

GENERAL NOTES:

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CHILI AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, AND/OR OTHER AUTHORITIES HAVING JURISDICTION.
- ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC., WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. OUTSIDE OF WORK LIMITS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
- APD ENGINEERING AND ARCHITECTURE, PLLC (APD) IS ONLY RESPONSIBLE FOR THE PROPOSED SITE IMPROVEMENTS RELATED TO THIS BUILDING CONSTRUCTION, AS SHOWN ON THE PLANS. APD DID NOT PERFORM THE ORIGINAL SITE DESIGN OR SURVEY AND ACCEPTS NO RESPONSIBILITY FOR EXISTING SITE CONDITIONS OR FEATURES THAT WERE DESIGNED AND BUILT PREVIOUS TO THE PREPARATION OF THESE PLANS. CONTRACTOR SHALL REVIEW EXISTING SITE FEATURES PRIOR TO PREPARATION OF BID.
- ANY EXISTING STRIPING WHICH IS TO REMAIN IN PLACE AND WHICH MAY BECOME OBSCURED OR DAMAGED DUE TO THE CONSTRUCTION OF IMPROVEMENTS SHALL BE REPLACED AND/OR REPAINTED AS NECESSARY.
- REFER TO THE SURVEY FOR THE PROPERTY BOUNDARY INFORMATION (E.G. LOT AREA, BEARINGS, DISTANCES, ETC.).

- THE SITE IS IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS SHOWN ON FLOOD STUDY INSURANCE MAP OF TOWN OF CHILI PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NO. 307, MAP EFFECTIVE DATE 08/28/08.
- DUE TO PREVIOUS DEVELOPMENT ON-SITE AND MINIMAL PERVIOUS/LAWN AREAS; WETLANDS ARE NOT EXPECTED TO BE PRESENT.

SITE NOTES:

- ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES. REPAINT (TWO COATS) EXISTING DIRECTIONAL ARROWS, STOP BARS, AND OTHER PAVEMENT MARKINGS ON ENTIRE SITE TO MATCH EXISTING.
- ALL WORK SHALL BE COORDINATED WITH THE CLIENT CONSTRUCTION MANAGER AND PLAZA OWNER/MANAGER 48 HOURS IN ADVANCE, AND VEHICULAR, TRUCK AND PEDESTRIAN ACCESS TO THE STORE SHALL BE MAINTAINED AT ALL TIMES.

SITE LEGEND:

- ACCESSIBLE PARKING SIGN, POST & BOLLARD (REFER TO DETAIL)
- PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- "NO PARKING ANY TIME" SIGN, POST & BOLLARD (REFER TO DETAIL)
- "VAN ACCESSIBLE" SIGN (REFER TO DETAIL)
- PEDESTRIAN CROSSING SIGN (REFER TO DETAIL)
- PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
- SYSL/4" PARKING STALL STRIPING

- PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- REGULAR DUTY PAVEMENT (REFER TO DETAIL)
- HEAVY DUTY CONCRETE (REFER TO DETAIL)
- EDGE OF PAVEMENT
- CONCRETE SIDEWALK (REFER TO DETAIL)
- CONCRETE SIDEWALK (REFER TO ARCH. PLANS). SIDEWALK ADJACENT TO CANOPY & IN FRONT OF HANDICAP PARKING SHALL BE FLUSH WITH PAVEMENT.

- CONCRETE CURB (REFER TO DETAIL)
- TRANSITION CURB (REFER TO DETAIL)
- ADA RAMP AND DETECTABLE WARNING (REFER TO DETAIL)
- BOLLARDS (REFER TO ARCH. PLAN DETAIL)
- LAWN/GRASS AREA
- LIGHT POLE (REFER TO DETAIL)
- CANOPY AND SPEAKER BOX (REFER TO ARCH. PLAN)
- DRIVE THRU SIGN (REFER TO DETAIL)
- TACO BELL LOGO SIGN (REFER TO DETAIL)
- EXIT SIGN (REFER TO DETAIL)
- TACO BELL ENTRANCE (REFER TO DETAIL)
- CONCRETE DUMPSTER PAD (REFER TO DETAIL)
- MENU BOARD (REFER TO DETAIL)

- CLEARANCE BAR (REFER TO DETAIL)

SITE DATA:

LOCAL JURISDICTION: TOWN OF CHILI
ZONING CLASSIFICATION: GENERAL BUSINESS
PERMITTED USES: EATING ESTABLISHMENTS

BULK REQUIREMENTS	REQUIRED	EXISTING	PROPOSED	VARIANCE
FRONT YARD	75 FT	N/A	16± (1)	YES
SIDE YARD	None			NO
REAR YARD	N/A			NO
PARKING	1 space per table or 1 for each 200 SQFT of floor area or 1 space per 4 seats whichever is greater (50 seats / 14 tables = 14 spaces (greatest)	N/A	23	NO
PARKING STALL WIDTH	9.5 FT		9.5 FT	NO
PARKING STALL LENGTH	19 FT		19 FT	NO

NOTES:
1. SETBACK VARIANCE GRANTED 04/26/19.

ABBREVIATIONS:

- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- TYP. - TYPICAL
- P.D.C. - PROTECT DURING CONSTRUCTION
- SF - SQUARE FEET

REFERENCE:
SURVEY PROVIDED BY RAVI
ENGINEERING & LAND SURVEYING, P.C.
LAST UPDATED ON 04/03/17

AS REQUIRED BY NEW YORK STATE LAW,
CONTRACTOR SHALL CONTACT "DIG SAFELY NEW
YORK" (UFPO) @ 1-800-962-7962 FOR LOCATION
STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL
WORKING DAYS PRIOR TO ANY EXCAVATION.

LEGEND OF EXISTING FEATURES

REFER TO THE SURVEY PREPARED BY RAVI ENGINEERING
& LAND SURVEYING, P.C.

LEGEND OF IMPROVEMENTS

- BACK OF CURB
- FACE OF CURB
- EDGE OF PAVEMENT/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- CONCRETE SIDEWALK (REFER TO DETAIL)
- PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- LIGHT POLES

Issued:	Date:
A INITIAL TOWN SUBMITTAL	07/07/17
B TOWN RESUBMITTAL	03/06/19
C ZBA	03/19/19
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Revisions:	Date:
1 UPDATED BUILDING FOOTPRINT	03/05/19
2 PER DEVELOPERS RESTRIPIING LAYOUT	03/19/19
3	
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CIVIL ENGINEER OF RECORD
Name: Christopher, V. Kambar
New York License No.: 085920
Exp. Date.: October 31, 2019
Firm Reg. No.: 0008742

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315-451-1957
315-451-4605

Taco Bell - Chili, NY

3240 Chili Ave
City of Rochester
Monroe County, NY

Project Name & Location:

Site Plan

Drawing Name:

Date: 07/07/17

Type: LG50

Drawn By: JWD

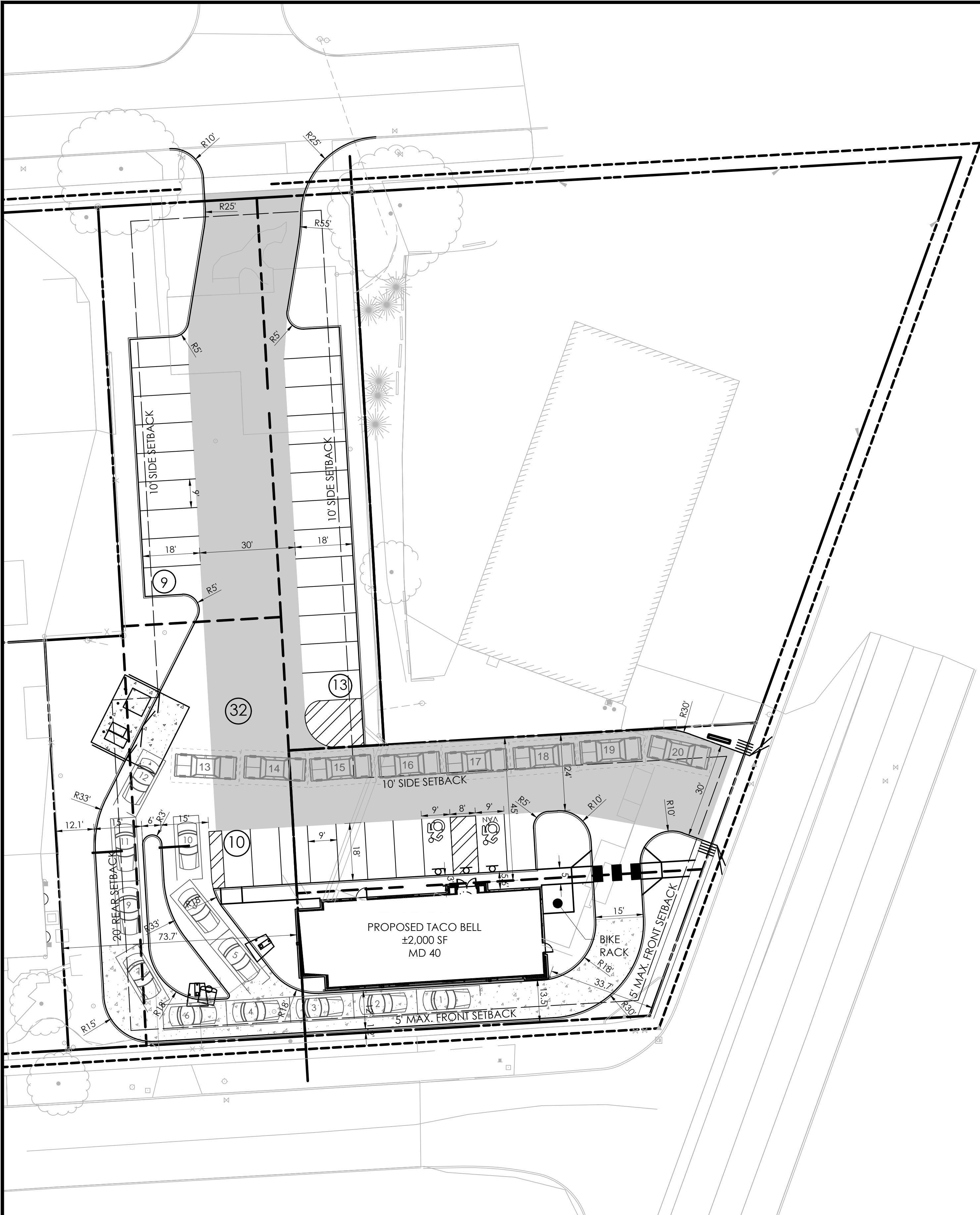
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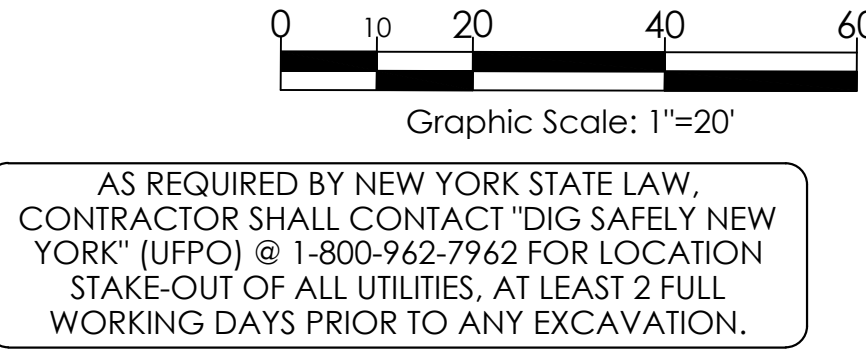
16-0166

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Drawing No.



- REFERENCE:**
1. PICTOMETRY AERIAL IMAGERY
 2. ALTA/NSPS LAND TITLE SURVEY LANDS OF 1737 MT HOPE AVE AND 35 SHELBOURNE RD, PROJECT NUMBER 2021.045.001, PREPARED BY JACOBS LAND SURVEYING, LAST REVISED JUNE 8, 2021.



LEGEND OF IMPROVEMENTS

- BACK OF CURB
FACE OF CURB
- FACE OF CURB/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- TRANSFORMER PAD
- CONCRETE SIDEWALK (REFER TO DETAIL)
- HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- BUILDING EXPANSION AREA
- PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- LIGHT POLES
- SITE SIGN, PAINTED STOP BAR & "STOP" LETTERING

SITE DATA:

LOCAL JURISDICTION:	City of Rochester
ZONING CLASSIFICATION:	C-2 Community Center District
PERMITTED USES:	Restaurants, without drive thru
SPECIAL PERMITTED USES:	Drive Thru
CURRENT OWNER:	1737 Mt Hope Avenue Realty Corporation and 35 Shelbourne, LLC
FUTURE OWNER:	Fairlane Drive
PROPERTY ACREAGE:	± 0.76 Ac (Lot consolidation req'd)

BULK REQUIREMENTS	REQUIRED	EXISTING	PROPOSED	Variance Required
MAX. FRONT YARD	5 FT	25 FT (MT HOPE), 22.7 FT (ELMERSTON)	33.7 FT (MT HOPE), 13.5' ELMERSTON	YES
REAR YARD (WEST) (PER R-1 DISTRICT)	20 FT	87 FT	73.7 FT	NO
SIDE YARD (NORTH) (PER R-1 DISTRICT)	10' MIN. WITH A COMBINED WIDTH OF 25 FT.	0 FT	45 FT	NO
MAXIMUM BUILDING AREA	6,000 SF	33,103 SF	XX SF	NO
MINIMUM BUILDING HEIGHT	20 FT	11.1 FT (MIN.)	23 FT	NO
DRIVE THRU LOCATION	PROHIBITED IN THE FRONT YARD	N/A	FRONT YARD	YES
DRIVE THRU SCREENING	DRIVE THRU AND QUEUING LANES SHALL BE SCREENED FROM RESIDENTIAL PROPERTIES.	N/A		
MINIMUM PARKING REQUIREMENT	6 PER 1,000 SF OF NET FLOOR AREA	37 SPACES	32 SPACES	NO
MAXIMUM PARKING REQUIREMENT	110% OF MINIMUM PARKING; PARKING ANALYSIS PLAN AND SPECIAL PERMIT REQUIRED TO EXCEED MAXIMUM.	37 SPACES	32 SPACES	YES
BICYCLE PARKING	10% OF THE VEHICLE PARKING REQUIREMENTS, WITH A MINIMUM OF 2 BICYCLES	0	2	NO

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Revisions: Date:

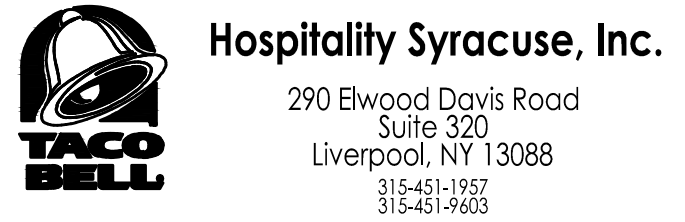
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CIVIL ENGINEER OF RECORD
Name: Christopher, V. Kambar
New York License No.: 085920
Exp. Date: October 31, 2022
Firm Reg. No.: 0014815
Exp. Date: December 31, 2023

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Taco Bell - Rochester NY

Mt. Hope and Elmerston Rd
City of Rochester
Monroe County
Project Name & Location:

Site Plan

Drawing Name:

Date: 06/10/20

Type: MD40

Drawn By: SLA

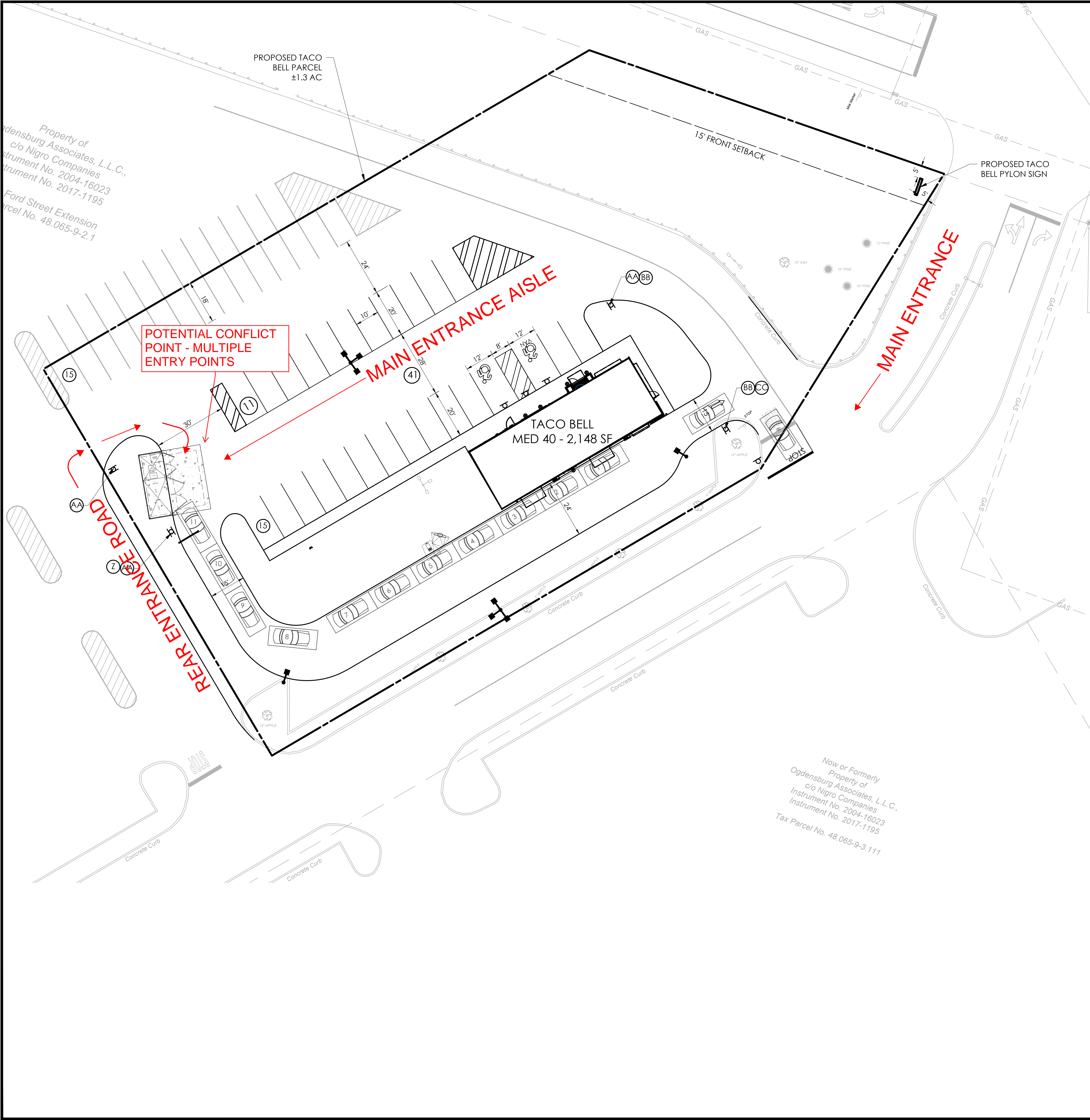
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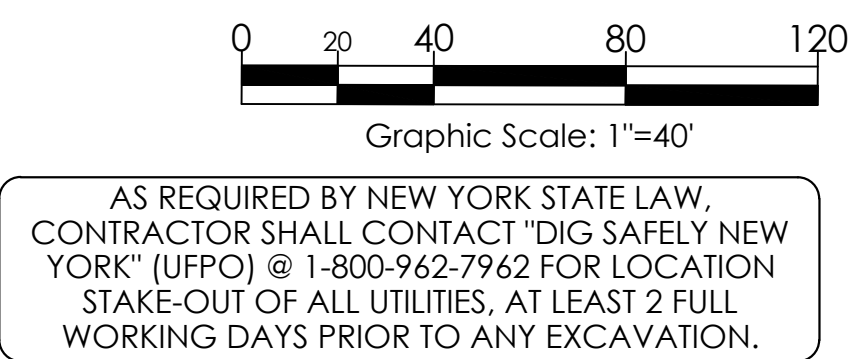
20-0531

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Drawing No.



REFERENCE:
1. CONNECTEXPLORER ONLINE
ORTHOGRAHIC HI-RES IMAGERY
BY EAGLEVIEW.



LEGEND OF EXISTING FEATURES
REFER TO THE SURVEY PREPARED BY THEW ASSOCIATES

- LEGEND OF IMPROVEMENTS**
- BACK OF CURB / FACE OF CURB
 - SUBJECT PARCEL PROPERTY LINE
 - SETBACK LINE
 - PROPOSED BUILDING
 - TRANSFORMER PAD
 - CONCRETE SIDEWALK (REFER TO DETAIL)
 - HEAVY DUTY PAVEMENT (REFER TO DETAIL)
 - BUILDING EXPANSION AREA
 - PEDESTRIAN CROSSWALK (REFER TO DETAIL)
 - LIGHT POLES
 - SITE SIGN, PAINTED STOP BAR & "STOP" LETTERING

SITE LEGEND:

- (A) ACCESSIBLE PARKING SIGN, POST & BOLLARD (REFER TO DETAIL)
- (B) PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- (C) "NO PARKING ANY TIME" SIGN, POST & BOLLARD (REFER TO DETAIL)
- (D) "VAN ACCESSIBLE" SIGN (REFER TO DETAIL)
- (E) STOP SIGN, PAINTED STOP BAR, & "STOP" LETTERING (REFER TO DETAIL)
- (F) PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
- (G) SYSL/4" PARKING STALL STRIPING
- (H) PAVEMENT MARKINGS - ARROWS (REFER TO DETAIL)
- (I) REGULAR DUTY PAVEMENT (REFER TO DETAIL)
- (J) HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- (K) HEAVY DUTY CONCRETE (REFER TO DETAIL)
- (L) EDGE OF PAVEMENT
- (M) CONCRETE SIDEWALK (REFER TO DETAIL)
- (N) CONCRETE SIDEWALK (REFER TO ARCH. PLANS). SIDEWALK ADJACENT TO CANOPY & IN FRONT OF HANDICAP PARKING SHALL BE FLUSH WITH PAVEMENT.
- (O) TRANSFORMER PAD, INSTALL PER ELECTRIC COMPANY REQUIREMENTS. INCLUDE BOLLARDS AS NECESSARY.
- (P) CONCRETE CURB (REFER TO DETAIL)
- (Q) ADA RAMP AND DETECTABLE WARNING (REFER TO DETAIL)
- (R) BOLLARDS (REFER TO ARCH. PLAN DETAIL)
- (S) LAWN/MULCH AREA (REFER TO PLANTING PLAN FOR DELINEATION)
- (T) LIGHT POLE (REFER TO DETAIL)
- (U) CONCRETE DUMPSTER PAD (REFER TO ARCH. PLANS)
- (V) CANOPY & SPEAKER BOX (REFER TO DETAIL)
- (W) MENU BOARD (REFER TO DETAIL)
- (X) CLEARANCE BAR (REFER TO DETAIL)
- (Y) TACO BELL WALL MOUNTED SIGN (PROVIDED BY SIGN VENDOR)
- (Z) DRIVE THRU SIGN (PROVIDED BY SIGN VENDOR)
- (AA) ENTER SIGN (PROVIDED BY SIGN VENDOR)
- (BB) 'THANK YOU' SIGN (REFER TO DETAIL)
- (CC) DO NOT ENTER SIGN (SEE DETAIL)
- (DD) SNOW STORAGE AREA

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Revisions:Date:

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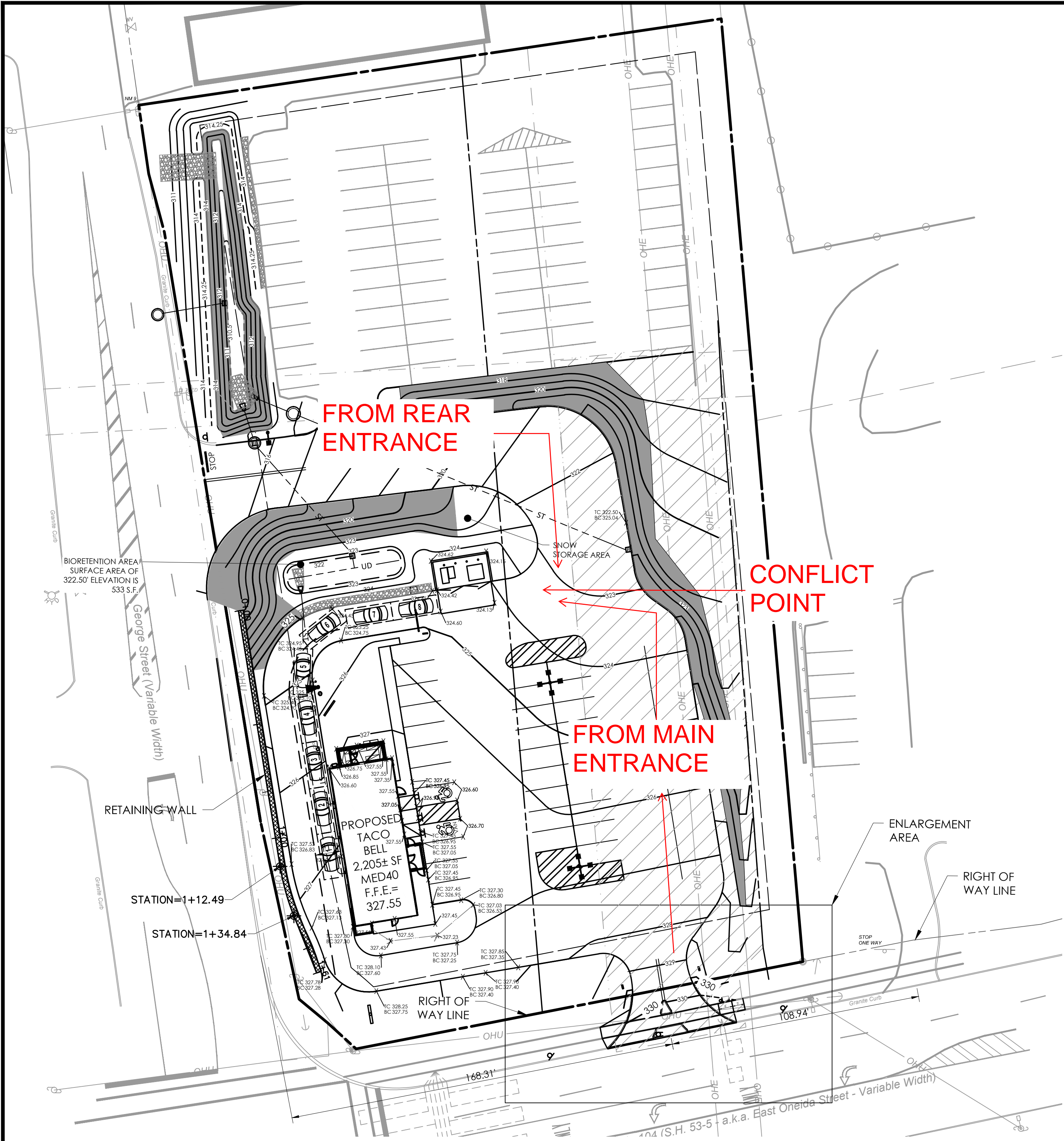
Hospitality Syracuse, Inc.
290 Elwood Davis Road
Suite 320
Liverpool, NY 13088
315-451-1957
315-451-9803

Taco Bell - Ogdensburg, NY
Gateway Plaza
Ford St Ext
City of Ogdensburg, NY
St. Lawrence County
Project Name & Location:

Site Plan

Drawing Name:

Date: 05/10/21	Project No. 21-0215
Type: MED 40	
Drawn By: SLA	C2
Scale: 1" = 20'	Drawing No.



GENERAL NOTES:

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE NEW YOUR STATE DEPARTMENT OF TRANSPORTATION AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, AND/OR OTHER AUTHORITIES HAVING JURISDICTION.
- ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. OUTSIDE OF WORK LIMITS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY

- WITHIN PROXIMITY OF THE BUILDING AND UTILITY INTERRUPTIONS WITH THE CLIENT CONSTRUCTION MANAGER AND STORE MANAGER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES OF WORK TO MINIMIZE DISTURBANCE AND INCONVENIENCE.
- ANY EXISTING STRIPING WHICH IS TO REMAIN IN PLACE AND WHICH MAY BECOME OBSCURED OR DAMAGED DUE TO THE CONSTRUCTION OF IMPROVEMENTS SHALL BE REPLACED AND/OR REPAINTED AS NECESSARY.
 - REFER TO THE SURVEY FOR THE PROPERTY BOUNDARY INFORMATION (E.G. LOT AREA, BEARINGS, DISTANCES, ETC).
 - THE SITE IS IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS SHOWN ON FLOOD STUDY INSURANCE MAP OF OSWEGO COUNTY PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NO. 0278, MAP EFFECTIVE DATE 06/18/13.
 - DUE TO PREVIOUS DEVELOPMENT ON-SITE AND MINIMAL PERVIOUS/LAWN AREAS, WETLANDS ARE NOT EXPECTED TO BE PRESENT.

ABBREVIATIONS:

- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- TYP. - TYPICAL
- P.D.C. - PROTECT DURING CONSTRUCTION
- SF - SQUARE FEET

SITE NOTES:

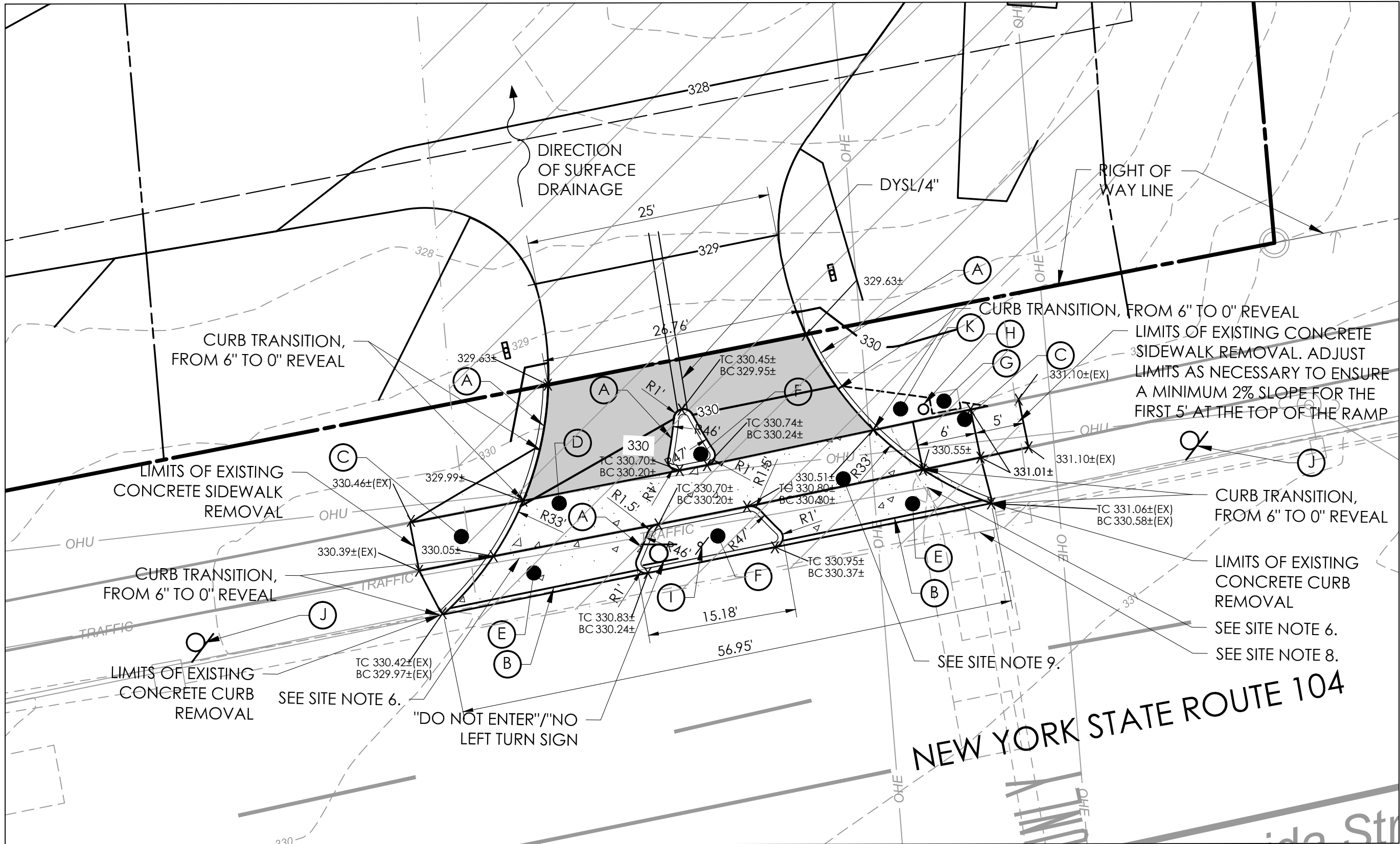
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- ALL WORK SHALL BE COORDINATED WITH THE CLIENT CONSTRUCTION MANAGER AND STORE MANAGER 48 HOURS IN ADVANCE, AND VEHICULAR, TRUCK AND PEDESTRIAN ACCESS TO THE STORE SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE TOUCH-UP PAINT FOR ALL FIRE HYDRANTS, BOLLARDS, LIGHT POLE BASES, VALVE COVERS, AND CURBS WHICH ARE CURRENTLY PAINTED WITHIN THE PROJECT LIMITS. CONTRACTOR SHALL REVIEW EXISTING SITE FEATURES PRIOR TO PREPARATION OF BID. COST SHALL BE INCLUDED IN THE BASE BID.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- THE SETBACK LINES AND NOTES RELATED TO SETBACKS SHOWN HEREIN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE CITY OF OSWEGO AS OF THE DATE OF THIS PLAN AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ANY/ALL DAMAGE TO NYSDOT SIGNAL EQUIPMENT. ANY DAMAGE WILL REQUIRE THE REPLACE OF EQUIPMENT TO NYSDOT SPECIFICATIONS, INCLUDING NO SPlicing OF LOOP WIRES OUTSIDE THE PULL BOX. RESET OR RELOCATE THE TRAFFIC MANHOLE AS NEEDED.
- CONTRACTOR SHALL RESTORE ANY DAMAGED STRIPING ON THE DOT RIGHT OF WAY IN ACCORDANCE WITH NYSDOT STANDARDS AND SPECIFICATIONS.
- EXISTING CATCHBASIN TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY/ALL DAMAGES TO THE STORMDRAIN APPURTENANCES. ANY DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED IN KIND TO NYSDOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL ENSURE CONCRETE SIDEWALK (INCLUDE WALKWAY ACROSS DRIVE AISLE) MEETS ALL ADA CRITERIA. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, A MAXIMUM OF 2% CROSS-SLOPE, 5% SLOPE IN THE DIRECTION OF TRAVEL FOR A WALKWAY, AND 8.33% LONGITUDINAL SLOPE FOR A RAMP.

REFERENCE:
SURVEY PREPARED BY THEW ASSOCIATES LAND SURVEYORS, LAST UPDATED 04/23/18

AS REQUIRED BY NEW YORK STATE LAW, CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" (UFPO) @ 1-800-962-7962 FOR LOCATION STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION.

LEGEND OF EXISTING FEATURES
REFER TO THE SURVEY PREPARED BY THEW ASSOCIATES
LEGEND OF IMPROVEMENTS

- BACK OF CURB
- FACE OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- CONCRETE SIDEWALK (REFER TO DETAIL)
- ASPHALT PAVEMENT SECTION (REFER TO DETAIL)
- LIGHT POLES
- EDGE OF PAVEMENT/BACK OF CURB



ENLARGEMENT: WORK WITHIN NYS DOT ROW
SCALE: 1" = 10'

NYS DOT SITE LEGEND:

- 6" REVEAL STONE CURB, GRANITE TYPE A (ITEM 609.0201) OR MATCH EXISTING (REFER TO DETAIL)
- 1" REVEAL STONE CURB, GRANITE TYPE A (ITEM 609.0201)
- SIDEWALK RAMP (REFER TO NYSDOT STANDARD DETAIL 608-03)
- 5' WIDE, 6" CONCRETE SIDEWALK (ITEM 608.0101) (REFER TO NYSDOT STANDARD DETAIL 608-03)
- 6" CONCRETE DRIVEWAY APRON (ITEM 608.01101015)
- CURBED RAISED CONCRETE ISLAND, 6" CURB REVEAL, 4" PCC CAP. (REFER TO NYSDOT STANDARD DETAIL 608-01)
- EXISTING POWER TOWER TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH TOWER OWNER BEFORE CONSTRUCTION BEGINS.
- BOLLARD (REFER TO DETAIL). CONTRACTOR SHALL COORDINATE WITH TOWER OWNER PRIOR TO INSTALLATION
- REMOVE AND REUSE EXISTING NO PARKING ANY TIME SIGN AND POLE
- NO PARKING ANY TIME SIGN
- LAWN

Issued:	Date:
A PERM 33 Stage 2 submittal	03/23/18
B OTB	02/27/19
C CONSTRUCTION	05/09/19
D CCD #2	09/03/19
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Revisions:	Date:
1 Revised spot elevations	09/03/19
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FOR
CONSTRUCTION

Seal Seal

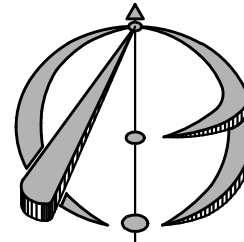
CIVIL ENGINEER OF RECORD
Name: Christopher, V. Kambor
New York License No.: 085920
Exp. Date.: October 31, 2019
Firm Reg. No.: 0008742

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Hospitality Syracuse, Inc.

290 Elwood Davis Road
Suite 320
Liverpool, NY 13088
315-451-1957
315-451-9603

Taco Bell - Oswego, NY

Highway Improvement Plans

151 George Street

City of Oswego

Oswego County, NY

Project Name & Location:

Highway Site Plan

Drawing Name:

Date: 03/09/18

Type: Final

Drawn By: SPA

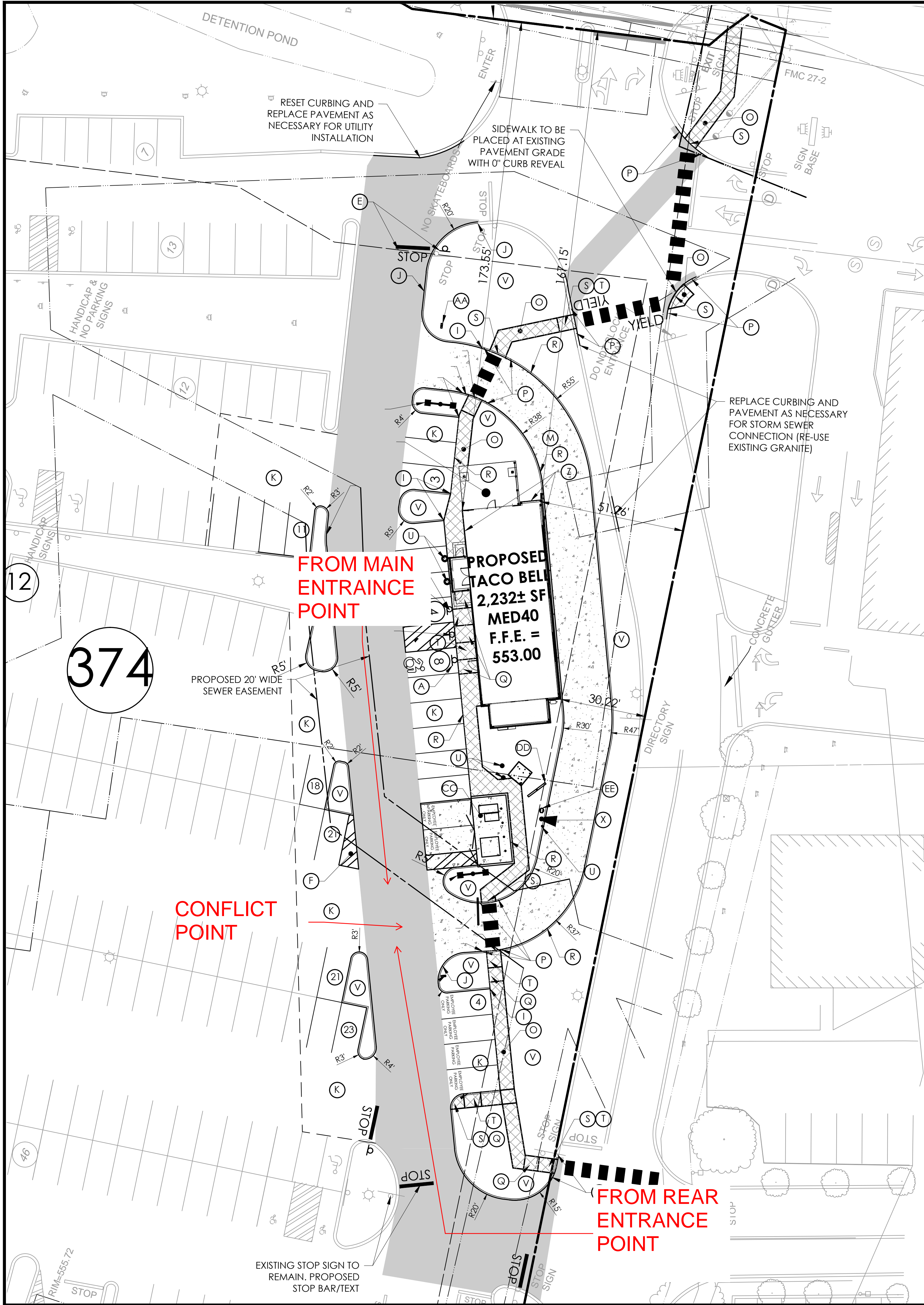
Scale: 1" = 30'

Project No.

16-0528

HSP

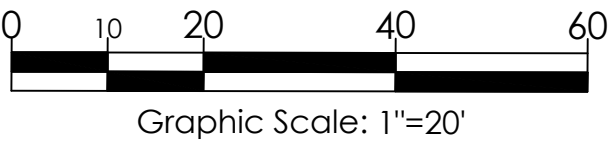
Drawing No.



APPROVED BY TOWN ENGINEER
SIGNED: _____ DATE: _____

APPROVED BY COMMISSIONER OF PUBLIC WORKS
SIGNED: _____ DATE: _____

REFERENCE:
EXISTING FEATURES PLAN, VI-100, LAST
REVISED ON 3/8/18, PREPARED BY
COSTICH ENGINEERING.



APPROVED BY TOWN ATTORNEY
SIGNED: _____ DATE: _____

APPROVED BY PLANNING BOARD CHAIRMAN
SIGNED: _____ DATE: _____

APPROVED BY FIRE CHIEF
SIGNED: _____ DATE: _____

AS REQUIRED BY NEW YORK STATE LAW,
CONTRACTOR SHALL CONTACT "DIG SAFELY NEW
YORK" (UFPD) @ 1-800-962-7962 FOR LOCATION
STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL
WORKING DAYS PRIOR TO ANY EXCAVATION.

LEGEND OF EXISTING FEATURES
REFER TO THE SURVEY PREPARED BY COSTICH
ENGINEERING

LEGEND OF IMPROVEMENTS

- BACK OF CURB
- FACE OF CURB
- EDGE OF PAVEMENT/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- APPROXIMATE PAVING LIMITS
- CONCRETE PAVEMENT (REFER TO DETAIL)
- CONCRETE SIDEWALK (REFER TO DETAIL)
- HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- LIGHT POLES
- SITE SIGN, PAINTED STOP BAR & "STOP" LETTERING
- CROSSWALK AND YIELD TEXT (REFER TO DETAIL)

ABBREVIATIONS:

- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- TYP. - TYPICAL
- P.D.C. - PROTECT DURING CONSTRUCTION
- SF - SQUARE FEET

SITE DATA:

LOCAL JURISDICTION:	TOWN OF PERINTON			
ZONING CLASSIFICATION:	CO (COMMERCIAL)			
PERMITTED USES:	RESTAURANTS			
BULK REQUIREMENTS	REQUIRED	EXISTING	PROPOSED	Variance Required
FRONT YARD	85 FT	122.5±	122.5' FT	No
REAR YARD	30 FT	186.4±	186.4± FT	No
SIDE YARD	30 FT	61.5±	30.82 FT	No
MINIMUM LOT AREA	40,000 SQ FT	394,653.6 SQ FT	394,653.6 SQ FT	No
MINIMUM LOT WIDTH	200 FT	N/A	N/A	No
MAXIMUM SITE/BUILDING	30%	18%±	19%±	No
MINIMUM GREENSPACE AREA	MIN 35% OF THE PARCEL	25.6%	25.4%	No*
PARKING REQUIREMENT	1 SPACE PER 225 GROSS LEASABLE FLOOR AREA: 73,317± SF / 225 = 325.85 = 326 SPACES	411 SPACES	374 SPACES	No
ADA PARKING	SHALL BE PROVIDED IN A LOCATION AND NUMBER IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE. PARKING LOTS 374*.02=7.48 ADA SPACES	25 SPACES	27 SPACES	No
PARKING STALL WIDTH	9 FT	9 FT	9 FT	No
PARKING STALL LENGTH	18 FT	18 FT	18 FT	No
aisle WIDTH	24 FT	VARIES (24' MIN.)	24 FT (MIN.)	No
*GREENSPACE WAIVER PER 3/7/12 PB MEETING				

GENERAL NOTES:

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF PERINTON AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, AND/OR OTHER AUTHORITIES HAVING JURISDICTION.
- ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC., WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. OUTSIDE OF WORK LIMITS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN PROXIMITY OF THE BUILDING AND UTILITY INTERRUPTIONS WITH THE CLIENT CONSTRUCTION MANAGER AND STORE MANAGER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES OF WORK TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO THE STORE OPERATION AND THE CUSTOMERS OF STORE. THE EXISTING STORES SHALL REMAIN IN OPERATION DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL APPLICABLE AGENCIES TO MAINTAIN EMERGENCY ACCESS TO THEIR SATISFACTION. ALL WORK THAT WILL IMPACT TRUCK DELIVERIES, ACCESS, AND/OR PARKING SHALL BE PHASED IN SUCH A WAY AS TO MAINTAIN OPERATION AND ACCESS TO THE STORE.
- APD ENGINEERING AND ARCHITECTURE, PLLC (APD) IS ONLY RESPONSIBLE FOR THE PROPOSED SITE IMPROVEMENTS RELATED TO THIS SITE DEVELOPMENT, AS SHOWN ON THE PLANS. APD DID NOT PERFORM THE ORIGINAL SITE DESIGN OR SURVEY AND ACCEPTS NO

RESPONSIBILITY FOR EXISTING SITE CONDITIONS OR FEATURES THAT WERE DESIGNED AND BUILT PREVIOUS TO THE PREPARATION OF THESE PLANS. CONTRACTOR SHALL REVIEW EXISTING SITE FEATURES PRIOR TO PREPARATION OF BID.

- ANY EXISTING STRIPING WHICH IS TO REMAIN IN PLACE AND WHICH MAY BECOME OBSCURED OR DAMAGED DUE TO THE CONSTRUCTION OF IMPROVEMENTS SHALL BE REPLACED AND/OR REPAINTED AS NECESSARY.
- REFER TO THE SURVEY FOR THE PROPERTY BOUNDARY INFORMATION (E.G. LOT AREA, BEARINGS, DISTANCES, ETC).
- THE SITE IS IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS SHOWN ON FLOOD STUDY INSURANCE MAP OF TOWN OF PERINTON PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NO. 0379, MAP EFFECTIVE DATE 8/28/08.
- DUE TO PREVIOUS DEVELOPMENT ON-SITE AND MINIMAL PERVIOUS/LAWN AREAS; WETLANDS ARE NOT EXPECTED TO BE PRESENT.

SITE NOTES:

- ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES, REPAINT (TWO COATS) EXISTING DIRECTIONAL ARROWS, STOP BARS, AND OTHER PAVEMENT MARKINGS ON ENTIRE SITE TO MATCH EXISTING.
- ALL WORK SHALL BE COORDINATED WITH THE CLIENT CONSTRUCTION MANAGER AND STORE MANAGER 48 HOURS IN ADVANCE, AND VEHICULAR, TRUCK AND PEDESTRIAN ACCESS TO THE STORE SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE TOUCH-UP PAINT FOR ALL FIRE HYDRANTS, BOLLARDS, LIGHT POLE BASES, VALVE COVERS, AND CURBS WHICH ARE CURRENTLY PAINTED WITHIN THE PROJECT LIMITS. CONTRACTOR SHALL REVIEW EXISTING SITE FEATURES PRIOR TO PREPARATION OF BID. COST SHALL BE INCLUDED IN THE BASE BID.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL RADII ARE 5' UNLESS NOTED OTHERWISE.
- THE SETBACK LINES AND NOTES RELATED TO SETBACKS SHOWN HEREIN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF PERINTON AS OF THE DATE OF THIS PLAN AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.

Issued:	Date:
A INITIAL PLANNING BOARD SUBMITTAL	03/16/18
B ISSUED FOR BID	06/04/18
C ISSUED FOR CONSTRUCTION	07/17/18
D ISSUED FOR CONSTRUCTION	9/6/18
E CCD #2	11/01/18
F	
G	
H	

Revisions:	Date:
1 PER TOWN COMMENTS	03/29/18
2 PER INTERNAL QC/QA REVIEW	05/17/18
3 PER INTERNAL REVIEW	06/01/18
4 REVISED XFRMR LOC. PER INSTALLED GREASE INTERCEPTOR LOCATION	11/01/18
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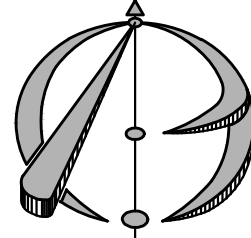


FOR
CONSTRUCTION

CIVIL ENGINEER OF RECORD
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315-451-1957
315-451-9603

TACO BELL - PERINTON HILLS PLAZA, NY

6687 PITTSFORD PALMYRA ROAD

SUITE 70

TOWN OF PERINTON

MONROE COUNTY, NY 14450

Project Name & Location:

Site Plan

Drawing Name:

Date: 03/08/18

Type: Final

Drawn By: JWD

Scale: 11"=30'

Project No.

17-0275

C2

Drawing No.

SITE PLAN NOTES

1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS ETC...
3. DEMOLITION/SITE CLEARING: SEE CIVIL DWG'S AND GEOTECHNICAL REPORT FOR EXTENT OF SITE DEMOLITION. THIS WORK SHALL INCLUDE REMOVAL OF ALL EXISTING PAVEMENTS, CURBS (U.O.N.), LIGHT POLES (INCLUDING FTG'S.), VEGETATION (INCLUDING STUMPS), UTILITIES (NOT OTHERWISE REUSED), ETC. AS REQUIRED FOR NEW CONSTRUCTION.
4. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS & SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING & REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AND MOISTURE CONDITIONED AS SPECIFIED IN THE SOILS REPORT. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS, AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
5. THE A.L.T.A. SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. THE G.C. IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.
6. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANY. NO COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
7. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
8. SEE CIVIL PLANS FOR ALL WORK IN STREET RIGHT OF WAY. HIGHWAY (IF APPLICABLE) AND CITY ENCROACHMENT PERMITS TO BE OBTAINED AND PAID FOR BY THE GENERAL CONTRACTOR.
9. REFER TO BUILDING ELEVATIONS, SHEET 3, FOR BUILDING SIGNAGE.
10. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE. CONTRACTOR TO CALL THE NEW YORK ONE CALL SYSTEM(1-800-962-7962 TOLL FREE) 48 HOURS BEFORE DIGGING, DRILLING, OR BLASTING.
11. EXISTING INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "SITE LAYOUT" FOR TACO BELL, PREPARED BY CLOUGH, HARBOUR & ASSOCIATES, DATED JULY, 1994.

GENERAL

THESE PLANS AND SPECIFICATIONS ARE SUBJECT TO MODIFICATION DURING CONSTRUCTION WHEN CONDITIONS DEVELOP THAT WERE NOT APPARENT DURING THE DESIGN AND PREPARATION OF THESE PLANS. ALL MODIFICATIONS MUST BE APPROVED BY LOCAL JURISDICTION PRIOR TO CONSTRUCTION AND/OR IMPLEMENTATION.

BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATION TO THESE PLANS OR OF ANY FIELD CONFLICTS.

IN THE EVENT OF ANY DISCREPANCY BETWEEN ANY DRAWING AND THE FIGURES WRITTEN THEREON, THE FIGURES SHALL BE TAKEN AS CORRECT.

SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

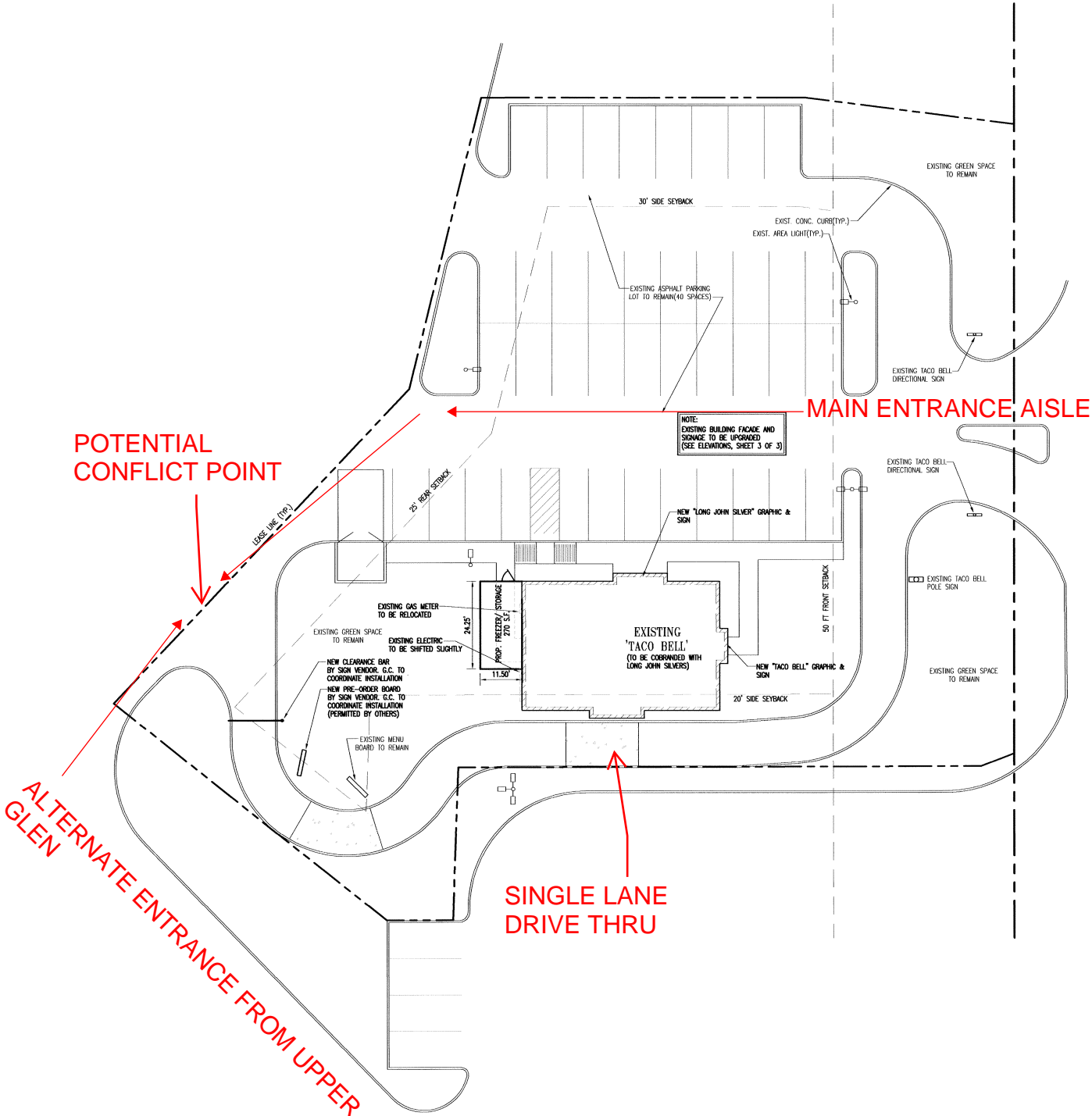
CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OR CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMITS PRIOR TO COMMENCING CONSTRUCTION INVOLVING RIGHT OF WAYS, AND FOR THE CONSTRUCTION, MODIFICATION, OR CONNECTION TO FACILITIES. ALL WORKMANSHIP EQUIPMENT AND MATERIALS SHALL CONFIRM TO LOCAL JURISDICTION STANDARDS AND SPECIFICATIONS.

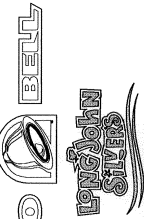
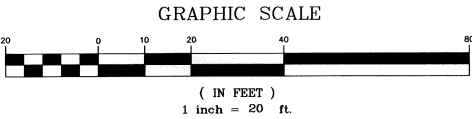
TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL JURISDICTION.

THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY.

WHERE SOIL OR GEOLOGIC CONDITIONS ENCOUNTERED IN GRADING OPERATIONS ARE DIFFERENT FROM THOSE ANTICIPATED IN THE SOIL AND GEOLOGICAL INVESTIGATION REPORT, OR WHERE CONDITIONS WARRANT CHANGES TO THE RECOMMENDATIONS CONTAINED THEREIN, A REVISED SOIL OR GEOLOGIC REPORT SHALL BE SUBMITTED FOR APPROVAL AND SHALL BE ACCOMPANIED BY AN ENGINEER'S OPINION AS TO THE SAFETY OF THE SITE FROM THE POSSIBILITY OF LAND SLIPPAGE, SETTLEMENT AND SEISMIC ACTIVITY.



SITE DEVELOPMENT DATA(LEASE)		
	EXISTING	PROPOSED
TOTAL LEASE PARCEL AREA	36,962 S.F.	UNCHANGED
BUILDING	1,989 S.F.	2,219 S.F.
PAVED, OTHER HARD SURFACES	22,291 S.F.	22,303 S.F.
TOTAL NON-PERMEABLE	24,280 S.F.	24,522 S.F.
TOTAL GREEN SPACE	12,682 S.F.	12,440 S.F.
PERCENT NON-PERMEABLE	65.7%	66.3%



LESTER M. STEIN
ARCHITECT
1321 NORTH NEW STREET
BETHLEHEM, PA 18018
(610) 865-8101

L.M. STEIN
REGISTERED ARCHITECT
PENNSYLVANIA LICENSE NO. 001717
NEW YORK LICENSE NO. 001717
DISTRICT OF COLUMBIA LICENSE NO. 6327
VIRGINIA LICENSE NO. 1065

BOHLER ENGINEERING
PROFESSIONAL ENGINEERING SERVICES
1000 MARKET STREET, SUITE 100
NORTH WILKES, PENNSYLVANIA 18456
(717) 858-8888 FAX: (717) 858-8331 E: Pabohler@comcast.net

SHEET TITLE: SITE PLAN
ADDRESS & SITE NO.: 740 UPPER GLEN STREET QUEENSBURY, N.Y.
SHEET NO. 01-6529
SITE NO. 01-6529

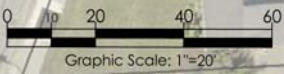
REVISIONS		
NO.	DATE	DESCRIPTION
1	9/26/02	REMOVED BUILDING SIGN
2	10/21/02	PREFRY WINDOW BUMPED OUT
3	4/22/03	PREFRY WINDOW REMOVED

CONTRACT DATE: 08/07/02
BUILDING TYPE: M-70 H
PROTOTYPE ISSUE DATE: 7/22/02
SITE NUMBER: 6529
SHEET NUMBER: C2



This site plan included the option to purchase the rental property from Mr. Rowe and see rezoning of this parcel as well to allow trucks to exit on Elmerston. We felt that this had a bigger impact to the residential neighborhood than a new curb cut lined up with Norfolk st.

REFERENCE:
PICTOMETRY AERIAL IMAGERY



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CONTRACTOR SHALL CONTACT "DIG SAFELY NEW
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Revisions:	Date:
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Civil Engineer of Record
Name: Christopher V. Kambur
New York License No.: 085920
Exp. Date: October 31, 2022
Firm Reg. No.: 0014815
Exp. Date: December 31, 2020

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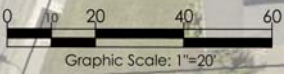
Hospitality Syracuse, Inc.
290 Elwood Davis Road
Suite 320
Liverpool, NY 13088
315-481-1900
315-481-1900

Taco Bell - Rochester NY
Mt. Hope and Elmerston Rd
City of Rochester
Monroe County
Project Name & Location:

Sketch Plan	
Drawing Name:	Project No.
Date: 07/27/20	20-0531
Type: MD40	
Drawn By: SLA	SK1
Scale: 1" = 20'	Drawing No.



REFERENCE:
PICTOMETRY AERIAL IMAGERY



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CONTRACTOR SHALL CONTACT "DIG SAFELY NEW
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STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL
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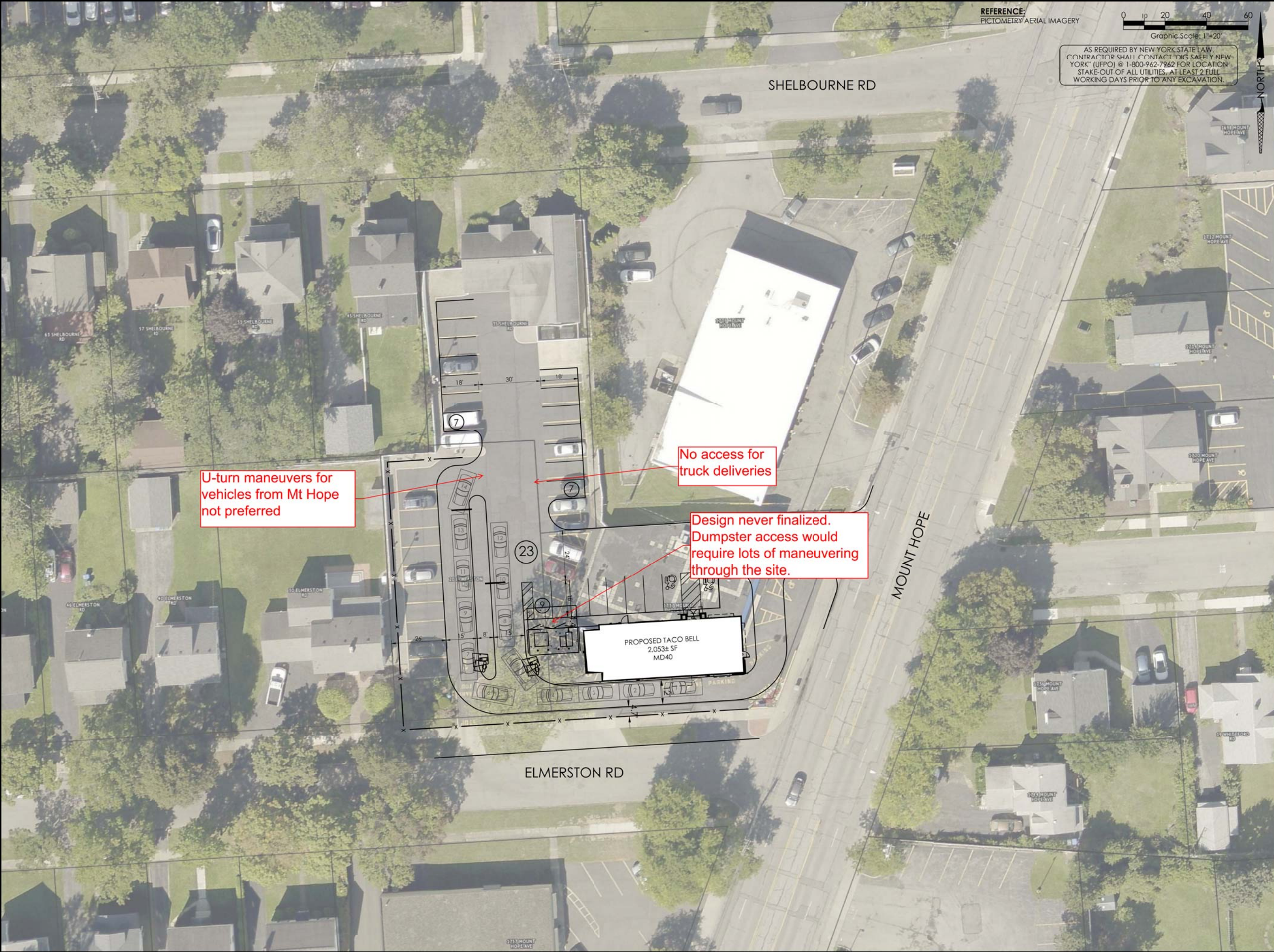
This curbing would need to
be cut back more for truck
access.

Design never finalized.
Dumpster access would
require lots of maneuvering
through the site.

Less drive thru stacking,
2nd drive thru lane
infeasible

PROPOSED TACO BELL
2,053± SF
MD40

Issued:		Date:	
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Revisions:		Date:	
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Taco Bell - Rochester NY			
Mt. Hope and Elmerston Rd City of Rochester Monroe County Project Name & Location:			
Sketch Plan			
Drawing Name:		Project No.	
Date: 07/27/20		20-0531	
Type: MD40			
Drawn By: SLA		SK2	
Scale: 1" = 20'		Drawing No.	



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Taco Bell - Rochester NY

Mt. Hope and Elmerston Rd
City of Rochester
Monroe County
Project Name & Location:

Sketch Plan

Drawing Name:

Date: 08/31/20

Type: MD40

Drawn By: SLA

Scale: 1" = 20'

Project No.
20-0531

SK3

Drawing No.



REFERENCE:
PICTOMETRY AERIAL IMAGERY



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Cross-access with Mavis was considered but
landowner has been unresponsive after
multiple attempts

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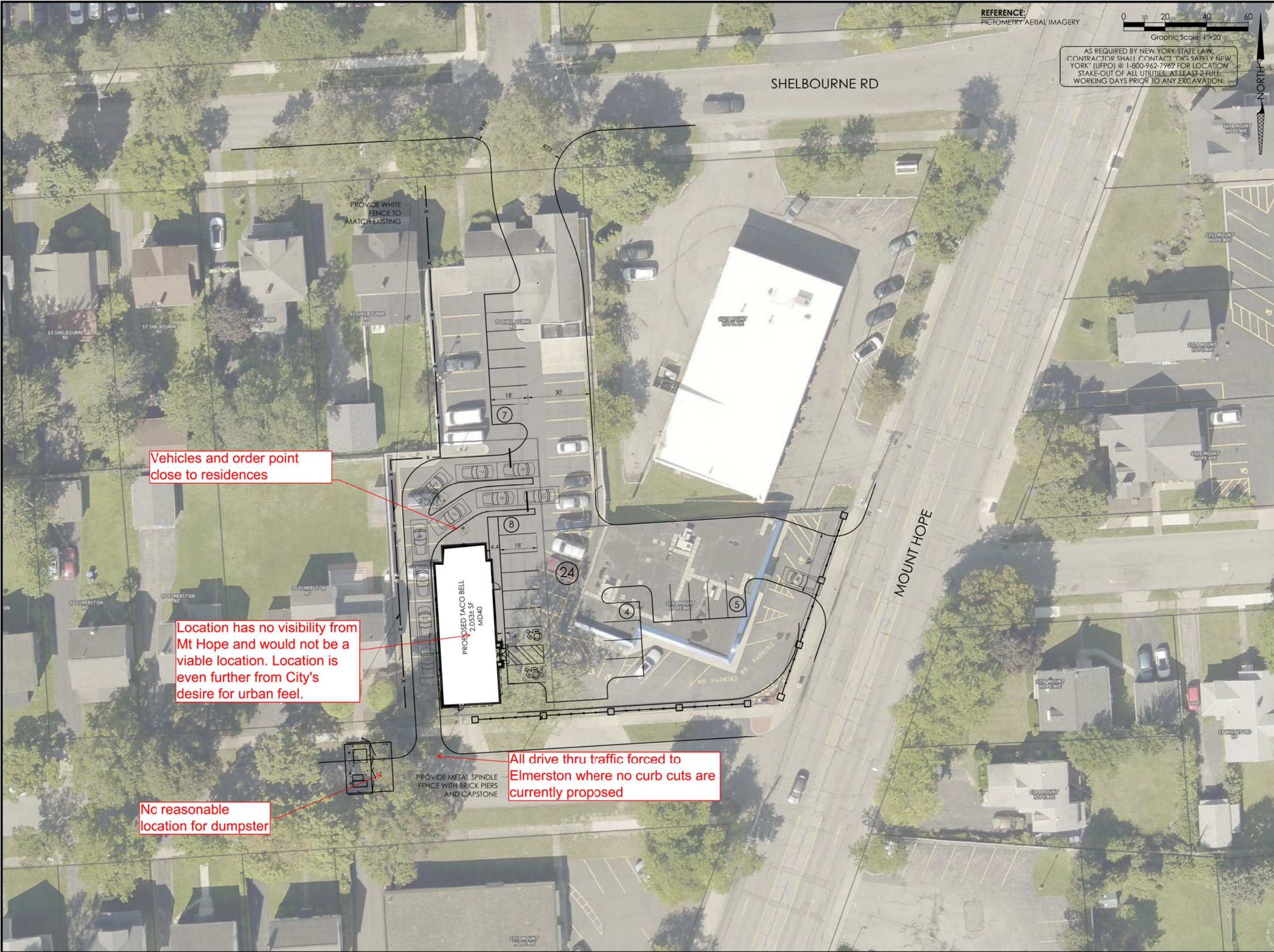
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315-481-1955

Taco Bell - Rochester NY
Mt. Hope and Elmerston Rd
City of Rochester
Monroe County
Project Name & Location:

Sketch Plan	
Drawing Name:	Project No.
Date: 08/31/20	20-0531
Type: MD40	
Drawn By: SLA	SK5
Scale: 1" = 20'	Drawing No.



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Taco Bell - Rochester NY Mt. Hope and Elmerston Rd City of Rochester Monroe County Project Name & Location:			
Sketch Plan			
Drawing Name:		Project No.	
Date: 08/31/20		20-0531	
Type: MD40			
Drawn By: SLA		SK6	
Scale: 1" = 20'		Drawing No.	



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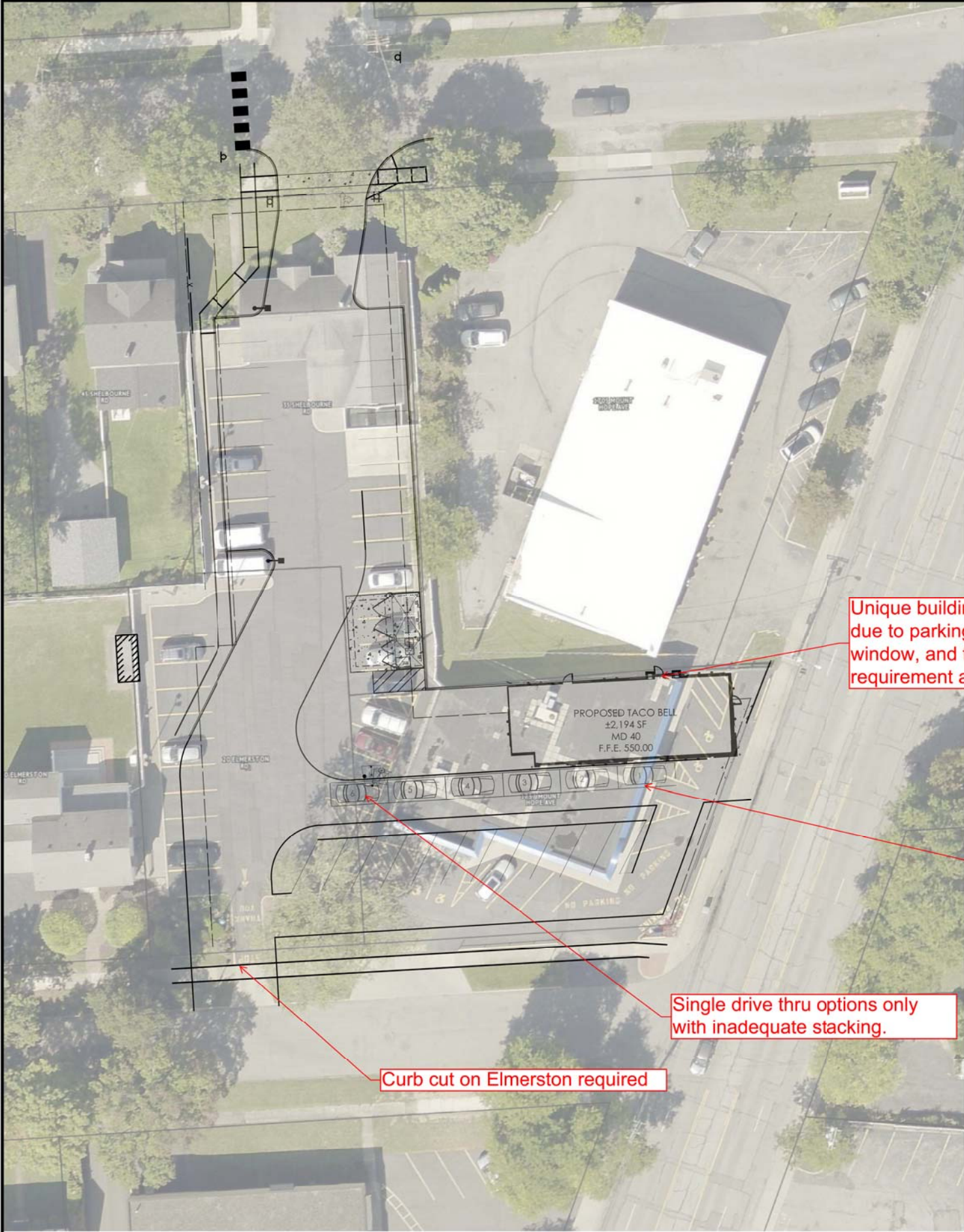
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315-481-1955

Taco Bell - Rochester NY
Mt. Hope and Elmerston Rd
City of Rochester
Monroe County
Project Name & Location:

Sketch Plan	
Drawing Name:	Project No.
Date: 08/31/20	20-0531
Type: MD40	
Drawn By: SLA	SK7
Scale: 1" = 20'	Drawing No.



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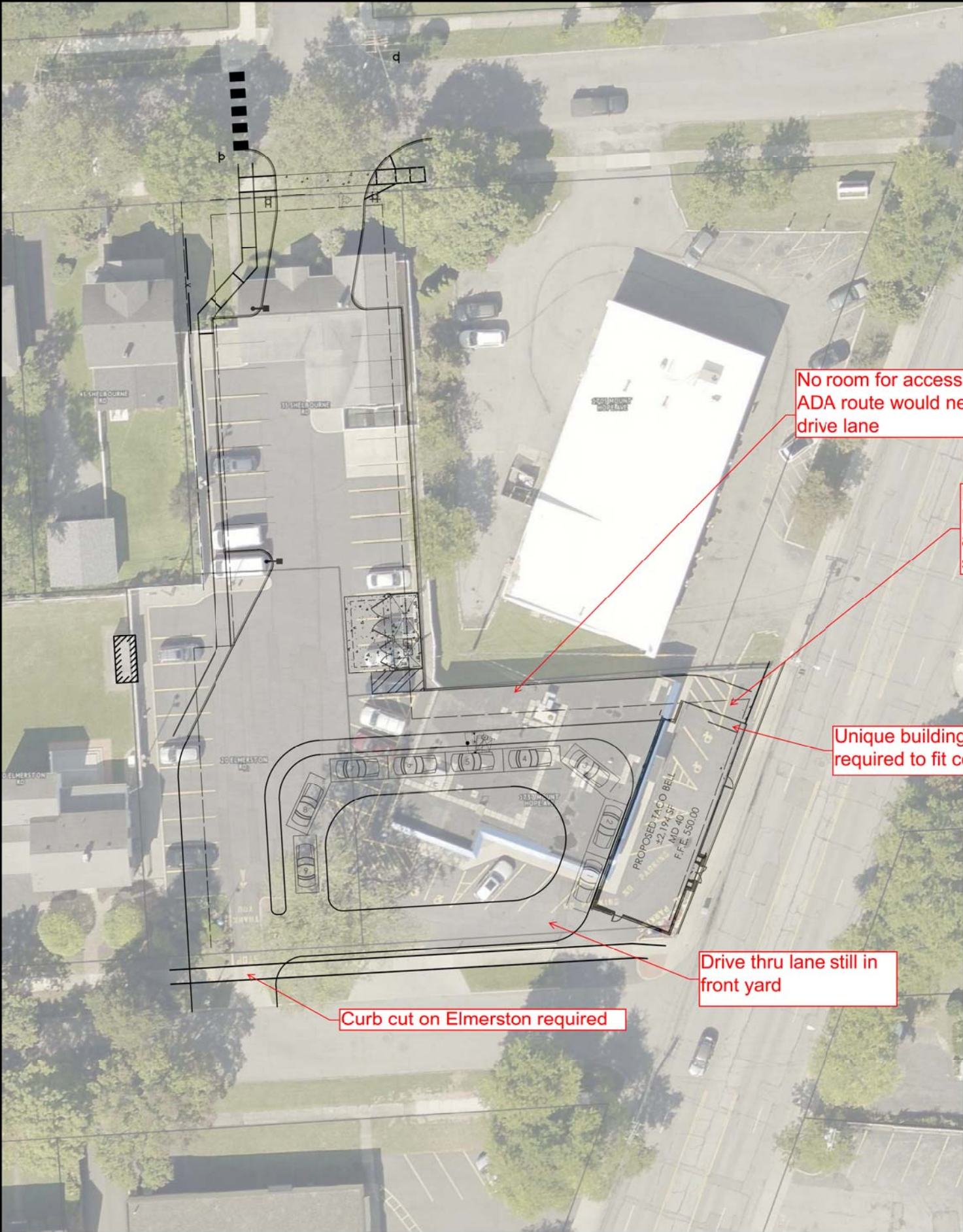
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Taco Bell - Rochester NY

Mt. Hope and Elmerston Rd
City of Rochester
Monroe County
Project Name & Location:

Site Plan	
Drawing Name:	Project No.
Date: 07/27/20	20-0531
Type: MD40	
Drawn By: SLA	C2
Scale: 1" = 20'	Drawing No.



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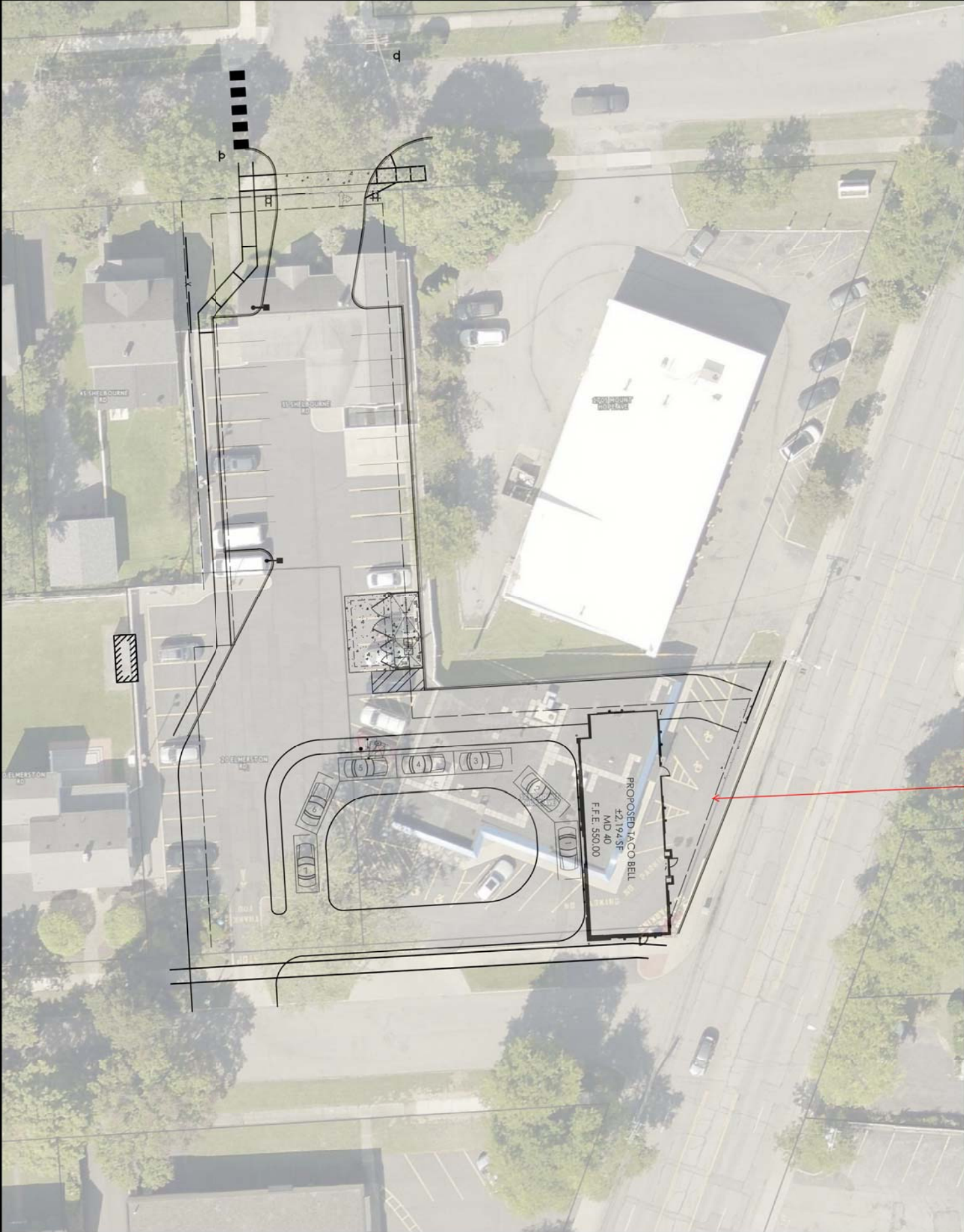
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Taco Bell - Rochester NY

Mt. Hope and Elmerston Rd
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Monroe County
Project Name & Location:

Site Plan	
Drawing Name:	Project No.
Date: 07/27/20	20-0531
Type: MD40	
Drawn By: SLA	C2
Scale: 1" = 20'	Drawing No.



Same general comments as the last plan, but building is rotated along Elmerston and there is less stacking

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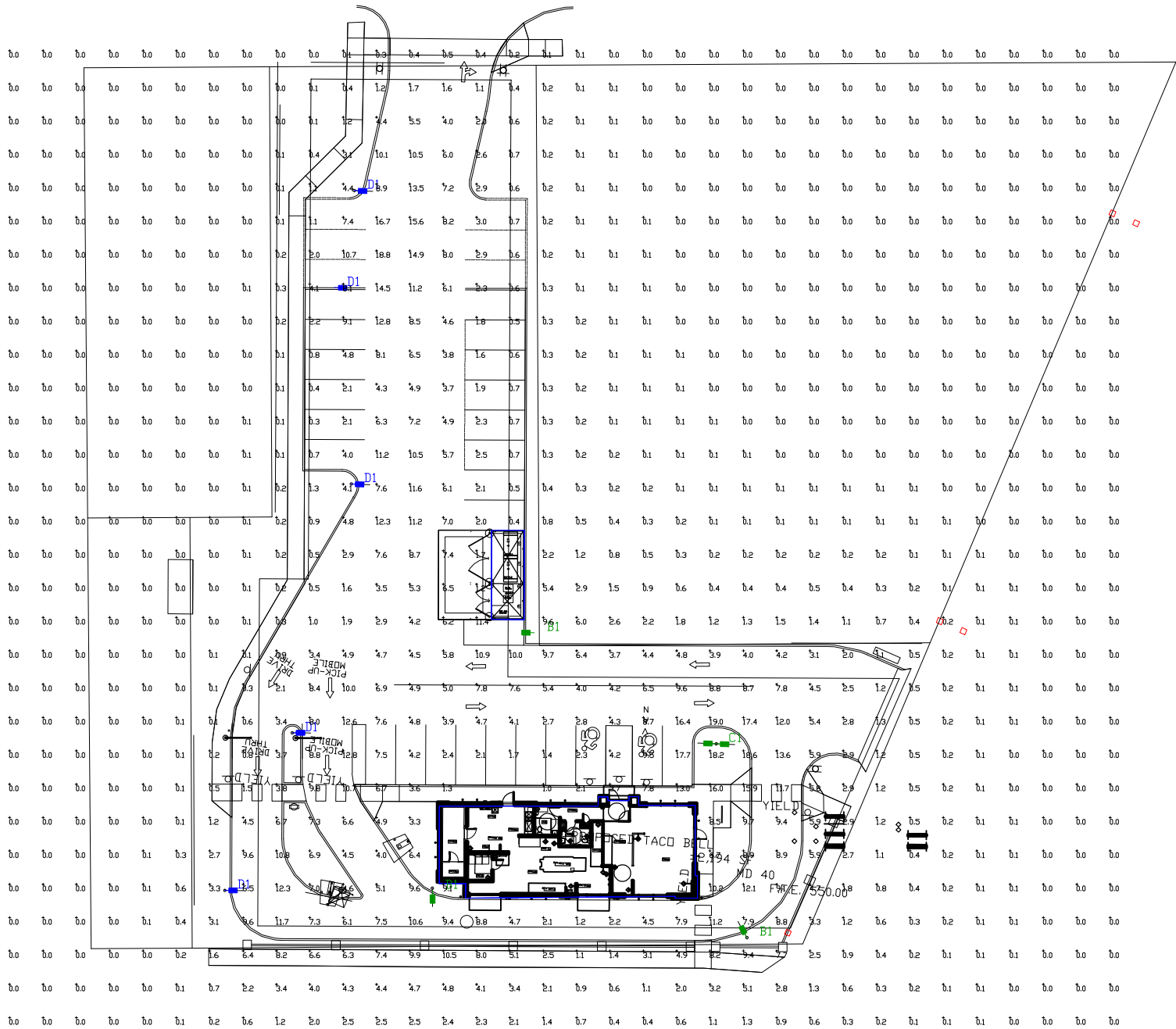
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315-481-1955

Taco Bell - Rochester NY

Mt. Hope and Elmerston Rd
City of Rochester
Monroe County
Project Name & Location:

Site Plan

Drawing Name:	Project No.
Date: 07/27/20	20-0531
Type: MD40	
Drawn By: SLA	C2
Scale: 1" = 20'	Drawing No.





Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	3	B1	SINGLE	ENM4-PT-FT-LED-25L-30-SINGLE-15' MH	1.000	1.000	1.000	22806	227.9
	1	C1	DI180°	ENM4-PT-FT-LED-25L-30-DI180-15' MH	1.000	1.000	1.000	45612	455.8
	5	D1	SINGLE	ENM4-PT-FT-LED-25L-30-IL-SINGLE-15' MH	1.000	1.000	1.000	17223	227.1

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.82	19.0	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	5.98	19.0	0.3	19.93	63.33

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 2275



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800-790-0000 • FAX 800-790-0000

LIGHTING PROPOSALLD-154319-5

TACD BELL
MT. HOPE & ELMERSTON RD
ROCHESTER, NY

BY: SAMMUEL

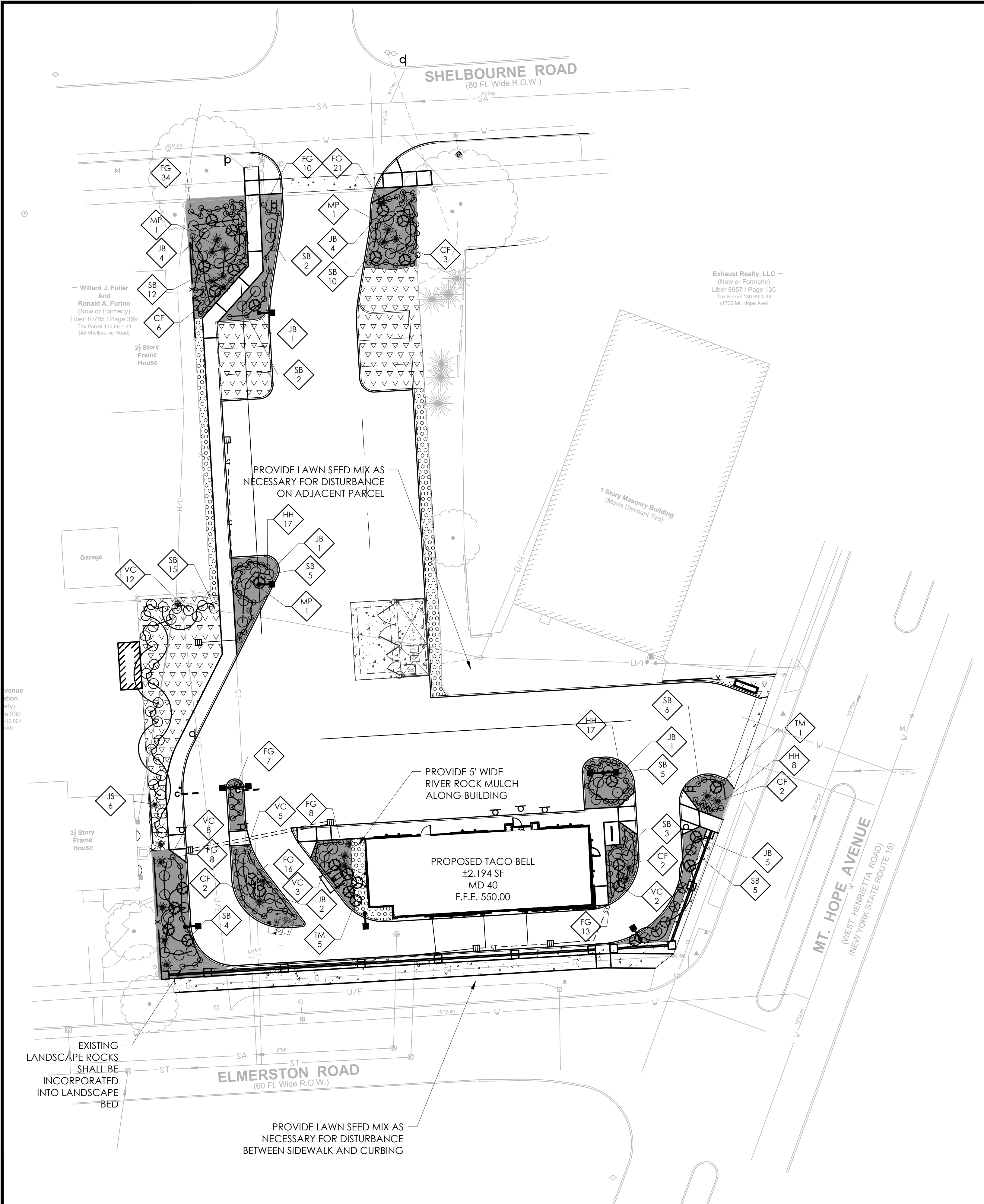
DATE: 6-19-21

REV: 2-7-22

SHEET 1 OF 1

SCALE: 1"=20'

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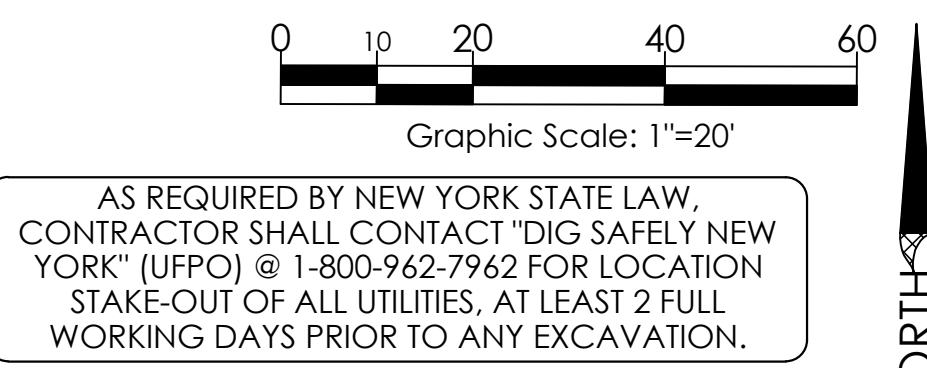
REFERENCE:
1. PICTOMETRY AERIAL IMAGERY
2. ALTA/NSPS LAND TITLE SURVEY
LANDS OF 1737 MT HOPE AVE AND
35 SHELBOURNE RD, PROJECT
NUMBER 2021.045.001, PREPARED
BY JACOBS LAND SURVEYING, LAST
REVISED OCTOBER 12, 2021.

LIGHTING NOTES:

- CONTRACTOR TO REFER TO DETAIL FOR LIGHT POLE BASES.
- CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING AND WIRING SCHEDULE OF LIGHT POLES, DIRECTIONAL SIGNAGE, CLEARANCE BAR, MENU BOARD, SPEAKER BOX, MONUMENT SIGN, ETC.
- LIGHT POLES PLACED BEHIND CURBING SHALL BE A MINIMUM OF 2' FROM THE FACE OF CURB TO THE OUTER EDGE OF THE LIGHT POLE BASE.
- BASED ON COORDINATION WITH THE NEIGHBORHOOD GROUP, PENDING CITY APPROVAL; TACO BELL IS WILLING TO DIM THE LIGHTS SOME AFTER THE DINING ROOM CLOSES WITH EVEN FURTHER DIMMING AFTER THE DRIVE THRU CLOSSES. THIS WILL BE FURTHER EVALUATED IN THE FIELD AFTER CONSTRUCTION.

LANDSCAPE NOTES:

- REFER TO SPECIFICATIONS FOR SEED MIXES AND ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKE OUT OF ALL PLANT MATERIAL AND SHRUB BEDS. LOCATIONS SHOWN ON THE PLAN CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE OWNER AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. CONTRACTOR SHOULD OBTAIN CURRENT UTILITY RECORD MAPS AND NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCING WORK.
- STAKE PLANTS AS INDICATED OR AS APPROVED IN THE FIELD. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATIVE PLANT LOCATIONS HAVE BEEN SELECTED. STAKES AND WRAPPING ARE TO BE REMOVED BY THE CONTRACTOR AT THE END OF THE GUARANTEE PERIOD.
- SHRUBS SHALL NOT BE PLACED WITHIN TWO (2) FEET OF A CURB.
- TREES SHALL BE A MINIMUM OF 5' FROM ROOT BALL TO UNDERGROUND UTILITIES AND 20' FROM OVERHEAD UTILITIES.



LEGEND OF IMPROVEMENTS

- SUBJECT PARCEL PROPERTY LINE
- PROPOSED BUILDING
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- GAS SERVICE
- WATER SERVICE
- SANITARY SEWER LATERAL & CLEANOUT
- UNDERDRAIN
- STORM LATERAL
- STORM SEWER & STRUCTURES
- PROPOSED STEEP SLOPES
- LIGHT POLES
- SHRUBS/BUSHES
- DECIDUOUS TREE
- CONIFER TREE
- LAWN SEED MIX
- BARK MULCH BED
- RIVER ROCK MULCH BED

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315-451-1957
315-451-9803

Taco Bell - Rochester NY

1737 Mt. Hope Ave
City of Rochester
Monroe County
Project Name & Location:

Planting and
Lighting Plan
Drawing Name:

Date: 06/10/21
Project No.

Type: MD40
20-0531

Drawn By: SLA
C5

Scale: 1" = 20'
Drawing No.

PLANT LIST						
QUANT.	KEY	LATIN NAME	COMMON NAME	CAL.	ROOTS	HT. OR. SP.
3	MP	MALUS 'RED BARON'	RED BARON CRABAPPLE	2'	B&B	20' HT. / 20' SP.
15	CF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS		#2 CONT.	24" HT. 4' O.C.
117	FG	FESTUCA GLAUCA	ELIJAH BLUE FESCUE		#2 CONT.	12" HT. 18" O.C.
42	HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY		#2 CONT.	2' O.C.
18	JB	JUNIPERS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC JUNIPER		#2 CONT.	18" SP. 4' O.C.
30	VC	VIBURNUM CARLESII	KOREANSPICE VIBURNUM		B&B	24" HT (AT PLANTING), 5' O.C.
69	SB	SPIRAEA BUMALDA 'GOLD FLAME'	GOLD FLAME SPIREA		#2 CONT.	24" HT (AT PLANTING), 3' O.C.
6	JS	JUNIPERUS SCOPULORUM SKYROCKET	SKYROCKET JUNIPER		B&B	24" HT (MIN. AT PLANTING), 4' O.C.
6	TM	TAXUS MEDIA 'EVERLOW'	EVERLOW YEW		B&B	18"-24" HT. / 4' SP.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	LLD	LDD
	2	B1	SINGLE	ENM4-PT-FT-LED-25L-30-SINGLE-25' MH	1.000	1.000
	1	C1	D180°	ENM4-PT-FT-LED-25L-30-D180-25' MH	1.000	1.000
	4	D1	SINGLE	ENM4-PT-FT-LED-25L-30-IL-SINGLE-25' MH	1.000	1.000

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
ALL CALC POINTS	Illuminance	Fc	1.44	8.3	0.0	N.A.
INSIDE CURB	Illuminance	Fc	3.50	8.3	0.4	8.75

NOT FOR CONSTRUCTION

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290 Elwood Davis Road
Suite 320
Liverpool, NY 13088
315-451-1957
315-451-9603

PROJECT NUMBER: 20-0531
BUILDING TYPE: MED40
PLAN VERSION: DEC 2020
SITE NUMBER: XXX
STORE NUMBER: xxx

TACO BELL
1737 MT. HOPE AVE
ROCHESTER, NY 14620



February 10, 2022

City of Rochester – Bureau of Buildings and Zoning
Attn: Anna Keller
City Hall, 30 Church St, Room 125B
Rochester NY 14614

RE: Proposed Taco Bell, 1737 Mount Hope – Parking Demand Analysis (SP-01-21-22)

Dear Ms. Khaleel,

The above-mentioned site is currently the location of the ±4,470 SF Rowe Photo building with 39 parking spaces. Taco Bell is proposing to construct a ±2,200 SF restaurant with drive thru facilities and 24 parking spaces at 1737 Mt Hope Avenue. Taco Bell is also proposing 6 banked parking spaces for potential/future use.

The project will demolish the existing building on-site, reduce parking spaces, and increase green space.

Taco Bell typically has 7-8 employees per shift with approximately 4 additional employees at shift change. While we acknowledge some employees may walk, bike, or bus; it is feasible to have 12 employee vehicles in the parking lot at one time. The dining room will have seating for 40 customers.

Similar locations around the Rochester/Syracuse region and corresponding parking spaces. As can be seen in the list below, the 24 proposed parking spaces is not excessive in this market area.

- Chili – 23 spaces (located in a plaza with shared parking)
- 1436 W Ridge Rd, Greece – 36 spaces
- 1008 Lehigh Station Rd, Henrietta – 33 spaces
- 16687 Pittsford Palmyra Rd, Perinton - 19 spaces along restaurant (located in plaza with shared parking)
- 3900 Dewey Ave – 25 spaces
- 8095 Oswego St, Liverpool – 57 spaces
- 3716 Brewerton Rd, N. Syracuse – 41 spaces
- 3500 W Genesee St, Syracuse – 33 spaces

During the winter months, some of the northern parking spaces will likely be used for additional snow storage as well.

Should you have any questions, comments, or are in need of additional information, please feel free to contact me (salbright@apd.com, 585-742-0204)

Sincerely,

Stephanie Albright

Stephanie Albright, P.E.
Senior Civil Engineer

cc: M. McCracken (Hospitality Syracuse, Inc.)
B. Brugg, Esq. (Woods Oviatt)

Headquarters

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February 10, 2022

City of Rochester – Bureau of Buildings and Zoning
Attn: Roseanne Khaleel
City Hall, 30 Church St, Room 125B
Rochester NY 14614

RE: Proposed Taco Bell, 1737 Mount Hope – Response to site plan comments (SP-01-21-22)

Dear Ms. Khaleel,

We are in receipt of your Site Plan Review comments for the proposed Taco Bell at 1737 Mt Hope Avenue dated January 2, 2022. We have also received the Code Compliance Review spreadsheet as prepared by Ms. Marcia Barry on December 15, 2021. We appreciate that the City is willing to work with us to help alleviate the site plan concerns. The Zoom meeting on January 20, 2022 was very helpful.

We are including several of the conceptual layouts that we considered prior to the site plan that we are working with now. There are significant concerns with all the other layouts that make them infeasible. These site plans are included for your review.

We have reviewed the City's concerns and have modified the site plan to the maximum extent practical. Several of the concerns are created by the unique L-shaped lot configuration and the site being on a corner lot. The recent DOT improvements to Mt Hope Avenue also further restrict the site plan options due to the existing curb cut location and the moratorium on modifications to the pavement/curbing within this corridor.

Environmental clean-up on this site has already been completed within the pavement areas of the site. Additional environmental clean-up is proposed within the Rowe Photo building footprint, once it has been demolished.

The location of our proposed curb cut on Shelbourne Rd is aligned with Norfolk St and is at the transition of commercial vs residential properties. This street connection and width are required for delivery trucks to exit the site. Any potential development with delivery vehicles on this site would likely require a curb cut on Shelbourne as well. A site plan configuration allowing for a delivery vehicle to completely turn around on-site and exit on Mt Hope is not feasible. The 30' drive lane provides sufficient room for the delivery trucks, emergency vehicles, refuse vehicles, and allows for vehicles to back out of their parking spaces.

Six parking spaces have been removed from the northern portion of the site. These parking spaces can be banked for future construction in the event Taco Bell determines additional

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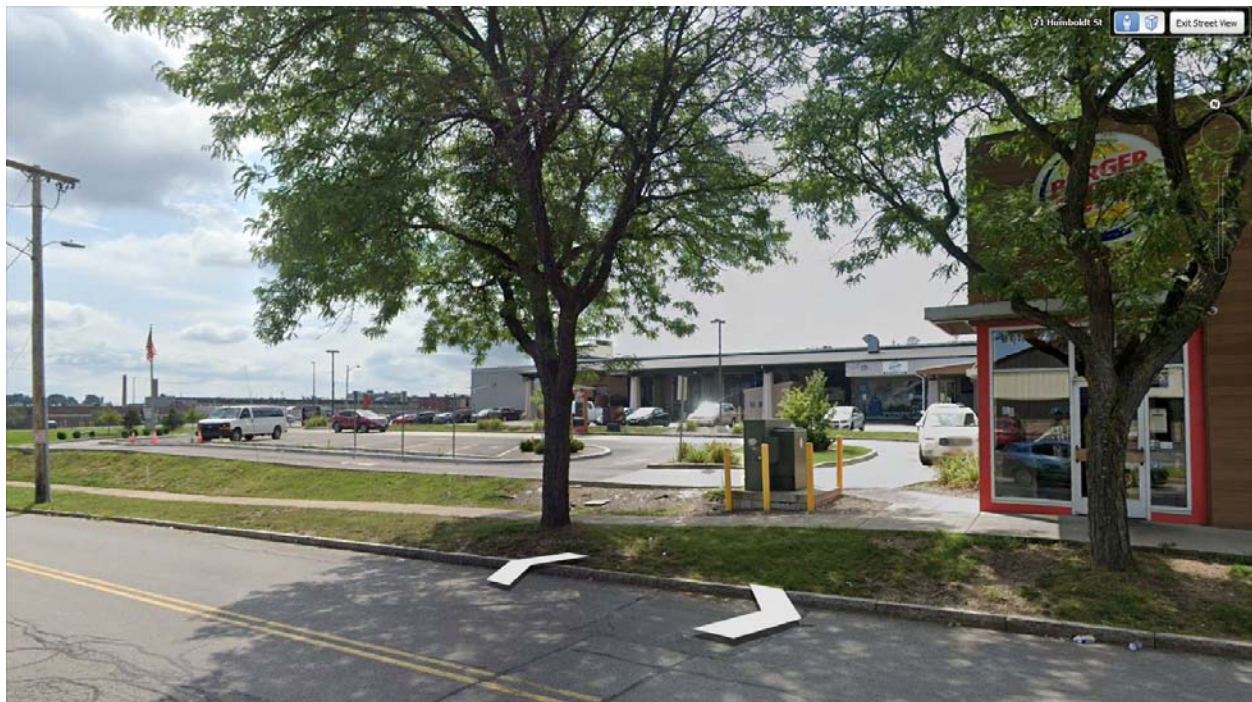
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spaces are needed. This will provide additional green space and snow storage with the initial construction. A parking demand analysis is provided for City review.

The fencing along Elmerston Rd has been upgraded to provide 5' of a solid wall and it has also been extended along the Mt Hope sidewalk limits. This wall will be constructed of materials to match the building and will shield the drive thru lane. This layout is similar to the Starbucks in College Town (both drive thru location and wall). There are no feasible options to completely remove the drive thru from the front yard, so a shielding wall will be provided to mitigate. Once we receive feedback from the City regarding the screen wall feasibility, we can provide additional renderings and details to show the extent of mitigation this wall will offer.

With the site located on a corner lot, it prevents any site plan option with a drive thru that doesn't have queueing, drive thru, or exit lane within the front lane. The current configuration has been analyzed to have the maximum queueing available on-site to minimize any impact to the surrounding streets. We feel that this location with nearby drive thru restaurants will be a benefit to the community.

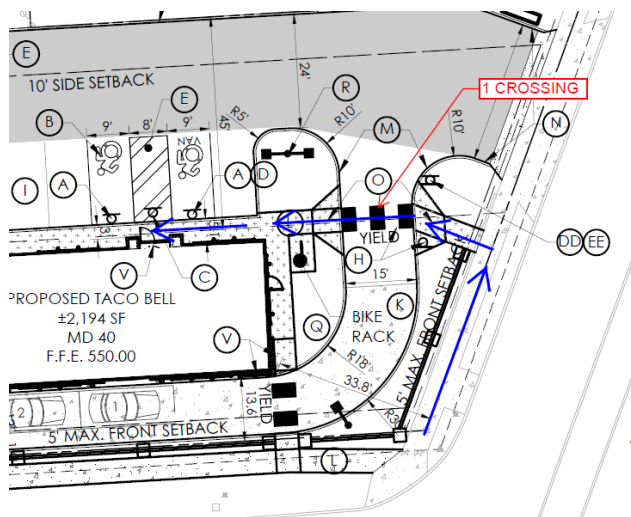
The Burger King on the corner of Culver and Humboldt is another similar situation with a quick service restaurant on a corner lot with drive thru features in the front yard. The entire drive thru is visible from Humboldt with no screening.



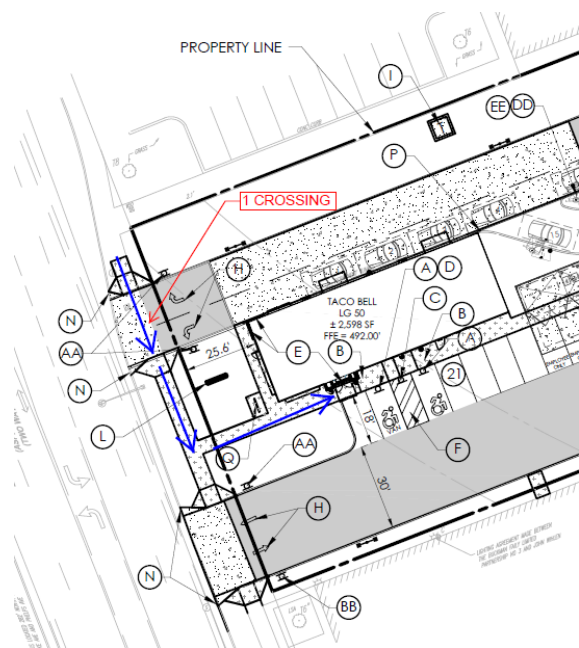
Burger King – 21 Humboldt St

The development of a drive thru use on a corner lot prevents the option of providing unrestricted pedestrian access to the building. The only site plan option to provide this pedestrian access would be to have an exit onto Elmerston. Due to the close proximity of the Mt Hope/Elmerston intersection, providing a direct exit to either road would not be desirable

or allowed for safety reasons. Furthermore, pedestrians are ultimately crossing the same number of driveways to enter the building. Below are examples of the site design for this project shown on the left, along with the proposed Taco Bell (358 Lake Ave) on the right for comparison. It could be argued that crossing an internal drive lane is safer than crossing the main exiting lane as cars would be more distracted observing the traffic flow on a main drive than on-site circulation. To aid in safety for pedestrian crossing, yield text and a pedestrian crossing sign have also been added to the site plan in lieu of only crosswalk striping. We disagree with the statement that the site plan is not pedestrian friendly. We are providing connections to the Shelbourne, Mt Hope, and Elmerston sidewalk networks. The overall site design was thought out with pedestrian access in mind to minimize pedestrian/vehicular conflict points.

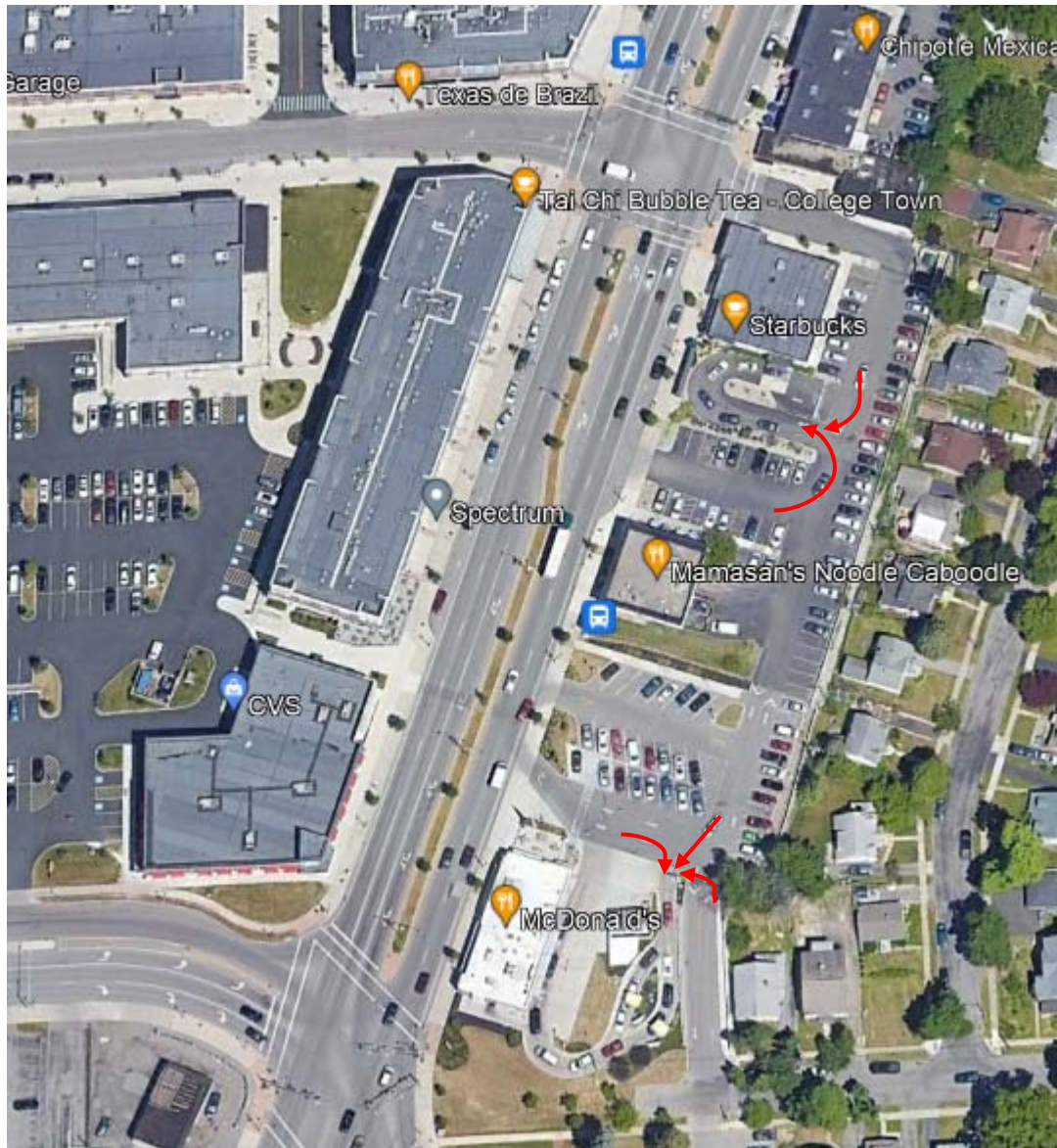


Mt Hope crosswalk



Lake Ave crosswalk

We have reviewed several Taco Bell site plans that are currently in operation with two site entrances and therefore have similar on-site conflict points at the drive entrance. These site plans are provided with this submittal for City review. To the best of their knowledge, Hospitality Syracuse has not had any accidents at this merge point, and no concerns have been expressed to the local managers of these locations. Both the McDonald's and Starbucks have similar conflict points for their drive thru lanes as well access from Celebration Drive and the private access drives as can be seen below. These restaurants however do not provide clear access paths across Celebration Dr and the drive thru lanes as you will find within the Taco Bell design.



McDonalds and Starbucks at College Town

The current Taco Bell site plan provides for 12 queueing vehicles in the two drive thru lanes. An additional 8 vehicles would need to be queued toward Mt. Hope before these vehicles would impact the drive thru exiting traffic. Hospitality Syracuse operates over 100 restaurants and through their experience feels that the available queueing space for this site will not create any long-term on-site congestion. For comparison, Wendy's can only stack 9 vehicles and Burger King can only stack 7 cars (as can be seen below) before queueing on Mt Hope begins.



Wendys – 1550 Mt Hope Ave



Burger King – 1780 Mt Hope Ave

A center lane and striping has been added to the Taco Bell plans to provide maximum maneuverability for vehicles parked along the building to back out of their parking spaces.

If the City feels strongly about the merging of the two ordering points into one pick up lane, we would be agreeable to removing one of the ordering lanes.

The Taco Bell directional signs on Shelbourne will not be internally lit. A note has been added to the site plan to indicate this. **This will remove the waiver associated with 120-177(9).**

The request to provide a drive thru bypass lane is not feasible for this project due to the minimum width along Mt. Hope. It should be noted that this is not a code requirement and is also not provided at other nearby restaurants including Starbucks and McDonalds. Emergency vehicles have full access to the site through the parking lot and/or the adjacent streets. Similar developments like the Burger King on Alexander have recently been approved without a bypass lane (see below).



347 Monroe Ave

The building location and drive thru exit lane has been designed to maximize stacking during the peak hour after the pick-up window. The drive thru exit lane (after pick up window) has sufficient space to queue 4-5 vehicles before it would impact the drive thru operations. This is a greater distance than is provided at either Burger King or Wendy's (from pick-up window to Mt Hope). While the vehicles exiting will need to alternate between the main drive and the drive thru exit, we don't foresee any specific impacts here.

The Code requires space for 6 cars stacking after the order point and 4 spaces from the pick-up window to the order point. The proposed site plan has 5 stacking spaces from the point for the western drive thru lane and 3 for the mobile drive thru lane for a total of 8 stacking spaces. The drive thru lane shares 4 spaces between the pick-up window and the order point. The code doesn't clarify the requirements when a second drive thru lane exits. **We feel that the total stacking provided meets the intent of the code and that a waiver for 120-174 should not be required.**

Based on the code requirement, 63 shrubs and 40 trees are required for the project. Code allows for 3 shrubs to be planted in lieu of 1 tree. The current planting plan proposed 9 trees and a total of 297 shrubs/ornamental grasses. We acknowledge that not all of these plantings meet the 24" requirement at the time of planting; but in most cases this is due to a lower mature height for these species. **We feel that this updated plan will remove two of the listed waivers.**

An updated lighting plan has been prepared to utilize the dark sky compliant (LSI ENM4) at 15' high (see image below). This is a more decorative light fixture that will tie into the neighborhood community. The light source is contained completely within the fixture and will have minimal spillage along the property line. These fixtures do have an internal louvre that helps minimize light spillage behind the fixture, but they don't cut off the light quite as quickly as the more commercial looking LED fixtures. By lowering the poles to 15' these fixtures will now be completely below the adjacent elevation of 2nd floor residential windows.



The building elevation has been updated to show a parapet height of 20' minimum. The front façade has a glass door and adjacent window to total 51% transparency between 2' and 8' from the ground. The City requirement is to provide a minimum of 70% transparency. It should be noted that it appears there was a miscalculation on the City Code review requirement, the total frontage area is 172.75 SF (between 2' and 8' above grade). The 70% requirement would be 130.93 SF and we are proposing 87.6 SF. Based on the tower element and the structural elements, it isn't feasible to meet the 70% requirement. The windows will be clear (no tinting) and nothing will be placed in front of the windows to block them. This area is the front dining room and only chairs/tables will be placed in

front of the windows. As can be seen below, the McDonalds on Mt Hope has spandrel glass and less therefore far under the requires 70% transparency required.



1422-32 Mt Hope Ave

The building design for this Mt Hope location has been significantly upgraded from a typical location to fit in with the neighborhood. As can be seen below, the elevation on the left is the restaurant that was recently constructed in New Hartford, NY; compared to the proposed elevation for Mt Hope on the right.



New Hartford NY

Mt Hope Ave, Rochester NY

Enclosures:

The following documents are being provided via email for your review.

1. Revised Site Plan incorporating the above referenced items
2. Other locations site plans showing multi-entrance to drive thru lane
3. Prior sketch plans with mark-ups
4. Updated photometric plan
5. Updated landscape plan
6. Updated building elevation showing 20' minimum
7. Parking demand analysis

We look forward to continued collaboration with the City. Should you have any questions, comments, or are in need of additional information, please feel free to contact me (salbright@apd.com, 585-742-0204)

Sincerely,

Stephanie Albright

Stephanie Albright, P.E.
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