR TO REMOVE AND REPLACE EXISTING SIDEWALK AREA TO NEAREST CONTROL JOINT AND IN FULL FLAG SEGMENTS ONLY FOR UTILITY INSTALLATIONS. SIDEWALK TO BE REPLACED PER CITY OF ROCHESTER STANDARDS (TYP).
14. CONTRACTOR TO COORDINATE CONNECTION OF PROPOSED ELECTRIC, GAS AND COMMUNICATION SERVICES WITH APPROPRIATE UTILITY COMPANIES AND COORDINATE EXISTING SERVICES TO THE SITE THAT ARE TO BE ABANDONED.
15. LIMITS FOR PAVEMENT RESTORATION OF THE TRENCHES MUST CONFORM TO THE REQUIREMENTS OF THE CITY'S RULES AND REGULATIONS FOR WORK IN THE RIGHT-OF-WAY DOCUMENT. PAVEMENT RESTORATION LIMIT FOR ALL THE TRENCHES MUST EXTEND TO THE NEAREST LONGITUDINAL JOINT, DO NOT INTRODUCE ANY NEW LONGITUDINAL JOINTS.
16. ALL UTILITY TRENCH, PAVEMENT AND CONCRETE SIDEWALK RESTORATION WITHIN THE RIGHT-OF-WAY ARE TO BE DONE USING CITY OF ROCHESTER STANDARDS.

ROCHESTER PURE WATERS DISTRICT CONNECTION TO PUBLIC SEWER

☐ SANITARY ☐ STORM ☐ COMBINED

☐ APPROVED

☐ APPROVED WITH CHANGES NOTED

☐

☐ A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE DISTRICT PERMIT OFFICE

REVIEW #

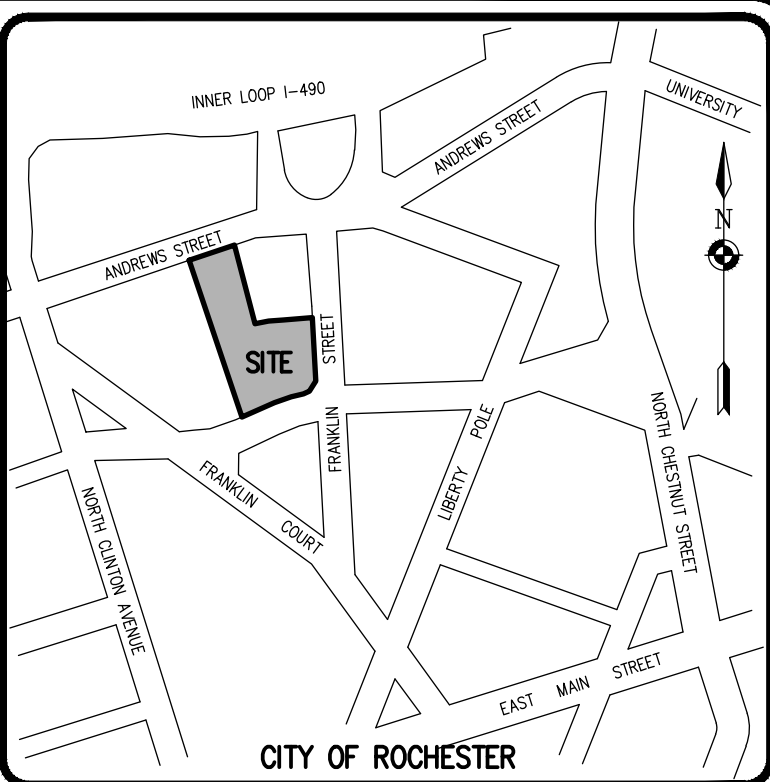
DATE:

SIGNATURE:

SIGNATURE TITLE DATE

LOCATION MAP

NOT TO SCALE



Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2	2/19/22	US
1	02/04/22	US

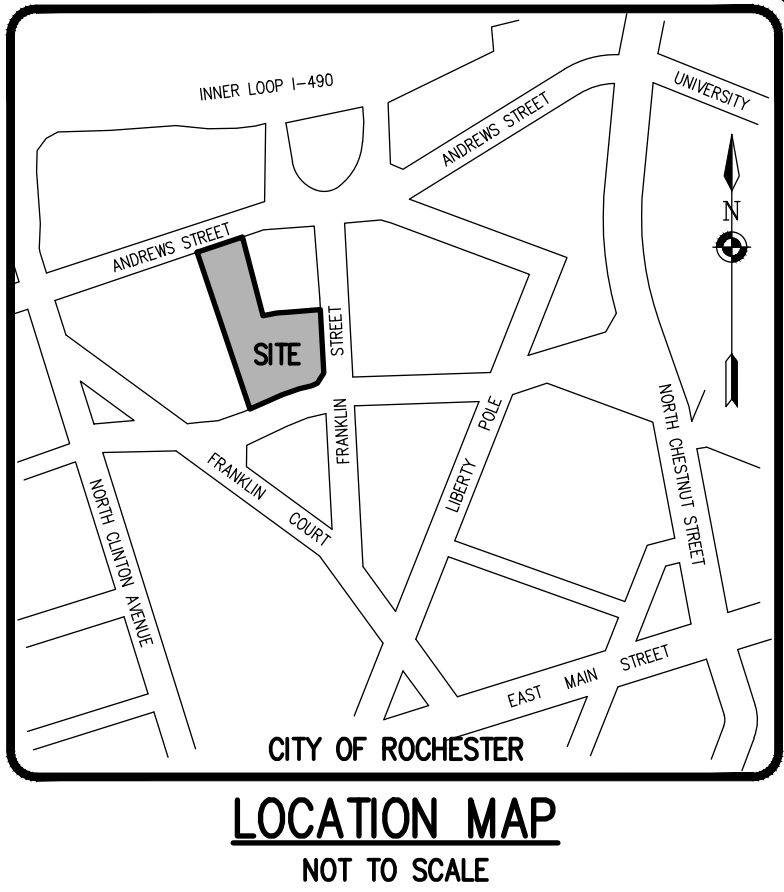
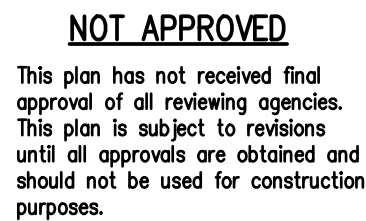
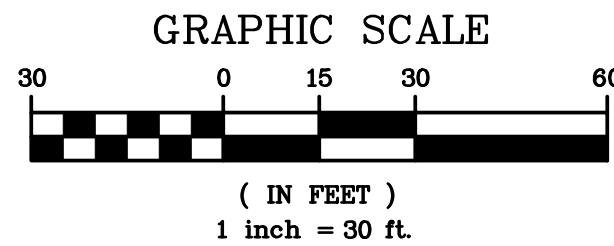
**BME ASSOCIATES**  
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PHONE 585-377-7360  
10 LIFT BRIDGE LANE EAST  
ROCHESTER, NEW YORK 14610  
WWW.BMEARCH.COM



**ALTA VISTA AT ST. JOSEPH'S PARK**  
PROJECT LOCATION CLIENT  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
ALTA VISTA HOLDING LLC  
85 CANTON STREET  
ROCHESTER, NY 14621

**FINAL UTILITY PLAN**  
PROJECT MANAGER: J. SWEDROCK  
PROJECT ENGINEER: RR. SPURR  
DRAWN BY: VL. SCHLAGETER  
SCALE: 1" = 30'  
DATE ISSUED: DECEMBER 07, 2021  
PROJECT NO.: 2744  
DRAWING NO.: 07





1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, OR ADAPTED BY AGENCIES (E. ROCHESTER PURE WATERS DISTRICT, CITY OF ROCHESTER WATER BUREAU, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE DIG SAFELY NY HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
7. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
8. THE SITE CONTRACTOR AND DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES FOR SITE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL SITE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED (SEE #2744-09).
9. ALL REQUIRED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE DONE TO THE CITY OF ROCHESTER'S STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS AS APPROVED BY THE CITY ENGINEER.
10. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
11. THE CONTRACTOR SHALL CONTROL STAKE CONTROL ON SITE AS DIRECTED BY THE CITY OF ROCHESTER.
12. FILL MATERIAL PLACED IN THE BUILDING AND PAVEMENT AREAS SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) OR AS DIRECTED BY A GEOTECH. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE OWNER WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
13. CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE. PRIOR TO PLACING THE BINDER COURSE, THE PARKING LOT/DRIVEWAY SHALL BE REVIEWED BY THE ENGINEER AND THE OWNER.
14. RECYCLED MATERIALS OR RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND BRICK, RECLAIMED ASPHALT PAVEMENT (RAP), AND CORIAN ARE UNACCEPTABLE FOR USE AS BACKFILL AND SUBBASE COURSE MATERIALS WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL OF THE CITY ENGINEER.

7			
6			
5			
4			
3			
2	REMOVED PER CITY OF ROCHESTER COMMENTS	2/18/22	MS
1	REMOVED PER MCDONAH, WATER BUREAU, AND MCDONAH COMMENTS	02/04/22	US
	REVISIONS	DATE	BY

**BME** ASSOCIATES  
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FAIRPORT, NEW YORK 14450  
PHONE 585-377-7360  
FAX 585-377-7309  
WWW.BMEPC.COM



PROJECT	ALTA VISTA AT ST. JOSEPH'S PARK
LOCATION	CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
CLIENT	ALTA VISTA HOUSING LLC 954 CLIFFORD AVE. ROCHESTER, NY 14621
DRAWING TITLE	FINAL OBSCURING DIAMN

PROJECT MANAGER	
JL. SWEDROCK	
PROJECT ENGINEER	
RR. SPURR	
DRAWN BY	
VJ. SCHLAGETER	
SCALE	DATE ISSUED
1" = 30'	DECEMBER 07, 2021
PROJECT NO.	



CONSTRUCTION EROSION CONTROL NOTES:

1. THE CONSTRUCTION ACTIVITIES FOR THIS PROJECT REQUIRE THE PREPARATION OF AN EROSION AND SEDIMENT CONTROL PLAN ONLY. THE PROJECT PLANS CONSIST OF THE GRADING PLAN, THE CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEETS, AND THE CITY OF ROCHESTER DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED CONSTRUCTION EROSION CONTROL PLAN. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE CITY OF ROCHESTER FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
3. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CONSTRUCTION EROSION CONTROL PLAN. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
4. FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS. FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL.
5. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
6. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
7. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	LBS./ACRE	LBS./1000 SQ. FT.
ANNUAL RYEGRASS	40	1
PERENNIAL RYEGRASS	40	1
OATS	40	1
WHITE CLOVER (+ INOCULANT)	4	0.1

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

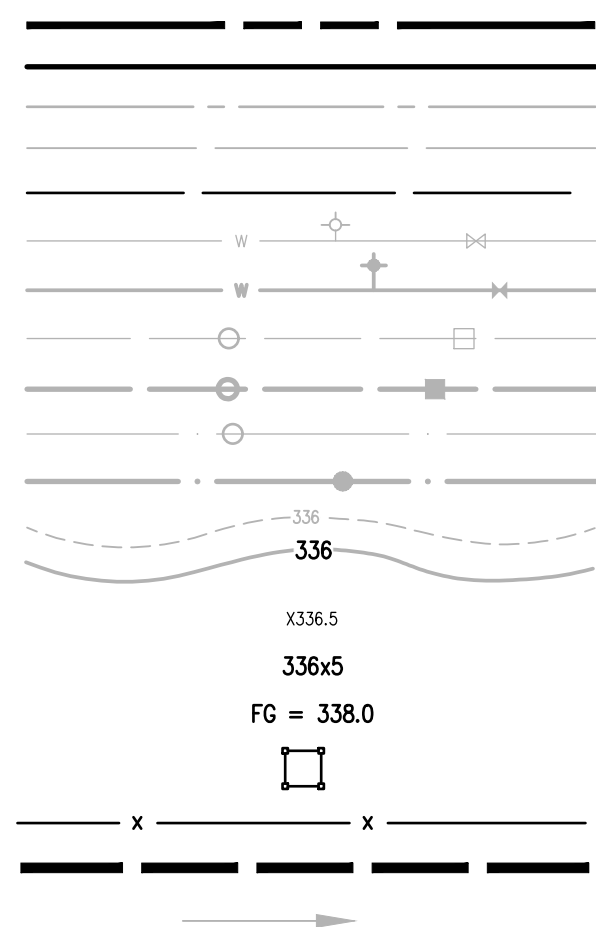
8. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS./ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

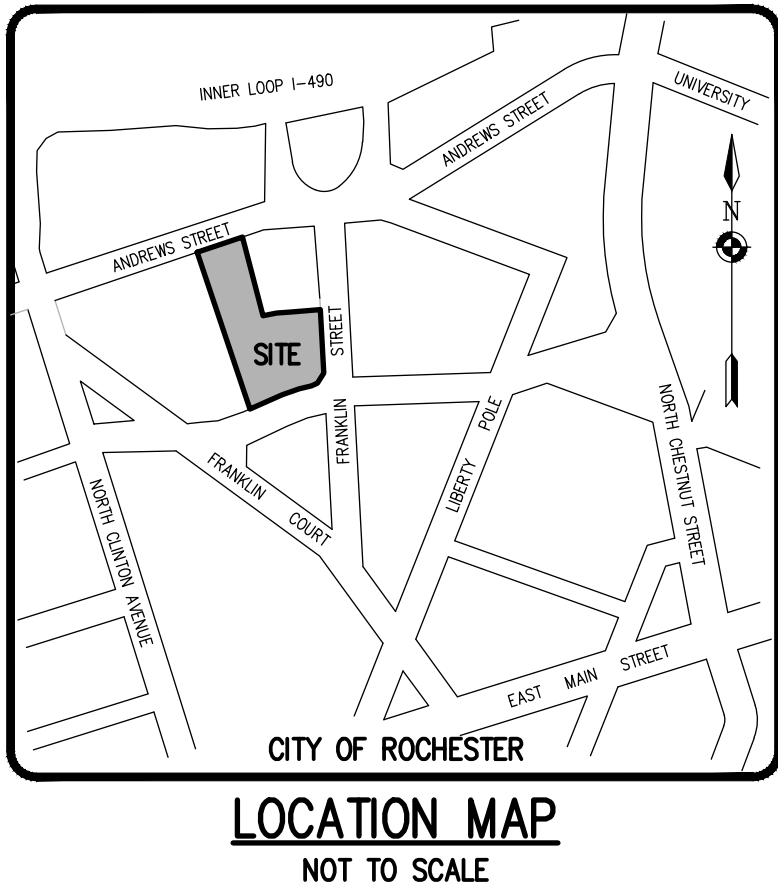
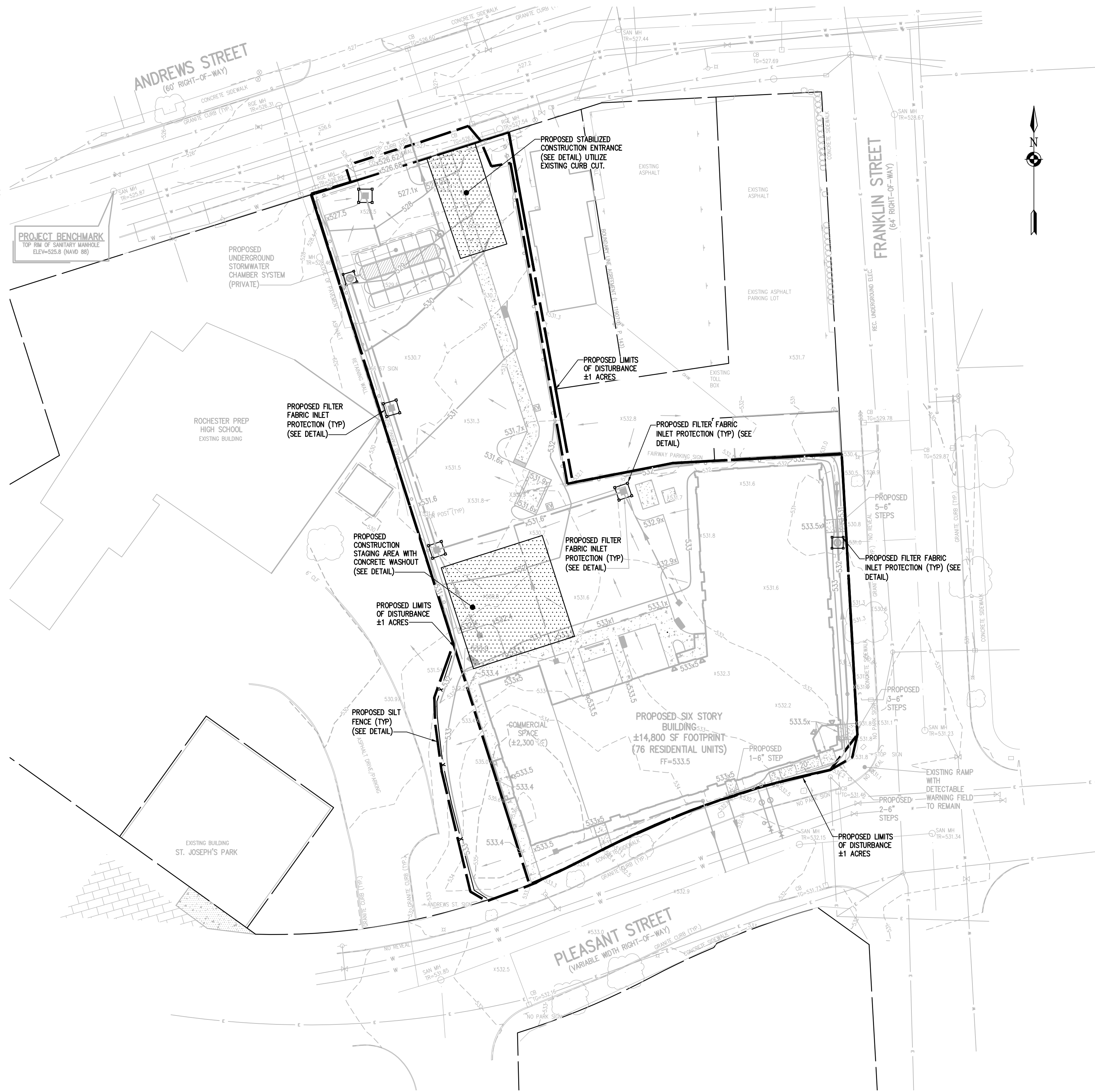
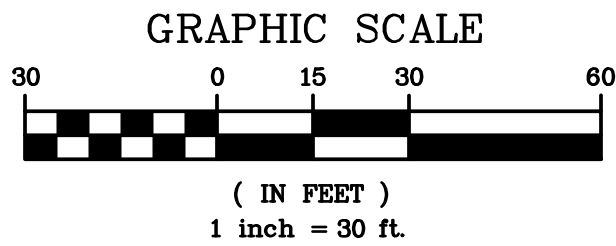
SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.  
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD,  
AT TWO TONS PER ACRE WITH TACKIFIER  
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT

9. ALL SEEDING AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEED.
10. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.
11. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.
12. CONTRACTOR TO INSTALL PROPOSED PERIMETER SECURITY FENCE/CONSTRUCTION FENCE AS NECESSARY AND AS DETERMINED IN THE FIELD AROUND THE PERIMETER OF THE SITE.

LEGEND



BOUNDARY LINE  
PROPOSED LOT LINE  
CENTERLINE  
SETBACK LINE  
ADJOINER LINE  
EX. WATERMAIN, HYDRANT AND VALVE  
PROP. WATERMAIN, HYDRANT AND VALVE  
EXISTING STORM SEWER, AND MANHOLE  
PROPOSED STORM SEWER, MANHOLE AND INLET  
EXISTING SANITARY SEWER AND MANHOLE  
PROPOSED SANITARY SEWER AND MANHOLE  
EXISTING CONTOUR  
PROPOSED CONTOUR  
EXISTING SPOT ELEVATION  
PROPOSED SPOT ELEVATION  
PROPOSED FINISHED GRADE  
PROPOSED INLET PROTECTION  
PROPOSED SILT FENCE  
PROPOSED LIMIT OF DISTURBANCE  
DRAINAGE FLOW DIRECTION



SEQUENCE OF CONSTRUCTION STEPS:

STEP 1: (SITE PREPARATION AND DEMOLITION)

- INSTALL AND MAINTAIN PERIMETER SECURITY FENCE, STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL), AND CONSTRUCTION STAGING AREA
- INSTALL PERIMETER SILT FENCE

STEP 2: (CONSTRUCTION ACTIVITY)

- STRIP TOPSOIL FROM THE SITE AND REMOVE FROM SITE.
- SAWCUT AND REMOVE EXISTING ASPHALT FROM THE SITE AS REQUIRED. CONTRACTOR TO REMOVE EXISTING STRUCTURES, UTILITIES, FENCE, SIGNAGE, SIDEWALK ETC. (SEE DEMOLITION PLAN). CONTRACTOR TO PREPARE SITE AS NECESSARY.
- PEDESTRIAN AND VEHICLE ACCESS IS TO BE MAINTAINED TO ADJACENT PROPERTIES (SEE SIDEWALK CLOSURE PLAN).
- COMMENCE GRADING OPERATIONS. INSTALL ADDITIONAL EROSION CONTROL MEASURES. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE CITY/GOVERNING AGENCY. CONTRACTOR TO FINE GRADE, SEED, AND MULCH AREAS DISTURBED AREAS WITHIN 7 DAYS IF NOT WORKED WITHIN 7 DAYS. SEED WITH SEED MIX AS INDICATED, AND PROVIDE MULCH AS SPECIFIED IN THE CONSTRUCTION EROSION CONTROL NOTES.
- CONTRACTOR MAY INSTALL UTILITIES AND LATERALS DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. THE STORMTECH CHAMBER SYSTEM TO BE INSTALLED PRIOR TO STABILIZATION OF THE SITE. ADDITIONAL EROSION CONTROL MEASURES SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.

SEQUENCE OF CONSTRUCTION STEPS:

STEP 3: (STABILIZATION & MONITORING)

- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES.
- MAINTAIN SILT FENCE
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND WINTER SITE STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE CITY OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAY INLETS AND DRAINAGE CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR CITY OF ROCHESTER.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
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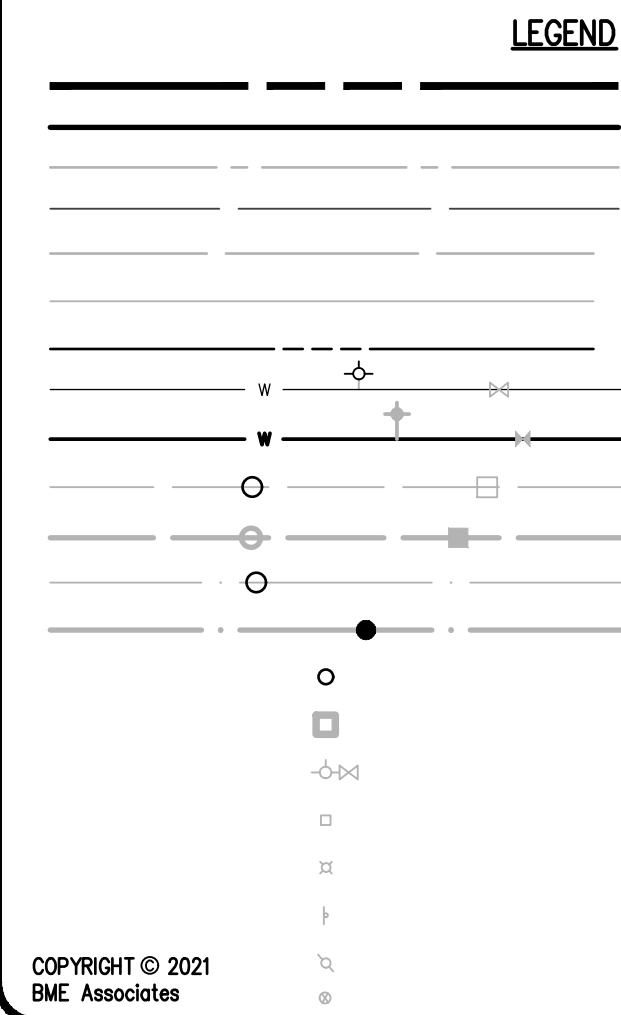


**ALTA VISTA AT ST. JOSEPH'S PARK**  
PROJECT  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
LOCATION  
CLIENT  
ALTA VISTA HOUSING LLC  
85 CLEVELAND AVE.  
ROCHESTER, NY 14621  
DRAWING TITLE  
FINAL  
CONSTRUCTION EROSION CONTROL PLAN

PROJECT MANAGER  
J. SWEDROCK  
PROJECT ENGINEER  
RR. SPURR  
DRAWN BY  
VL. SCHLAGETER  
SCALE  
DATE ISSUED  
1" = 30' DECEMBER 07, 2021  
PROJECT NO.  
DRAWING NO.  
2744  
09

PHELPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, 3RD DIVISION, FRANKLIN TRACT, T.A. No. 106.80-1-25.001 & ATWATER & ANDREWS TRACT, T.A. No. 106.80-1-44.003

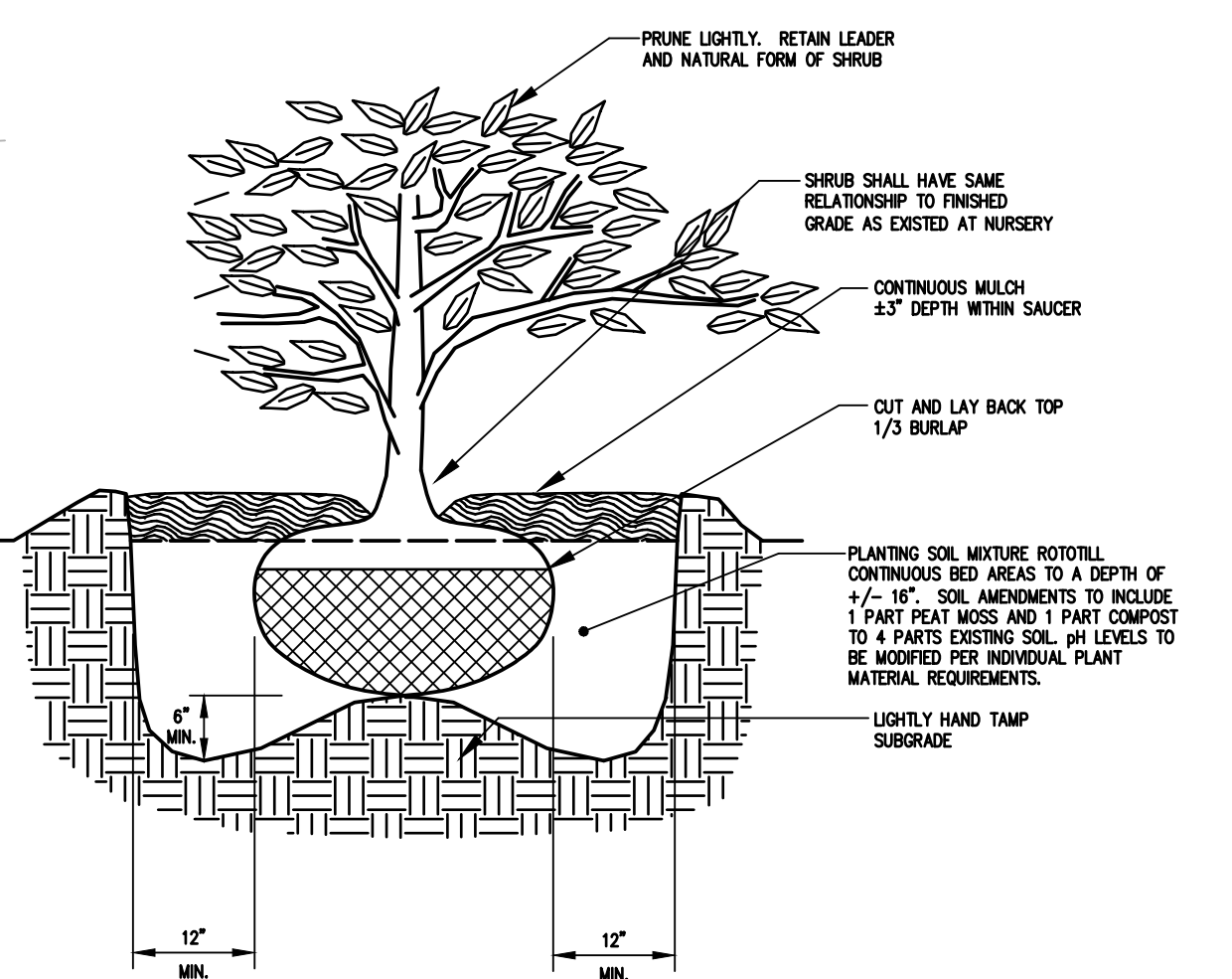




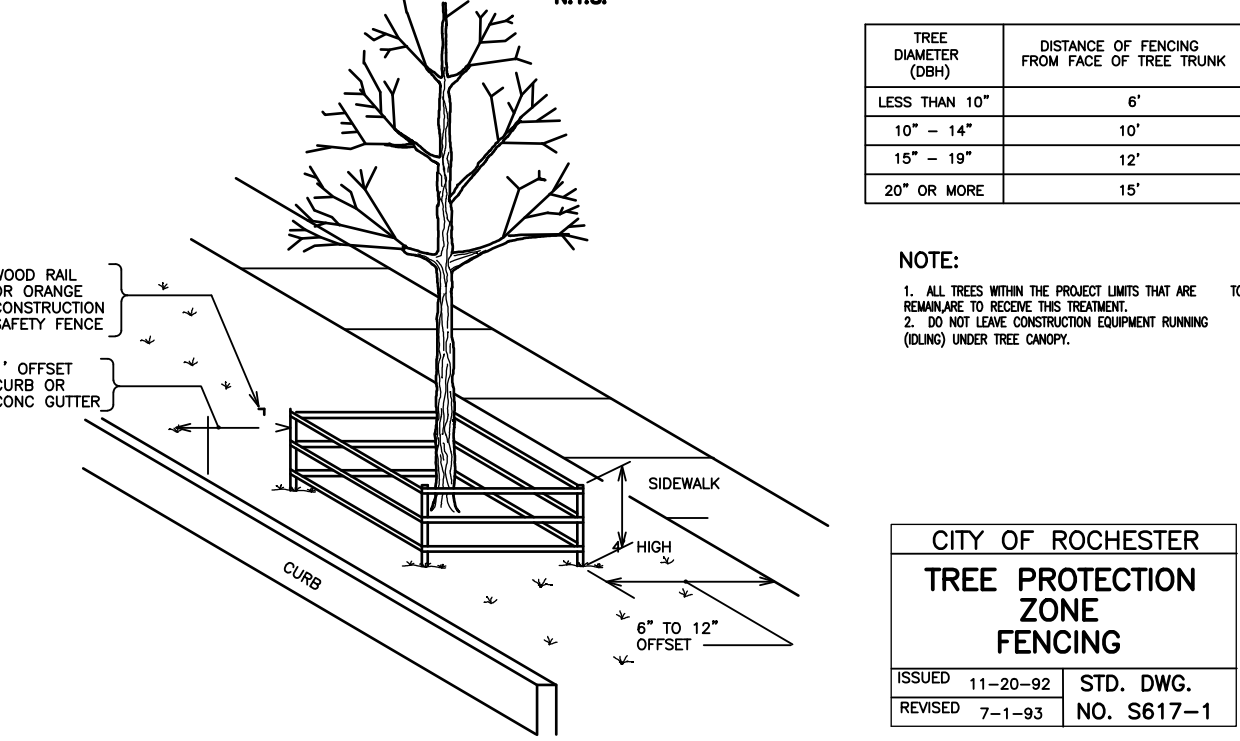
BOUNDARY LINE  
PROPOSED LOT LINE  
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PROP. WATERMAIN, HYDRANT AND VALVE  
EXISTING STORM SEWER, AND MANHOLE  
PROPOSED STORM SEWER, MANHOLE AND INLET  
EXISTING SANITARY SEWER AND MANHOLE  
PROPOSED SANITARY SEWER AND MANHOLE  
PROPERTY MARKER FOUND  
CONCRETE HIGHWAY MONUMENT FOUND  
EXISTING HYDRANT AND VALVE  
EXISTING CATCH BASIN  
EXISTING LIGHT POLE  
EXISTING SIGN  
EXISTING UTILITY POLE  
EXISTING GAS SERVICE

SITE PLANT MATERIALS LIST

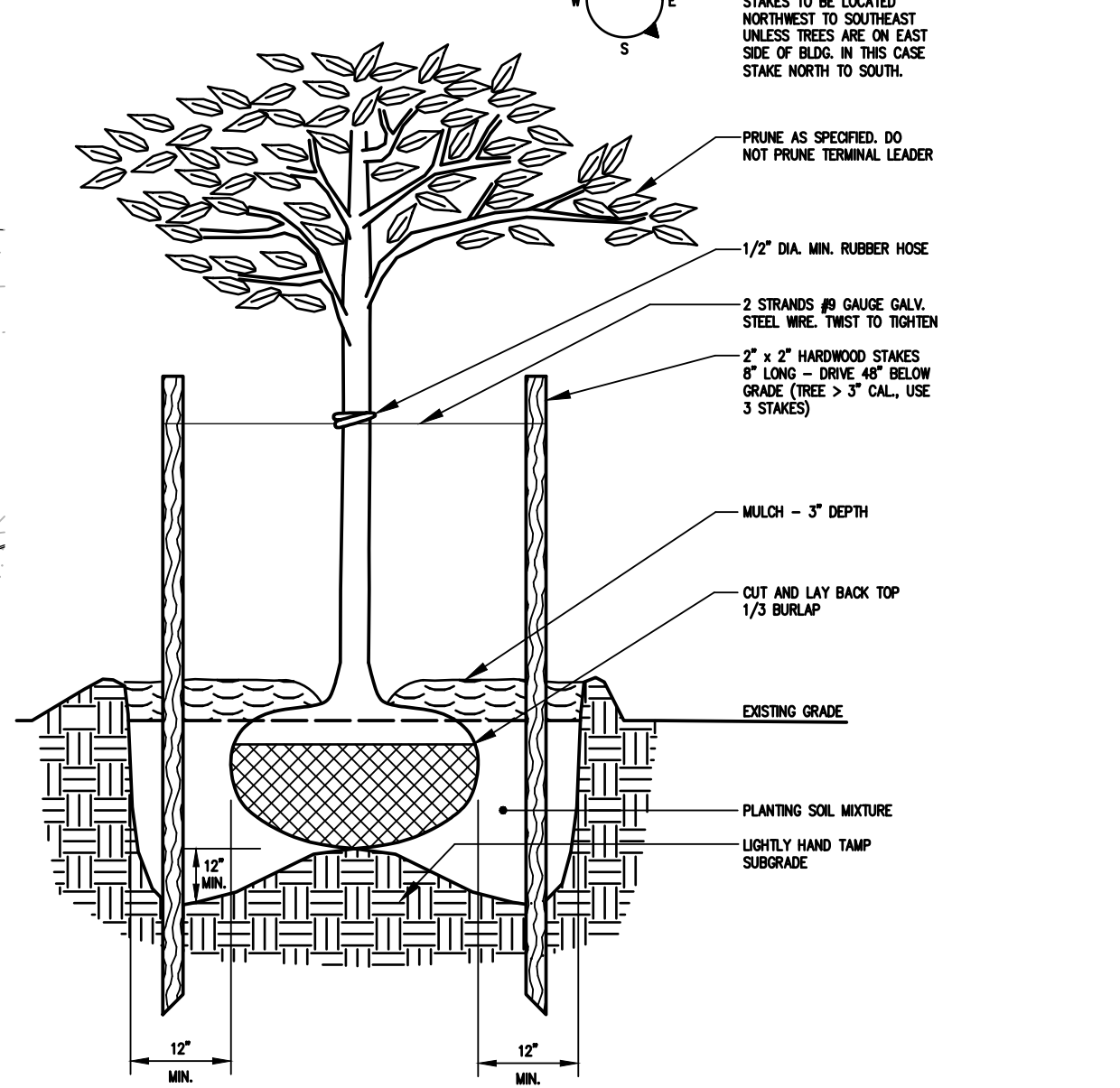
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
2	CC	Cercis canadensis 'Rising Sun'	Rising Sun Redbud	2.5" cal	B&B	
3	CK	Cornus Kousa	Kousa Dogwood	2.5" cal	B&B	
3	CV	Crataegus viridis 'Winter King'	Winter King Hawthorn	2.5" cal	B&B	
2	GT	Gleditsia triacanthos var. 'Inermis'	Honeylocust	2.5" cal	B&B	
2	UA	Ulmus americana 'Valley Forge'	American Elm	2.5" cal	B&B	
1	QR	Quercus rubra	Red Oak	2.5" cal	B&B	
SHRUBS						
35	CA	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	24"	B&B	or cont
23	IG	Ilex glabra 'Compacta'	Inkberry	24"	B&B	or cont
41	TM	Taxus X media 'Densiformis'	Dense Yew	24"	B&B	or cont
PERENNIALS/GRASSES						
6	HH	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	cont.	spacing @ 24"
3	HP	Heuchera 'Southern Comfort'	Coral Bells	#1	cont.	spacing @ 24"
311	SS	Schizachyrium scoparium 'Prairie Blues'	Little Bluestem	#1	cont.	spacing @ 24"



SHRUB PLANTING DETAIL  
N.T.S.



TREE PLANTING DETAIL  
N.T.S.



TREE PLANTING DETAIL  
N.T.S.

REQUIRED LANDSCAPE TABLE

	REQUIRED	PROPOSED
1 TREE PER 40' OF PARCEL PERIMETER: 1,040 LF.	26	12
STREET TREES ≥ 3" CAL. TO REMAIN	—	5
ADDITIONAL OFF SITE TREES	—	5
TOTAL TREES INCLUDED IN PROJECT CALCULATION		22
SHRUBS*	12	99
*MAY SUBSTITUTE 3 SHRUBS PER TREE		
TOTAL SHRUBS		99
THE PROJECT PROVIDES 22 TREES + 99 SHRUBS WHICH EXCEEDS THE LANDSCAPE REQUIREMENT.		

FORESTRY GENERAL NOTES:

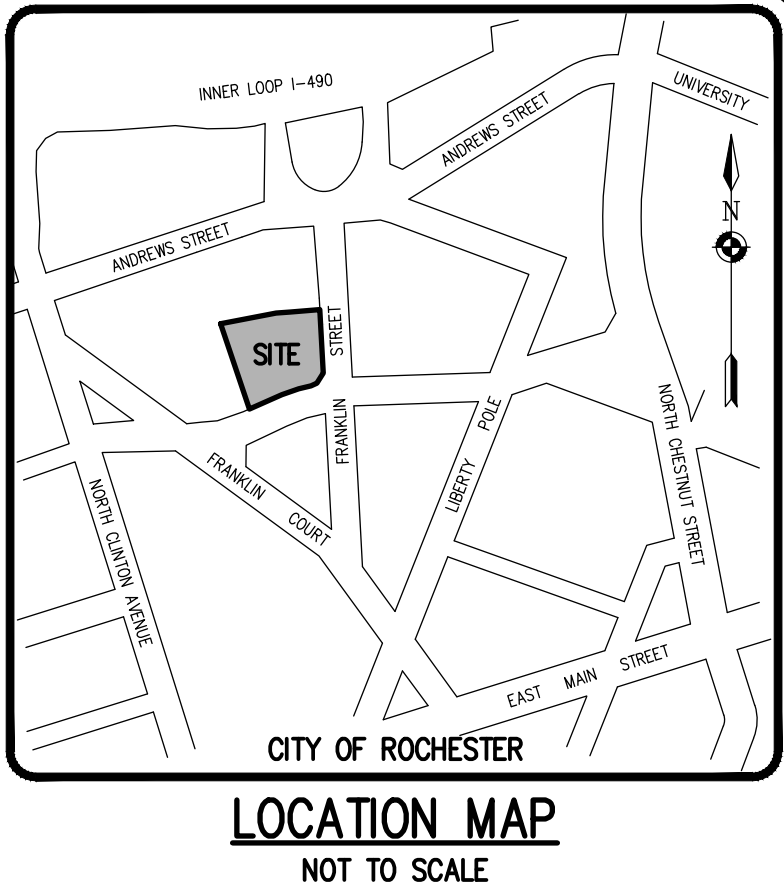
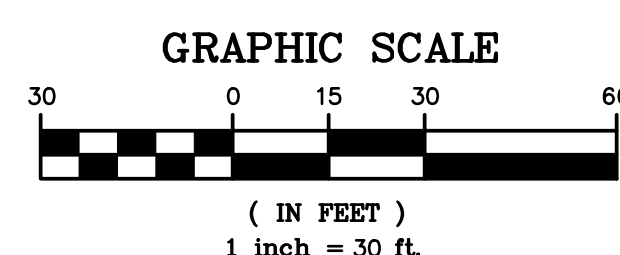
- CONTRACTOR IS TO BE AWARE OF AND FAMILIAR WITH REQUIREMENTS OF SECTIONS 89.9 TREES AND 89.12 PENALTIES OF CITY CODE AS THEY WILL BE STRICTLY ADHERED TO. CITY CODE CAN BE FOUND ON CITY OF ROCHESTER'S WEB SITE AT [HTTP://WWW.CITYOFROCHESTER.GOV/SERVICES](http://www.cityofrochester.gov/services), UNDER 'CITY CHARTER AND CODE ONLINE.'
- CONTRACTOR IS TO PROVIDE PROTECTION FOR ALL EXISTING TREES WITHIN PROJECT LIMITS THROUGHOUT COURSE OF PROJECT TO MINIMIZE, AS MUCH AS POSSIBLE, ANY DAMAGE FROM OCCURRING TO EXISTING TREES AS RESULT OF CONTRACTOR'S OPERATIONS. TREE PROTECTION IS TO CONSIST OF ORANGE CONSTRUCTION SAFETY FENCING OR WOOD RAILS PLACED AROUND AND COMPLETELY ENCOMPASSING EACH EXISTING TREE AND IS TO BE IN PLACE BEFORE ANY WORK IS STARTED PER SECTION S617 TREE PROTECTION AND CONTRACT DOCUMENTS.
- OVERALL EXISTING TREE ROOT SYSTEM MUST REMAIN STRUCTURALLY ADEQUATE FOR EXISTING TREE TO WITHSTAND HEAVY WINDSTORMS. IN AREAS OF CURB/CONCRETE, GUTTER/PAVEMENT WORK, ANY EXISTING TREE ROOTS THAT ARE 2 INCHES OR LARGER IN DIAMETER AND ARE IN CONFLICT WITH SUCH WORK, MUST BE INSPECTED BY CITY FORESTRY BEFORE CUTTING CAN OCCUR. CONTRACTOR MUST CONTACT CITY FORESTRY AT (585) 428-7581 TO MAKE ARRANGEMENTS FOR SUCH INSPECTION. EXISTING TREE ROOTS THAT ARE SMALLER THAN 2 INCHES IN DIAMETER ARE TO BE CUT CLEANLY WITH SHARP IMPLEMENTS.
- IN AREAS OF SIDEWALK CONSTRUCTION, EXISTING TREE ROOTS THAT ARE LOCATED UNDER AREA OF SIDEWALK CONSTRUCTION ARE NOT TO BE CUT. IF ANY OF EXISTING TREE ROOTS ARE 2 INCHES OR LARGER IN DIAMETER, SUB BASE COURSE MATERIAL IS NOT TO BE INSTALLED WITHIN 1 FOOT OF EXISTING TREE ROOT(S), AND CONCRETE IS TO BE POURED OVER EXISTING TREE ROOT(S).
- IN AREAS OF DRIVEWAY, DRIVEWAY APPROACHES AND SIDEWALK ACCESS RAMP CONSTRUCTION, EXISTING TREE ROOTS ARE NOT TO BE CUT BY MEANS OF MECHANICAL TREE ROOT CUTTING MACHINES. IF ANY OF EXISTING TREE ROOTS MUST BE CUT, THEY ARE TO BE CUT MANUALLY WITH SHARP IMPLEMENTS.
- IN AREAS WHERE EXISTING TREE ROOTS BECOME EXPOSED BY CONSTRUCTION ACTIVITIES, THEY ARE TO BE COVERED WITH MULCH, TOPSOIL OR MOISTENED BURLAP, AND WATERED STARTING IMMEDIATELY AFTER EXPOSURE AND CONTINUING UNTIL EXCAVATED AREA IS RESTORED.
- IF HEAVY EQUIPMENT MUST BE DRIVEN ON TREE LAWN OVER TREE ROOT ZONE, PLYWOOD MUST BE PLACED ON GROUND/TREE LAWN AREA SO AS TO DISPERSE COMPACTION AND PREVENT SOIL RUTTING.

LANDSCAPE NOTES:

- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z601-2004.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
- PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
- STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
- PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS:  
FOR BUILDING FOUNDATION PLANTING BEDS, PROVIDE A 3" LAYER OF WASHED COBBLES 1"-3" IN SIZE. PROVIDE WEED BARRIER MATERIAL BETWEEN SOIL AND MULCH LAYER.  
FOR ALL OTHER LANDSCAPE PLANTING BEDS PROVIDE SHREDDED HARDWOOD MULCH PER DETAILS.  
SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.
- A. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:

	% BY WEIGHT	% BY PURITY	% GERM
'REPELL', 'GILATION' & 'MORNING STAR'	40	85	85
'PERENNIAL RYE GRASS'	20	97	80
'JAMESTOWN II', 'FORTRESS', 'ENSVLVA'	40	85	80
'RED FESCUE'			
'BARON' & 'MIDNIGHT'			
KENTUCKY BLUEGRASS	40	85	80

  
SEEDING RATE: 6.0 LBS PER 1,000 SF.  
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.  
STARTING FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF.  
PLEASE REFER TO BME DRAWING # 2744-09 / CONSTRUCTION EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS IE.: TEMPORARY SEEDING AND SPECIALIZED SEED MIXES.
- PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDED AREAS UNTIL FINAL ACCEPTANCE. ONCE THE LANDSCAPING IS ACCEPTED BY THE OWNER, THE LANDSCAPE MAINTENANCE IS TO BE PROVIDED BY OWNER/ OWNER REPRESENTATIVE FOR THE (1) ONE YEAR MAINTENANCE GUARANTEE PERIOD.
- IN THE EVENT EXISTING STREET TREES WITHIN THE CITY RIGHT-OF-WAY CANNOT BE PROTECTED AND MAINTAINED, THE TREE IS TO BE REPLACED IN-KIND.



Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "Altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

	RRS	RCJ	US	DATE	BY
7					
6					
5					
4	REVISED PER CLIENT COMMENTS	3/7/22			
3	REVISED PER CITY OF ROCHESTER COMMENTS	2/8/22			
2	REVISED PER CITY OF ROCHESTER COMMENTS	02/09/22			
1	REVISED PER MOON, WATER BUREAU, AND MCPW COMMENTS	02/04/22			

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
PHONE 585-377-7360  
FAX 585-377-7309  
10 LIFT BRIDGE LANE EAST  
ROCHESTER, NY 14615  
WWW.BMEERCCON



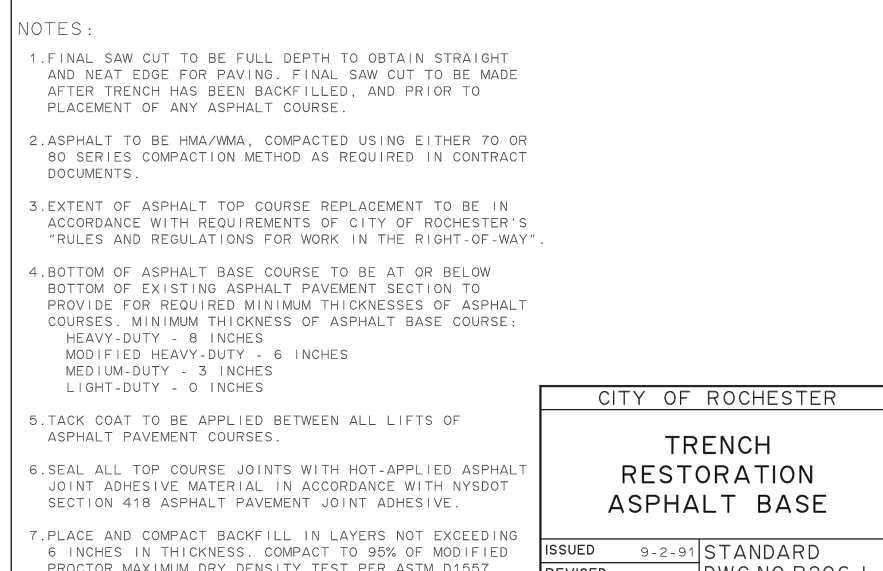
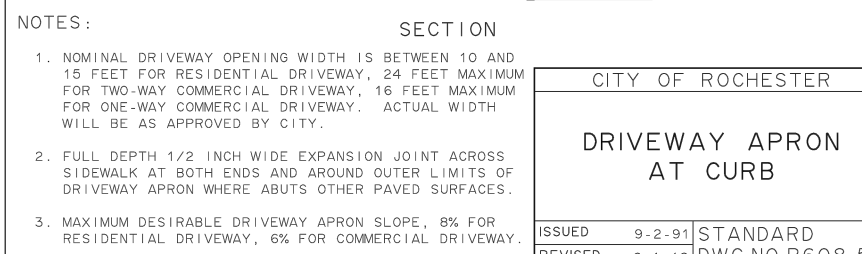
**ALTA VISTA AT ST. JOSEPH'S PARK**  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
ALTA VISTA HOLDING LLC  
854 CLIFFORD AVE.  
ROCHESTER, NY 14621  
PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER  
**JL SWEDROCK**  
PROJECT ENGINEER  
**RR. SPURR**  
DRAWN BY  
**R. JONES**  
SCALE  
1" = 30'  
DATE ISSUED  
DECEMBER 07, 2021  
PROJECT NO.  
**2744**  
DRAWING NO.  
**10**









## STANDARD PAVEMENT SECTION

N.T.S.

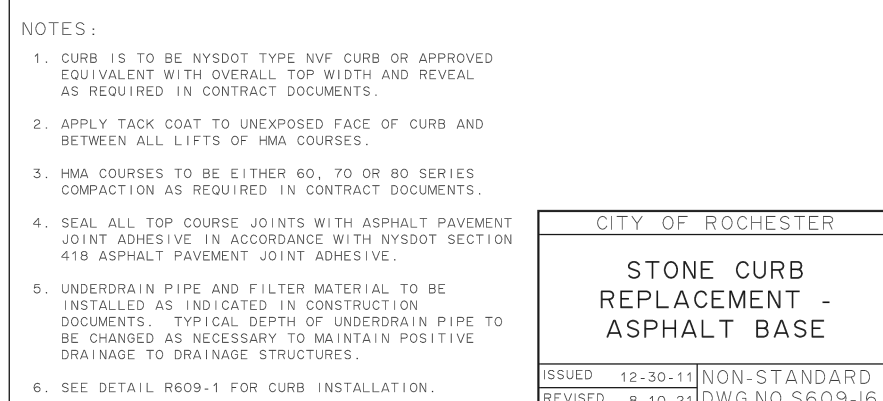
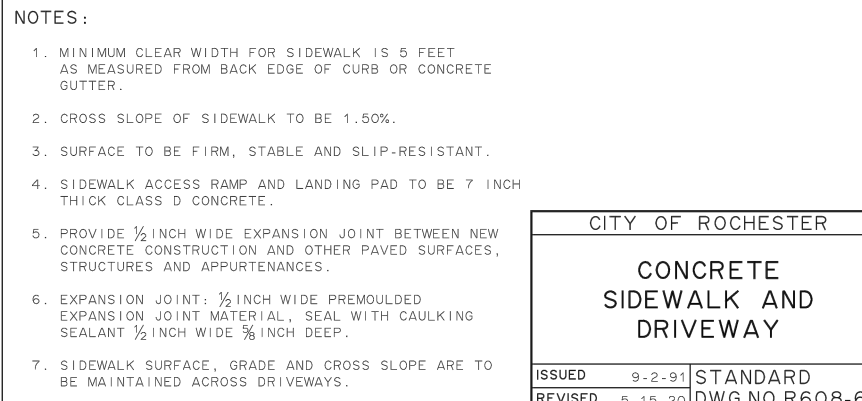


\*NOTES\*

1. SIGN TO BE MOUNTED TO A 2" DIAM STEEL PIPE SET IN 3'6" DEEP BY 10" DIA. CONCRETE 3000 PSI. BASE, SET BELOW GRADE.
2. SIGN TO BE MOUNTED 6.0' FROM FINISHED GRADE TO BOTTOM OF SIGN.

## ACCESSIBLE PARKING SIGN DETAIL

N.T.S.

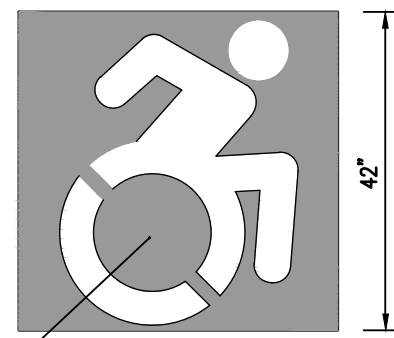


### TYPICAL CONCRETE STEPS – SECTION

N.T.S.

### PARKING STRIPING DETAIL

**N.T.S.**



## ACCESSIBLE PARKING

## DETAIL

## DETAILS

**SECTION VIEW**

### DECORATIVE FENCE DETAIL

## 二、FE

- NOTES:**
1. RAMPS SHALL BE BUILT AT A UNIFORM SLOPE NOT TO EXCEED 1:12.
  2. THE SURFACE OF ALL SIDEWALK RAMPS IS TO BE STABLE, FIRM, AND SLIP-RESISTANT. (I.E. COARSE BROOM FINISH PERPENDICULAR TO THE RAMP SLOPE IS ACCEPTABLE).

## ACCESSIBLE RAMP WITH DETECTABLE WARNING FIELD DETAIL

N.T.S.

**NOTE:**

1. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNITY (THE DOME AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.  
  
DETECTABLE WARNING UNIT DIMENSIONS:
2. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE SIDE FLARES.  
  
DOME ALIGNMENT:
3. THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND STREET.  
  
COLOR REQUIREMENTS:
4. THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.  
  
DETECTABLE WARNING LOCATIONS:
5. DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5' TO FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12" WHERE TRAVERSABLE CURB IS USED).
6. THE EDGE OF THE DETECTABLE WARNING FIELD NEAREST TO A RAILROAD CROSSING SHALL BE 6'-0" MIN. AND 15'-0" MAX FROM THE CENTERLINE OF THE RAILROAD.

### DETECTABLE WARNING FIELD DETAIL

N.T.S

### PLAN

### DUMSTER ENCLOSURE DETAIL

**NCLE**

**NOTE: MATERIALS  
TO MATCH BUILDING  
ARCHITECTURAL  
MATERIALS**

### Drawing Alteration

The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:

"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

7						
6						
5						
4						
3	REVISED PER CITY OF ROCHESTER COMMENTS		3/4/22	RRS		
2	REVISED PER CITY OF ROCHESTER COMMENTS		2/18/22	V/S		
1	REVISED PER MCDON, WINTER BUREAU, AND MCPW COMMENTS		12/04/22	V/S		
	REVISIONS		DATE	BY		

BME ASSOCIATES



**VISTA AT ST. JOSEPH'S PARK**  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE

**FINAL  
DETAIL SHEET**

PROJECT **ALTI**

LOCATION

CLIENT

DRAWING TITLE

PROJECT MANAGER	
JL. SWEDROCK	
PROJECT ENGINEER	
RR. SPURR	
DRAWN BY	
V.J. SCHLAGETER	
SCALE	DATE ISSUED
N.T.S.	DECEMBER 07, 2021
PROJECT NO.	

2744

DRAWING NO.

10

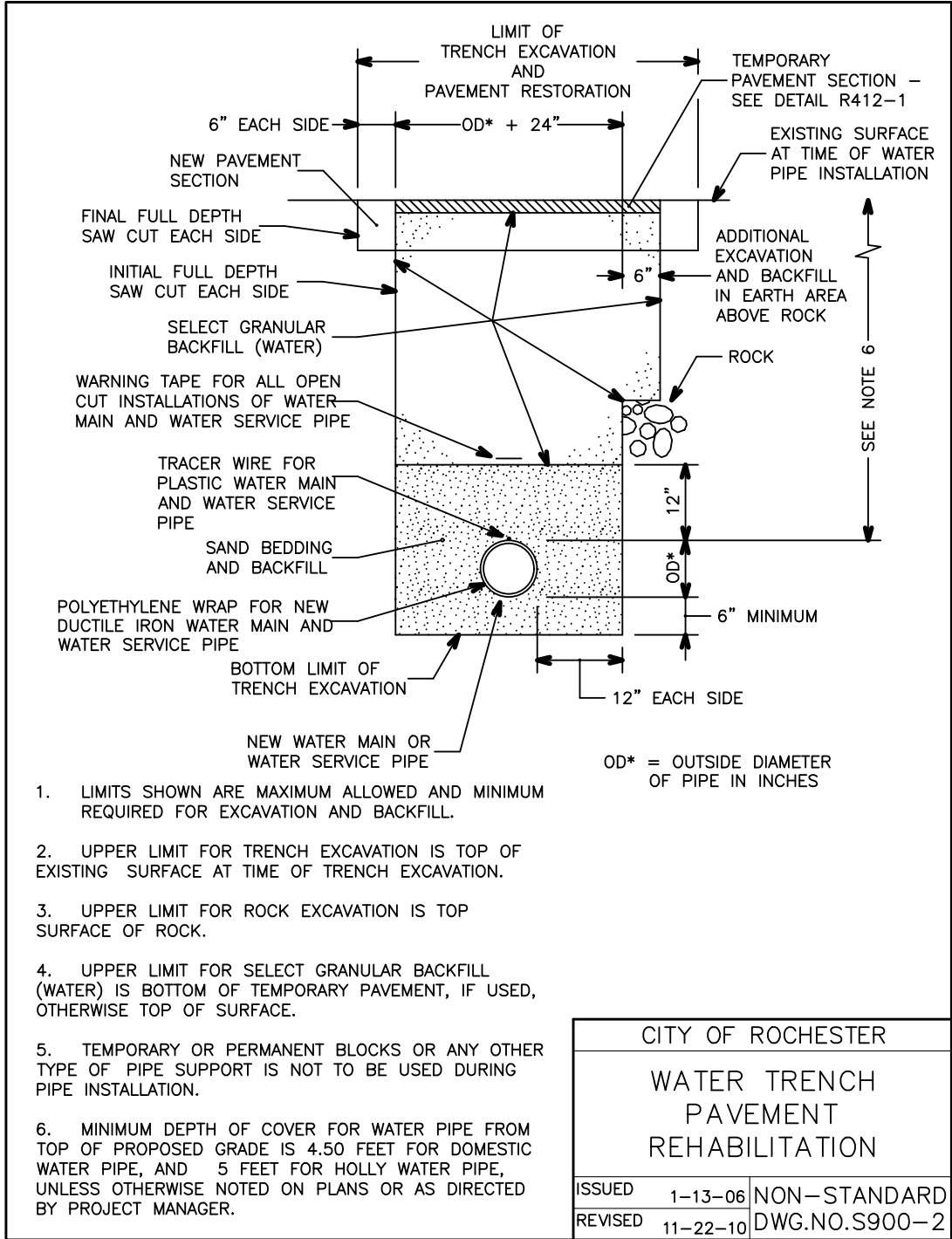
12

(SHEET 1 of 5)







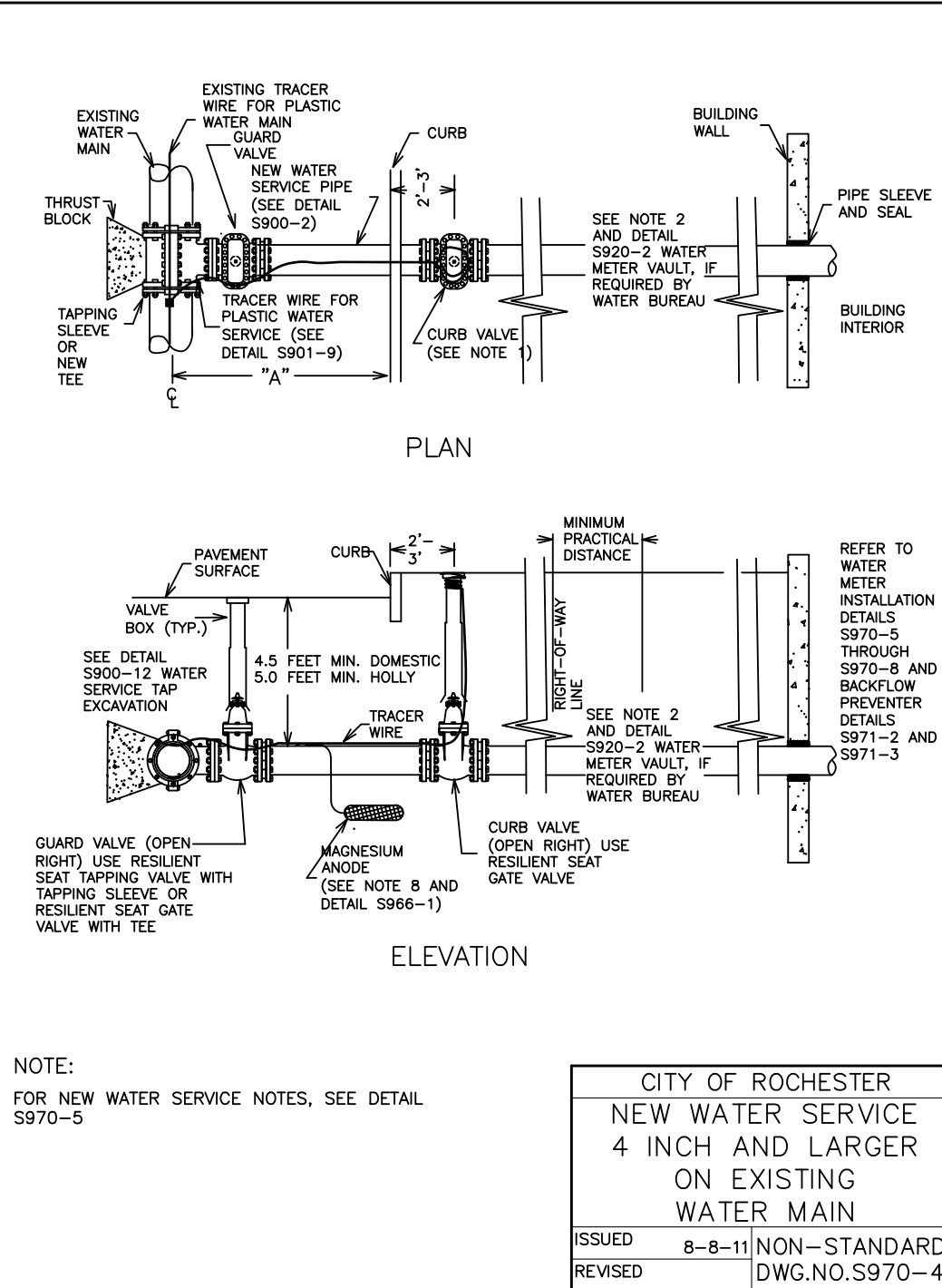


NOTES:

1. IF DIMENSION "A" BETWEEN THE CENTERLINE OF THE WATER MAIN AND THE FACE OF CURB IS 6 FEET OR LESS, THE CURB VALVE IS NOT REQUIRED. CURB VALVE IS REQUIRED WHEN DIMENSION "A" EXCEEDS 6 FEET.
2. A METER VAULT MAY BE REQUIRED FOR A DOMESTIC SERVICE, WHEN THE WATER SERVICE LENGTH AS MEASURED FROM THE STREET RIGHT-OF-WAY LINE TO THE BUILDING VAULT, EXCEEDS 100 FEET. WHEN THE WATER SERVICE LENGTH EXCEEDS 100 FEET, THE WATER BUREAU WILL REVIEW EACH NEW WATER SERVICE PLAN TO DETERMINE IF THE METER SHOULD EITHER BE PLACED: INSIDE OF THE HEATED BUILDING; IN A METER VAULT OUTSIDE OF THE BUILDING NEAR THE RIGHT-OF-WAY LINE; OR IN A HEATED ABOVE GROUND ENCLOSURE NEAR THE RIGHT-OF-WAY LINE.
3. ALL JOINTS ON NEW WATER SERVICE PIPE, FITTINGS AND VALVES SHALL BE MECHANICALLY JOINTED. ALL DOMESTIC CONCRETE TRACER BUSTERS ARE ALSO REQUIRED AT FITTINGS PER DETAIL DRAWINGS S900-4, S900-5, S900-9 AND S900-10.
4. A BACKFLOW PREVENTION DEVICE IS REQUIRED ON ALL DOMESTIC WATER SERVICES  $\frac{1}{2}$  INCH AND LARGER.
5. NEW WATER SERVICE SHALL BE PRESSURE TESTED FROM GUARD VALVE TO WITHIN 5 FEET OF EXTERIOR BUILDING WALL. PRESSURE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATION S900-3.05, PIPE, FITTING AND VALVE JOINTS ON PORTION OF SERVICE NOT EXPOSED TO PREPARE TEST SHALL BE LEAK TEST AT NORMAL OPERATING PRESSURE.
6. WHEN THE LENGTH OF THE NEW WATER SERVICE EXCEEDS 50 FEET, WATER SERVICE SHALL BE DISINFECTED USING THE CONTINUOUS FLOOD METHOD IN ACCORDANCE WITH SPECIFICATION S900-3.06, FOR WATER SERVICES LESS THAN 50 FEET, ALL WATER SERVICE PIPE, FITTINGS AND VALVES SHALL BE SPRAY OR SWAB DISINFECTED WITH 1%-5% CHLORINE SOLUTION.
7. ON PLASTIC WATER SERVICES, WHEN DIMENSION "A" IS 6 FEET OR LESS AND THE CURB VALVE IS NOT REQUIRED, THE TRACER BUSTER SHALL BE INSTALLED TO SERVICE TO RIGHT-OF-WAY LINE AND INSTALL TRACER WIRE TERMINATION BOX AT RIGHT-OF-WAY.
8. ONE MAGNESIUM ANODE IS TO BE INSTALLED ON EACH PIECE OF NEW DUCTILE IRON WATER SERVICE PIPE BETWEEN THE WATER MAIN AND RIGHT-OF-WAY LINE. SEE DETAIL S966-2, USE 17 POUND ANODE ON 4 INCH AND 6 INCH PIPE, 32 POUND ANODE ON 8 INCH AND 10 INCH PIPE AND 48 POUND ANODE ON 12 INCH PIPE.
9. ALL DUCTILE IRON WATER SERVICE PIPE, FITTINGS AND VALVES LOCATED WITHIN THE STREET RIGHT-OF-WAY ARE TO BE INSTALLED IN POLYETHYLENE ENCASEMENT.
10. IF PLANS CALL FOR THE INSTALLATION OF A TAPPING SLEEVE AND VALVE, BUT THE WATER MAIN DOES NOT GO TO SPREADER, A TAPPING SLEEVE AND SERVICE TEE WITH A SERVICE VALVE MAY NEED TO BE CUT INTO THE EXISTING WATER MAIN.

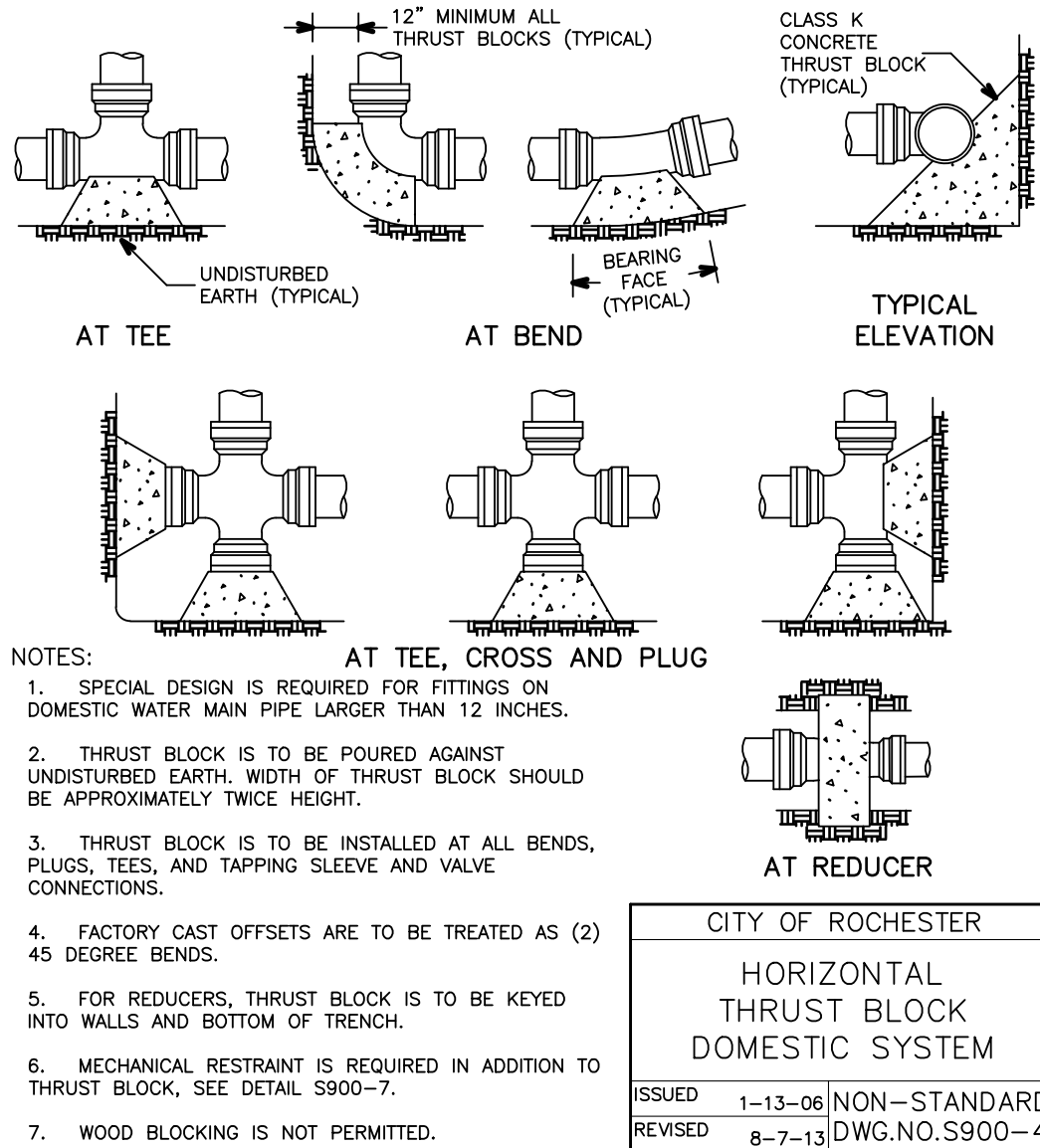
11 PROPOSED DEVIATIONS TO THE APPROVED PLANS REQUIRE WATER BUREAU AUTHORIZATION BEFORE BEGINNING THE WORK.

CITY OF ROCHESTER		
NEW WATER SERVICE		
4 INCH AND LARGER		
ON EXISTING		
WATER MAIN - NOTES		
ISSUED	8-11-11	NON-STANDARD
REVISED		DWG.NO.S970-5

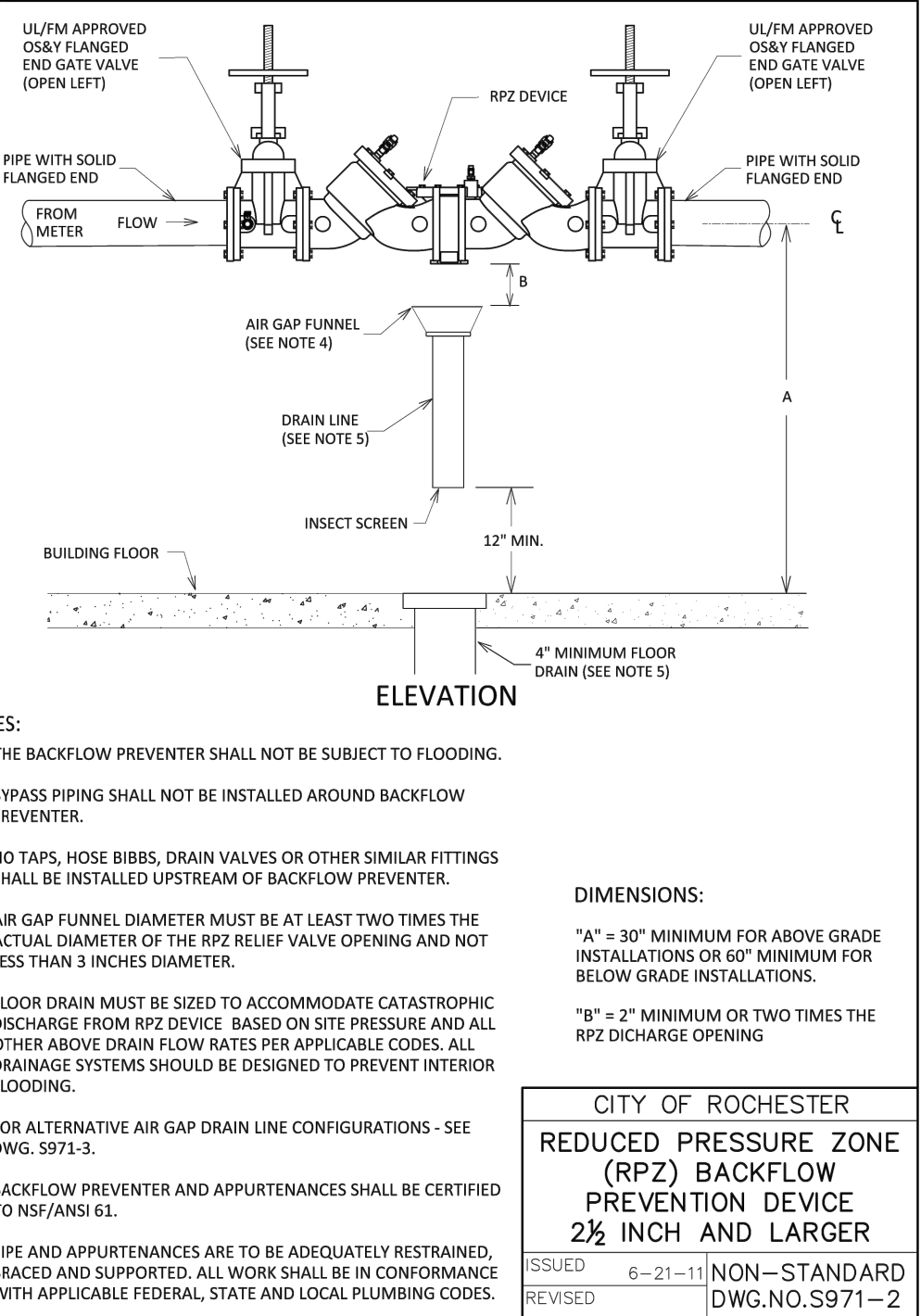


CITY OF ROCHESTER		
NEW WATER SERVICE		
4 INCH AND LARGER		
ON EXISTING		
WATER MAIN		
ISSUED	8-8-11	NON-STANDARD
REVISED		DWG.NO.S970-4

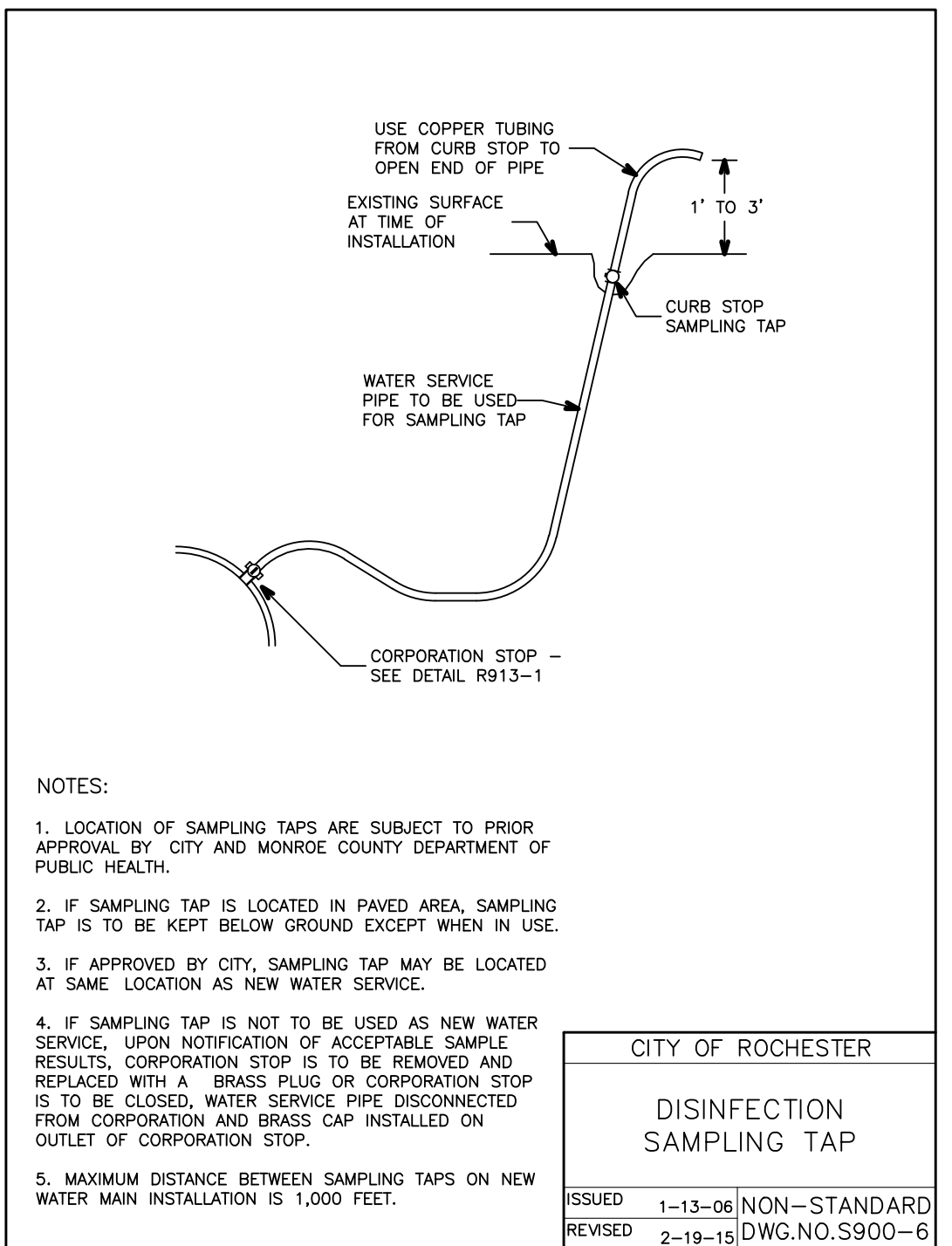
AREA OF BEARING FACE OF THRUST BLOCK IN SQUARE FEET (AREA BASED ON INTERNAL PRESSURE OF 150 PSIG AND SOIL BEARING PRESSURE OF 2000 PSF) (SEE NOTE 1)							
PIPE SIZE	BEND				TEE PLUG	REDUCER	
	90°	45°	22-1/2°	11-1/4°		SIZE	AREA
4" - 6"	4	2.5	1.5	1	3	6" x 4"	2
8"	7	4	2	1	5	8" x 6"	2.5
12"	14.5	8	4	2	10.5	12" x 8"	5.5



CITY OF ROCHESTER		
HORIZONTAL THRUST BLOCK DOMESTIC SYSTEM		
ISSUED	1-13-06	NON-STANDARD
REVISED	8-7-13	DWG.NO.S900-4

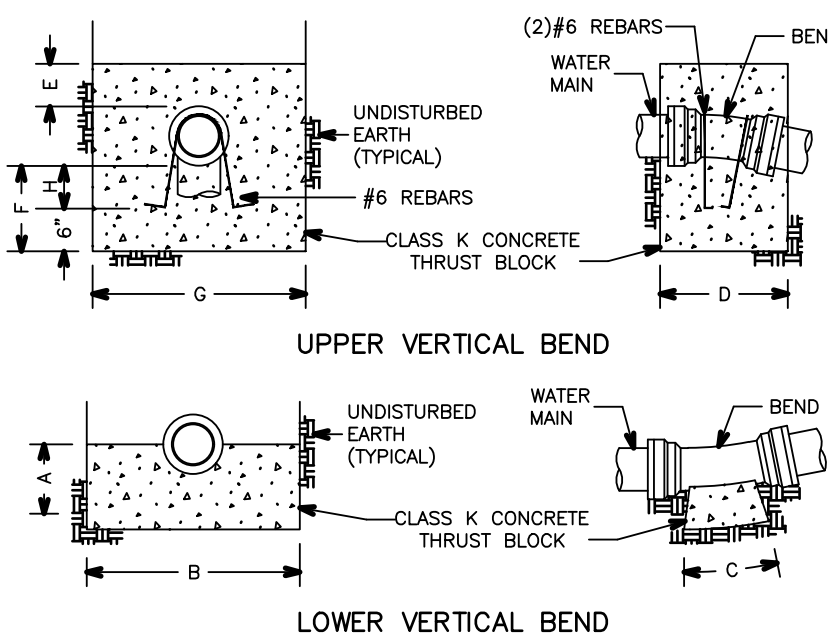


CITY OF ROCHESTER		
REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE 2½ INCH AND LARGER		
ISSUED	6-21-11	NON-STANDARD
REVISED		DWG.NO.S971-2



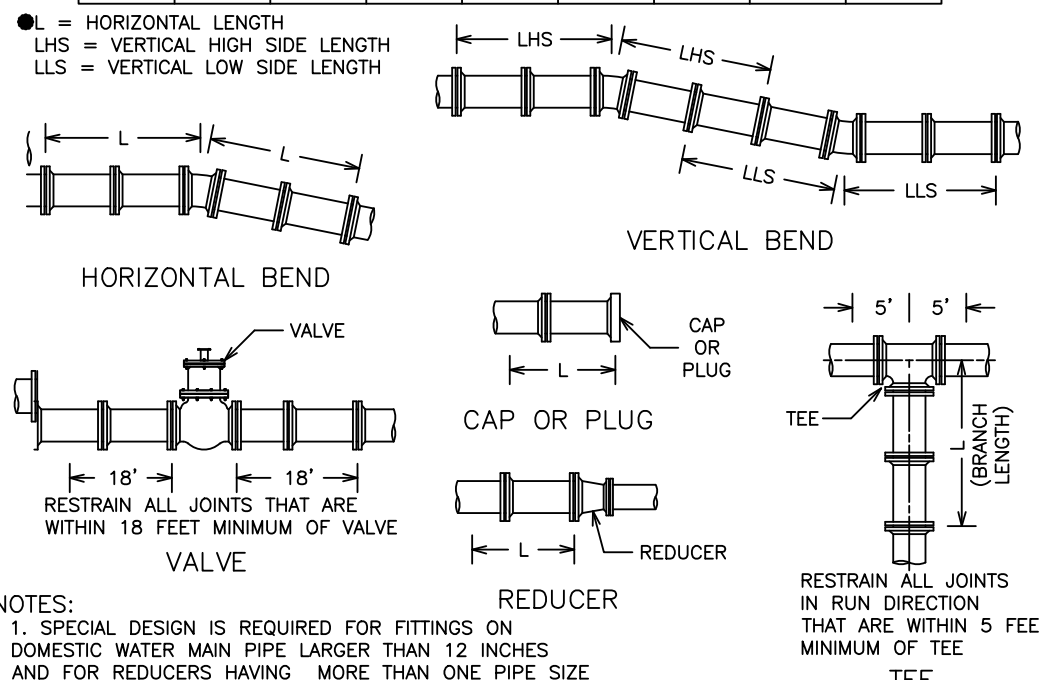
CITY OF ROCHESTER		
DISINFECTION SAMPLING TAP		
ISSUED	1-13-06	NON-STANDARD
REVISED	2-19-15	DWG. NO. S900-6

PIPE SIZE (INCHES)	BEND	TOP SECTION MINIMUM VOLUME CONCRETE	MINIMUM DIMENSIONS (IN FEET)							
			A	B	C	D	E	F	G	H
6"	11-1/4"	0.25 CY	1.0	2.5	1.0	1.5	1.0	2.5	0.5	
	22-1/2"	0.50 CY	1.0	2.5	1.0	1.5	1.0	2.5	1.5	
	45"	0.95 CY	1.0	2.5	1.0	3.0	1.5	2.5	1.5	
	90"	1.35 CY	1.0	2.5	1.0	3.5	1.5	2.5	1.5	
8"	11-1/4"	0.45 CY	1.0	2.7	1.0	1.5	1.0	1.5	2.7	
	22-1/2"	0.90 CY	1.0	2.7	1.0	2.5	1.0	2.7	1.5	
	45"	1.65 CY	1.0	2.7	1.5	3.5	1.5	3.0	1.5	
	90"	2.35 CY	1.5	2.7	3.0	4.0	2.0	3.0	2.5	
12"	11-1/4"	1.05 CY	1.0	3.0	1.5	2.5	1.5	3.0	1.5	
	22-1/2"	2.00 CY	1.0	3.0	1.5	4.0	2.0	3.0	1.5	
	45"	3.70 CY	1.5	3.0	3.0	6.0	2.0	3.5	2.5	
	90"	5.20 CY	1.5	3.0	5.0	5.5	2.5	3.5	4.0	

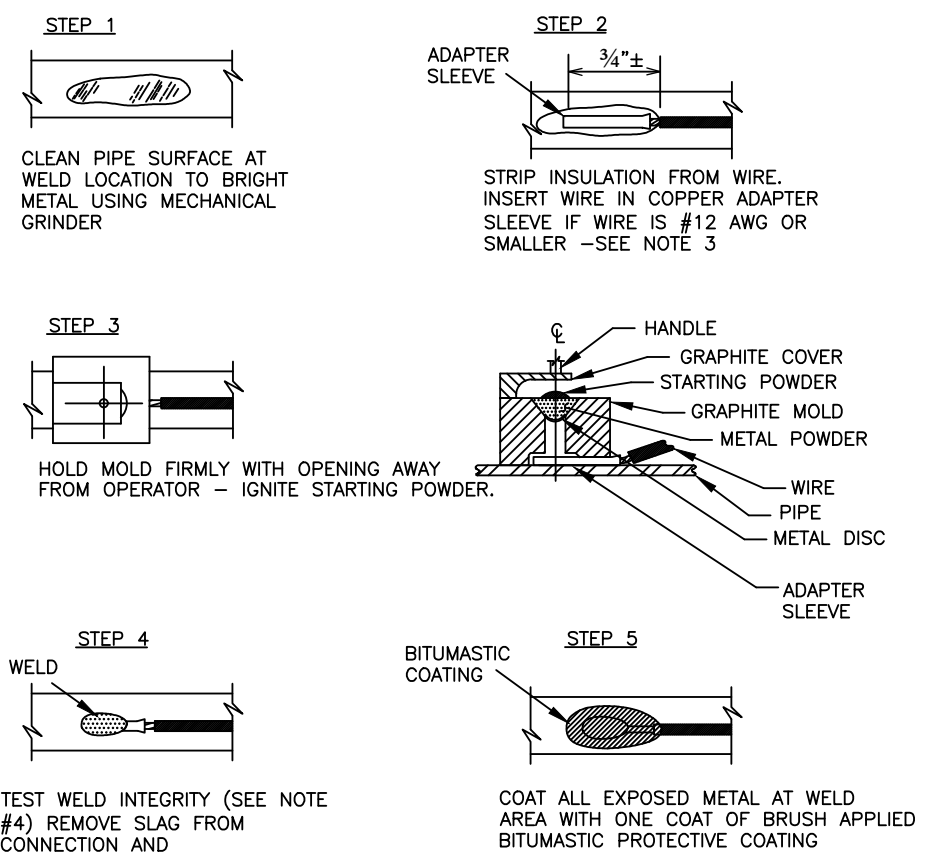


CITY OF ROCHESTER		
VERTICAL THRUST BLOCK DOMESTIC SYSTEM		
ISSUED	1-13-06	NON-STANDARD
REVISED	6-1-09	DWG.NO.S900-5

MINIMUM RESTRAINED LENGTH FOR WATER MAIN PIPE ADJACENT TO FITTINGS (IN FEET) (BASED ON INTERNAL PRESSURE OF 150 PSIG) (SEE NOTE 1)								
PIPE SIZE (INCHES)	MINIMUM LENGTH (FEET)	90°	45°	22-1/2°	11-1/4°	REDUCER	TEE	CAP PLUG
4" - 6"	LHS	16	7	3	2	29	16	56
	LLS	16	6	3	2	---	---	---
	L	20	9	4	2	31	33	74
8"	LHS	24	31	15	8	---	---	---
	LLS	20	8	4	2	---	---	---
	L	28	12	6	3	56	64	105
12"	LHS	31	44	21	11	---	---	---
	LLS	28	11	5	3	---	---	---



CITY OF ROCHESTER		
WATER MAIN PIPE RESTRAINT DOMESTIC SYSTEM		
ISSUED	5-8-08	NON-STANDARD
REVISED	9-1-09	DWG.NO.S900-7



CITY OF ROCHESTER	
THERMITE WELD DETAILS	
ISSUED 10-17-08	NON-STANDARD
REVISED 12-28-10	DWG.NO.S966-2

7						
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3						
2	REINSED PER CITY OF ROCHESTER COMMENTS			2/18/22	VS	
1	REINSED PER MODOH, WATER BUREAU, AND MCPW COMMENTS			02/04/22	VS	
	REVISIONS			DATE	BY	

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

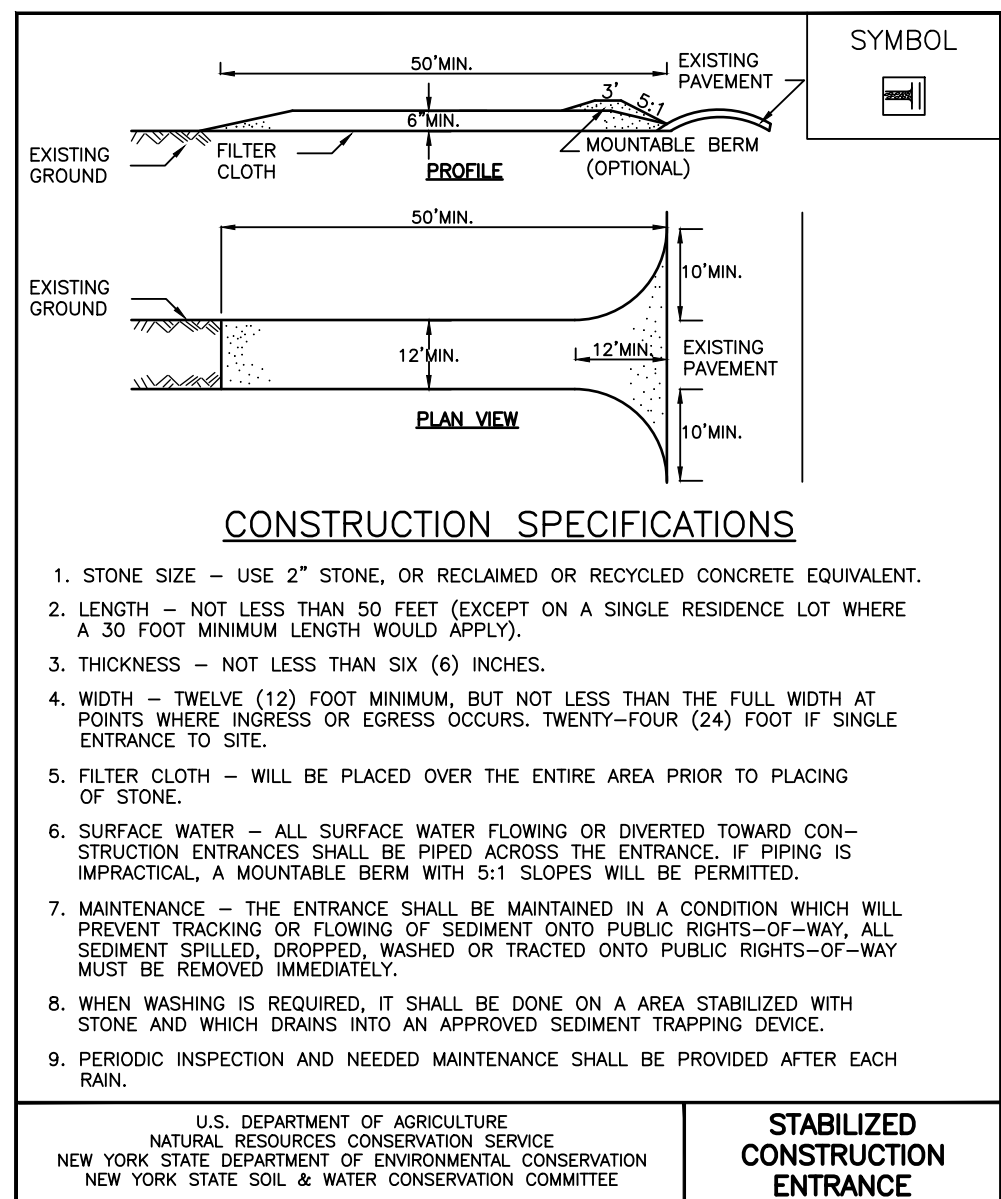
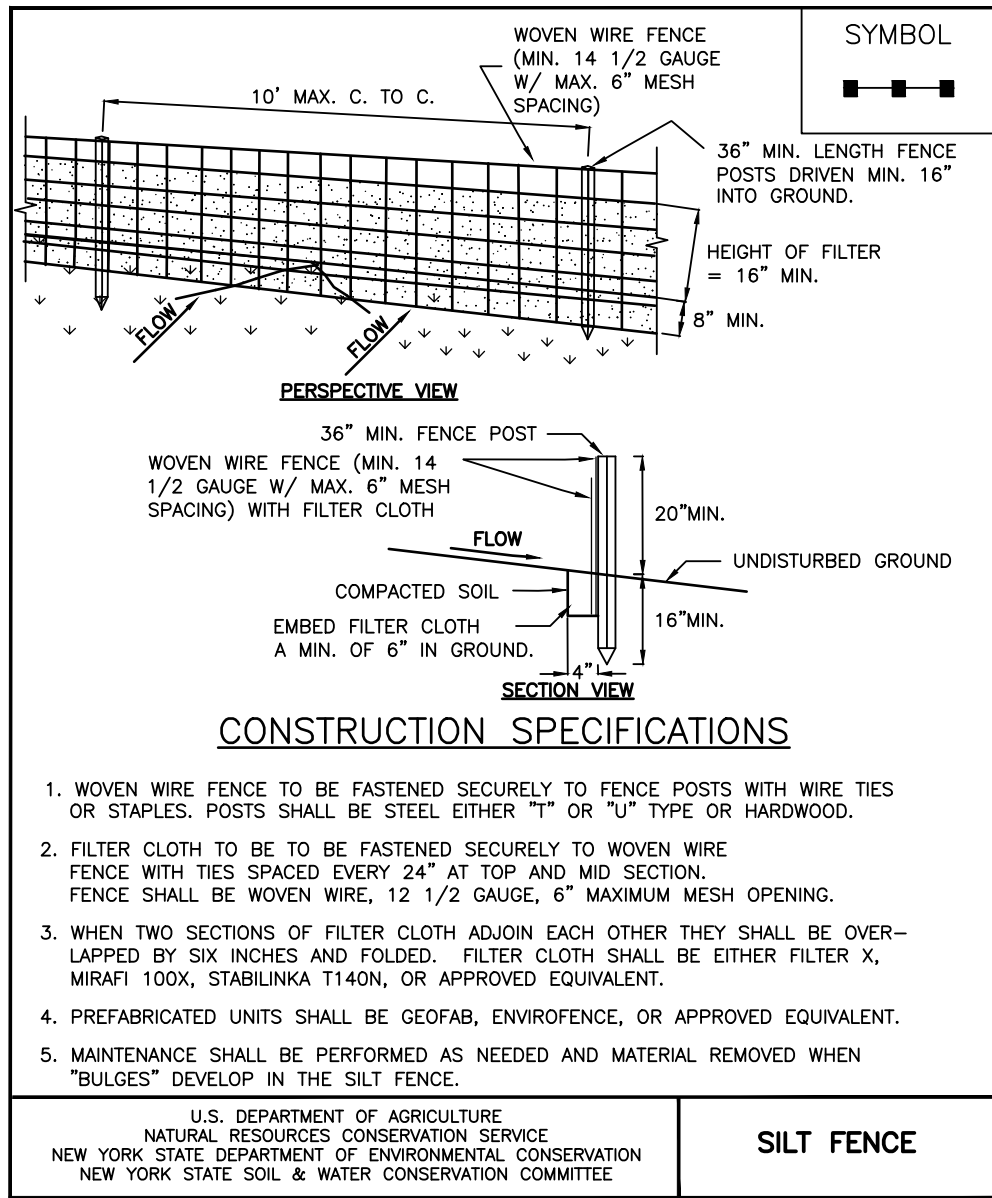
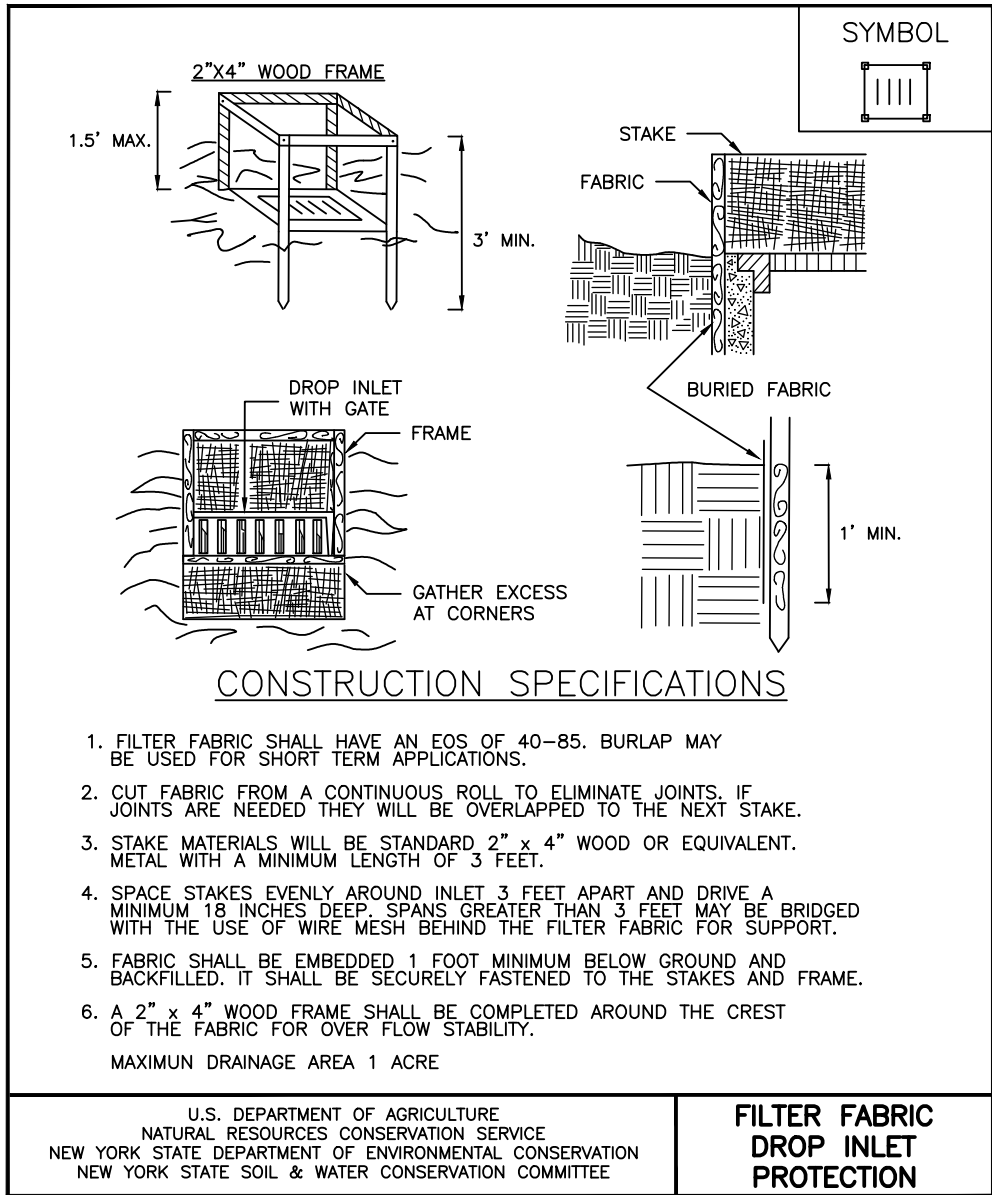
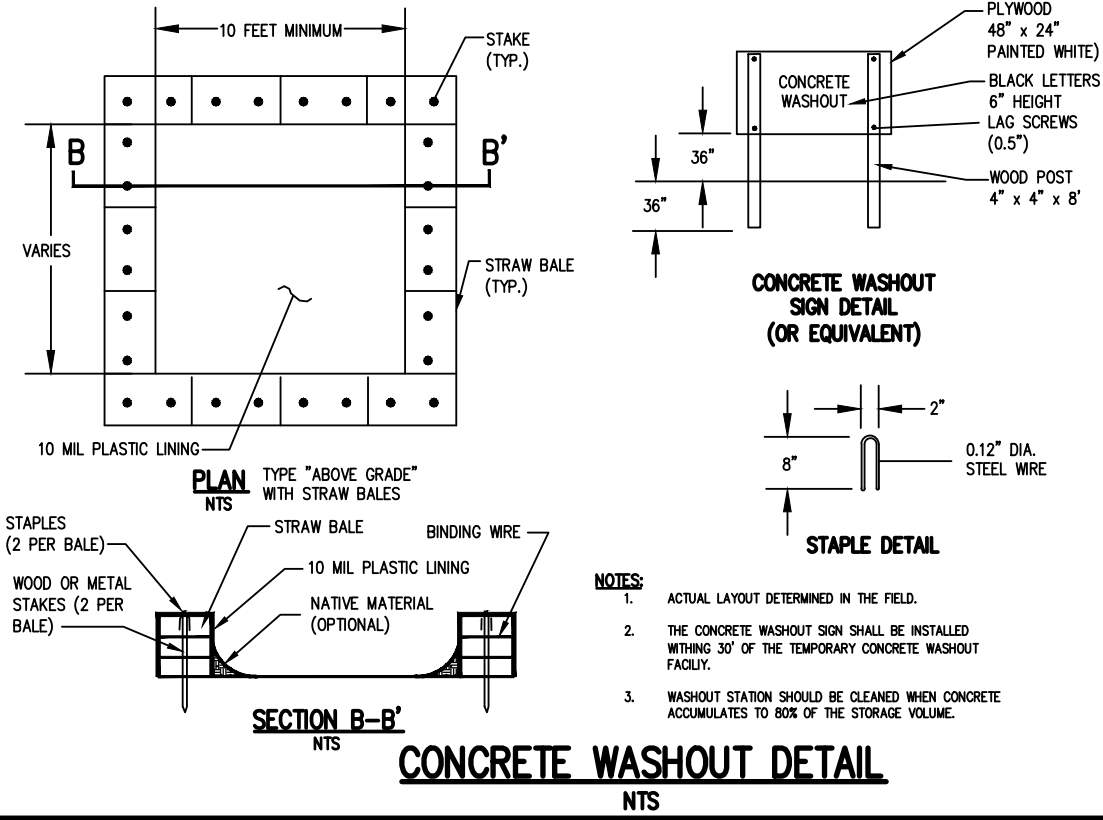
10 LIFT BRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
PHONE 585-377-7360  
FAX 585-377-7309  
WWW.BMEPC.COM



PROJECT	ALTA VISTA AT ST. JOSEPH'S PARK
LOCATION	CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
CLIENT	ALTA VISTA HOUSING, LLC 984 CLIFFORD AVE. ROCHESTER, NY 14621
DRAWING TITLE	FINAL DETAIL SHEET

PROJECT MANAGER	
J.L. SWEDROCK	
PROJECT ENGINEER	
RR. SPURR	
DRAWN BY	
V.J. SCHLAGETER	
SCALE	DATE ISSUED
N.T.S.	DECEMBER 07, 2021
PROJECT NO.	





**NOT APPROVED**  
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

7			
6			
5			
4			
3			
2	REVISED PER CITY OF ROCHESTER COMMENTS	2/19/22	US
1	REVISED PER MCDON, WATER BUREAU, AND MOPW COMMENTS	02/04/22	US
REVISIONS		DATE	BY

**BME** | ASSOCIATES  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

PHONE 585-577-7360  
FAX 585-577-7309

10 LIFT BRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
WWW.BMEFCC.COM



PROJECT **ALTA VISTA AT ST. JOSEPH'S PARK**

LOCATION CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE

CLIENT ALTA VISTA HOLDING LLC  
954 CLIFFORD AVE.  
ROCHESTER, NY 14621

DRAWING TITLE **FINAL  
DETAIL SHEET**

PROJECT MANAGER	
J.L. SWEDROCK	
PROJECT ENGINEER	
RR. SPURR	
DRAWN BY	
V.J. SCHLAGETER	
SCALE	DATE ISSUED
N.T.S.	DECEMBER 07, 2021
PROJECT NO.	

2744  
DRAWING NO.  
15  
(SHEET 4 of 5)







Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

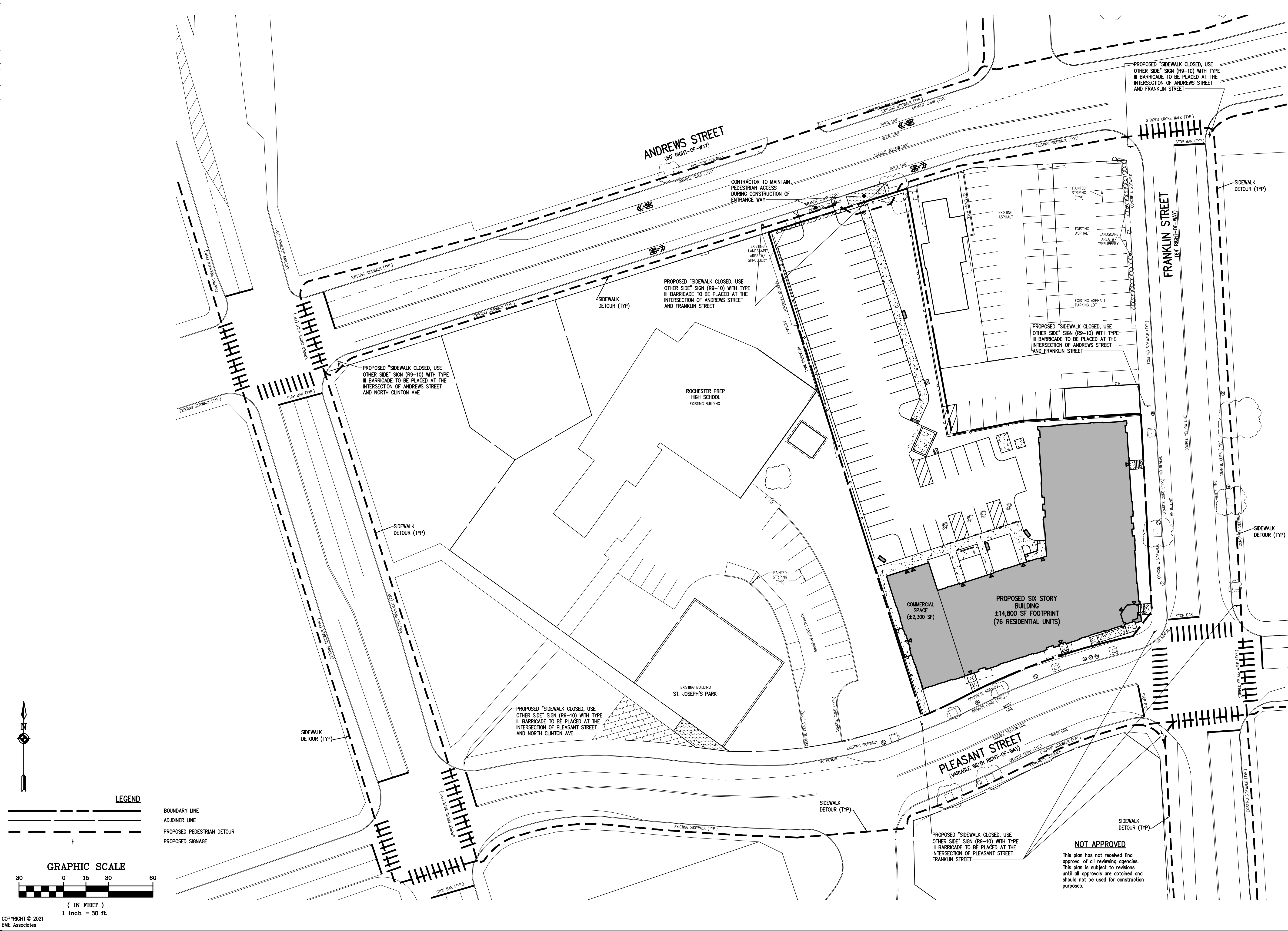
REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2	2/19/22	US
1	02/04/22	US

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
10 LIFT BRIDGE LANE EAST  
ROCHESTER, NEW YORK 14650  
WWW.BMEERCCON  
PHONE 585-377-7360  
FAX 585-377-7309



**ALTA VISTA AT ST. JOSEPH'S PARK**  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
PROJECT LOCATION CLIENT  
ALTA VISTA HOUSING LLC  
85 CROFT STREET  
ROCHESTER, NY 14621  
PROJECT MANAGER  
J. SWEDROCK  
PROJECT ENGINEER  
RR. SPURR  
DRAWN BY  
VJ. SCHLAGETER  
SCALE  
1" = 30'  
DATE ISSUED  
DECEMBER 07, 2021  
PROJECT NO.  
2744  
DRAWING NO.  
17

**FINAL**  
**SIDEWALK DETOUR PLAN**  
DRAWING TITLE







FIRST FLOOR













FOURTH FLOOR





FIFTH FLOOR





SIXTH FLOOR



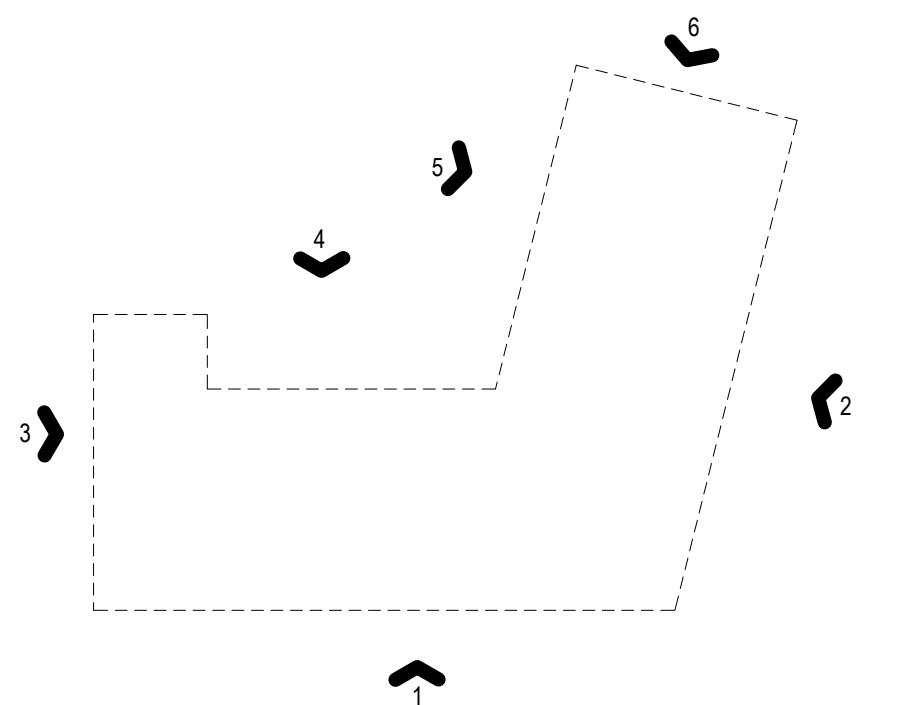
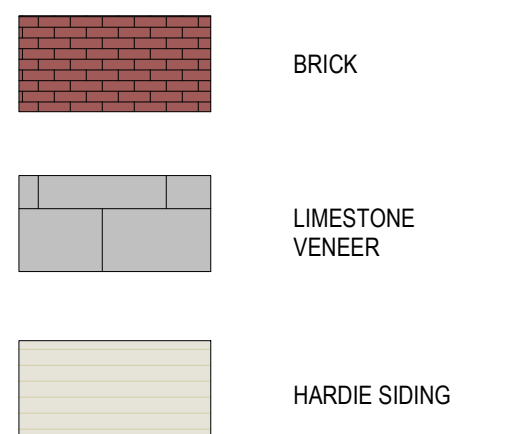


① SOUTH ELEVATION - 1/8" = 1'-0"



② EAST ELEVATION - 1/8" = 1'-0"

#### MATERIALS LEGEND







③ NORTH ELEVATION - 1/8" = 1'-0"  
1/8" = 1'-0"



① NORTH ELEVATION 2 - 1/8" = 1'-0"  
1/8" = 1'-0"



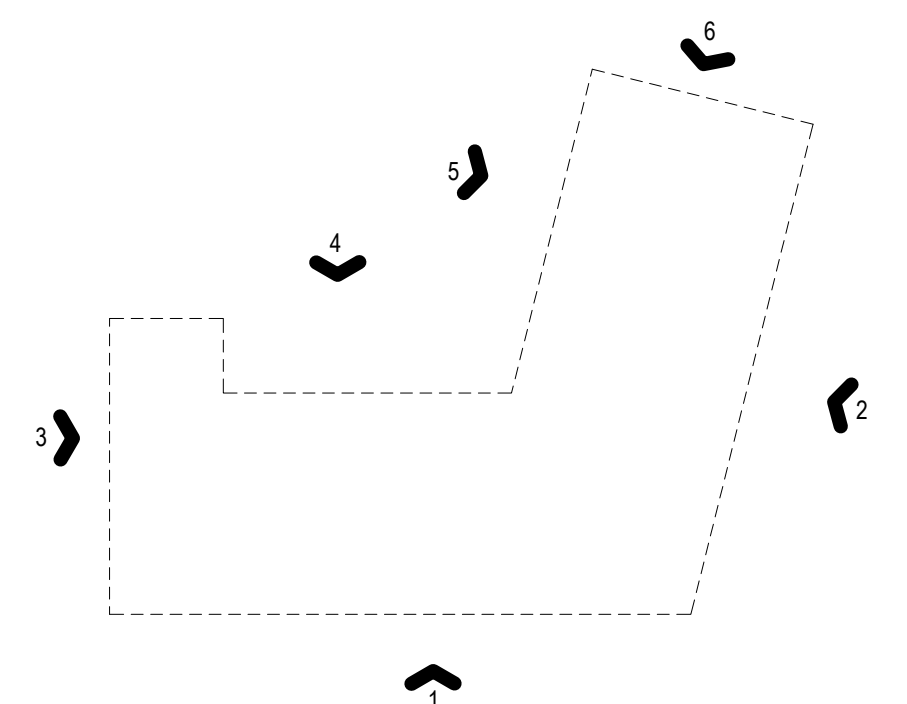
② NORTH ELEVATION -1 1/8" = 1'-0"  
1/8" = 1'-0"



④ WEST ELEVATION - 1/8" = 1'-0"  
1/8" = 1'-0"

#### MATERIALS LEGEND

	BRICK
	LIMESTONE VENEER
	HARDIE SIDING





**1st flr Building Façade**

Req'd Min	40%
Req'd Max	75%

1st flr building façade SF	3360
Window SF	1139
Props'd Window Coverage	33.9%

<b>Evaluation</b>	<b>Variance</b>
-------------------	-----------------

**2nd flr Building Façade**

Req'd Min	25%
Req'd Max	60%

2nd flr building façade SF	2890
Window SF	765
Props'd Window Coverage	26.5%

<b>Evaluation</b>	<b>ok</b>
-------------------	-----------

**1st flr Rear Façade**

Req'd Min	20%
Req'd Max	100%

1st flr Rear façade SF	2316
Window SF	477
Props'd Window Coverage	20.6%

<b>Evaluation</b>	<b>ok</b>
-------------------	-----------

**2nd flr Rear Façade**

Req'd Min	20%
Req'd Max	100%

2nd flr Rear façade SF	1930
Window SF	438
Props'd Window Coverage	22.7%

<b>Evaluation</b>	<b>ok</b>
-------------------	-----------

**1st flr Side (N) Façade**

Req'd Min	20%
Req'd Max	100%

1st flr Side 1 (N) façade SF	720
Window SF	120
Props'd Window Coverage	16.7%

<b>Evaluation</b>	<b>Variance</b>
-------------------	-----------------

**2nd flr Side (N) Façade**

Req'd Min	20%
Req'd Max	100%

2nd flr Side 1 (N) façade SF	600
Window SF	80
Props'd Window Coverage	13.3%

<b>Evaluation</b>	<b>Variance</b>
-------------------	-----------------

**1st flr Side (W) Façade**

Req'd Min	20%
Req'd Max	100%

1st flr Side 2 (S) façade SF	924
Window SF	245
Props'd Window Coverage	26.5%

<b>Evaluation</b>	<b>ok</b>
-------------------	-----------

**2nd flr Side (W) Façade**

Req'd Min	20%
Req'd Max	100%

2nd flr Side 2 (S) façade SF	600
Window SF	120
Props'd Window Coverage	20.0%

<b>Evaluation</b>	<b>ok</b>
-------------------	-----------



**3rd flr Building Façade**

Req'd Min	25%
Req'd Max	60%

3rd flr building façade SF	2890
Window SF	740
Props'd Window Coverage	25.6%

<b>Evaluation</b>	ok
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**3rd flr Rear Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Rear façade SF	1930
Window SF	511
Props'd Window Coverage	26.5%

<b>Evaluation</b>	ok
-------------------	----

**3rd flr Side (N) Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Side 1 (N) façade SF	600
Window SF	80
Props'd Window Coverage	13.3%

<b>Evaluation</b>	Variance
-------------------	----------

**3rd flr Side (W) Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Side 2 (S) façade SF	600
Window SF	80
Props'd Window Coverage	13.3%

<b>Evaluation</b>	Variance
-------------------	----------

**4th flr Building Façade**

Req'd Min	
Req'd Max	

4th flr building façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--

**4th flr Rear Façade**

Req'd Min	
Req'd Max	

4th flr Rear façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--

**4th flr Side (N) Façade**

Req'd Min	
Req'd Max	

4th flr Side 1 (N) façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--

**4th flr Side (W) Façade**

Req'd Min	
Req'd Max	

4th flr Side 2 (S) façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--



25%  
60%

2890  
740

25.6%  
ok

20%  
100%

1930  
511

26.5%  
ok

20%  
100%

600  
80

13.3%

Variance

20%  
100%

600  
80

13.3%

Variance



**5th flr Building Façade**

Req'd Min	25%
Req'd Max	60%

3rd flr building façade SF	2890
Window SF	740
Props'd Window Coverage	25.6%

**Evaluation** ok

**5th flr Rear Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Rear façade SF	1930
Window SF	511
Props'd Window Coverage	26.5%

**Evaluation** ok

**5th flr Side (N) Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Side 1 (N) façade SF	600
Window SF	80
Props'd Window Coverage	13.3%

**Evaluation** **Variance**

**5th flr Side (W) Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Side 2 (S) façade SF	600
Window SF	80
Props'd Window Coverage	13.3%

**Evaluation** **Variance**

**6th flr Building Façade**

Req'd Min	
Req'd Max	

4th flr building façade SF

Window SF	
Props'd Window Coverage	

**Evaluation**

**6th flr Rear Façade**

Req'd Min	
Req'd Max	

4th flr Rear façade SF

Window SF	
Props'd Window Coverage	

**Evaluation**

**6th flr Side (N) Façade**

Req'd Min	
Req'd Max	

4th flr Side 1 (N) façade SF

Window SF	
Props'd Window Coverage	

**Evaluation**

**6th flr Side (W) Façade**

Req'd Min	
Req'd Max	

4th flr Side 2 (S) façade SF

Window SF	
Props'd Window Coverage	

**Evaluation**



25%  
60%

2890  
740

25.6%

ok

20%  
100%

1930  
511

26.5%

ok

20%  
100%

600  
80

13.3%

Variance

20%  
100%

600  
80

13.3%

Variance



March 8, 2022

City of Rochester  
Bureau of Buildings and Zoning  
30 Church Street, Room 125B  
Rochester, NY 14614

Attn: Anna L. Keller, Senior Community Housing Planner

**Re: ALTA Vista  
Site Plan Review  
PRC Response to Comments**

**2744**

Dear Anna:

On behalf of the project applicant, ALTA Vista Housing LLC, we have reviewed the PRC comments for the above-referenced project, dated February 16, 2022, and have the following responses for the City's consideration:

Massing

The material layout does not reinforce a vertical fenestration pattern.

**Requests:**

- 1) Revise building design accordingly.

The height of the cornice was increased at the projecting portions of the façade, defined by the piers extending the full six stories, to create a vertical delineation in two locations on each facade. The 6-story stone corner element was expanded on both Pleasant and Franklin Streets to provide an even stronger presence.

Transparency

It is necessary for the proposed project to align with the purpose of the zoning district by designing the building and configuring the site with the public realm in mind. The PRC recommends providing transom windows above current proposed windows and doors on all first floor facades and/or increasing the size of the proposed doors.

**Requests:**

- 1) Transparency requirements for all first floor facades must be met.

The transparency for the street facades was increased from 23% to 33.9%. Any additional changes to the window pattern would disrupt and draw unwanted attention. More importantly, as a residential building, safety and privacy are important to tenants that have apartments along the first floor. The double doors were removed at the street level and changed to double casements instead to help with security and also control possible dust and snow concerns at the grade plane. Additional windows were also added to the North façade.

- 2) Transparency requirements for all facades facing the landmark site must be met.

Additional windows were added to the South West corner of the West façade as suggested in the review. Additional windows were added to the second floor of the commercial space to create more transparency. Additional windows were also added to the North façade.



Commercial Entrance

The project site is adjacent to St Joseph's Park, a landmark site. The project plans include a 2,810 square foot commercial, multi-purpose room intended to be used for special events occurring at the adjacent landmark park. The PRC stated that the detailing of the proposed building, specifically the façade that faces the landmark site is important due to the proximity and relationship to the landmark site. Given that a new commercial space is proposed in the CCD-B district pedestrian access is needed to strengthen and maintain street-level activity and pedestrian circulation.

**Requests:**

- 1) Provide renderings that demonstrate how the proposed building, specifically the west façade relates to the adjacent landmark site. Be sure to include any other improvements that strengthen the connection between the two structures.

Additional windows were added to the first and second floor of the commercial space to provide a better visual connection to St. Joseph Church. The existing walkway will have dedicated lighting to create a guided pathway between the commercial space and St. Joseph's Church.

- 2) Provide an entrance to the commercial space with direct pedestrian access from the street.

The Landmark Society has ownership of St. Joseph's Church and holds several functions throughout the year. The commercial space allows them to expand their options to host events throughout the year and provide additional hosting benefits. There is currently a 10 year lease agreement in place and there is no indication that this relationship will not continue well into the future. The tenant has been involved in design meetings and have indicated that this orientation provides the best possible set up for their hosting needs.

Design

Additional detailing is requested on the tower situated on the Corner of Franklin St and Pleasant St. This tower should serve as a prominent architectural feature of the proposed building.

The 6-story stone corner element was expanded on both Pleasant and Franklin Streets to provide an even stronger presence with additional transparency added.

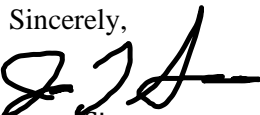
The PRC is unable to comment on the brick pilasters with the provided renderings and thus requests new renderings in order to determine if their massing is satisfactory or whether a modification or alternative is preferable.

It is the belief of the project team that the stepping of the façade and brick pilasters due their part to provide vertical articulation of the façade during the daylight hours and will have lighting to provide that effect at night.

The project cannot support the financial cost of 5 stories of brick

If you have any additional comments or require any additional information, please contact our office.

Sincerely,



Jason Simmons

IN/EX Architecture

c: Eugenio Marlin; ALTA Vista Housing LLC, Chris Roland, Edgemere Development