

REUSE ASSESSMENT | ORCHARD - WHITNEY SITE ROCHESTER, NY | DECEMBER 1, 2016



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The City of Rochester
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I. Introduction

The City of Rochester, New York has been awarded brownfield area-wide planning grant funding from the U.S. Environmental Protection Agency (EPA) to develop an area-wide revitalization plan and implementation program focused on repositioning brownfield sites in the Jay Orchard Street Area Neighborhood (JOSANA) for development purposes. This plan is focused on the opportunities and constraints of the approximately four-acre city-owned Orchard-Whitney Site (415 Orchard Street and 354 Whitney Street) as well as evaluating the potential for utilization of surrounding private and city-owned parcels in the context of redevelopment of the subject site.

This report represents the Reuse Assessment portion of the area-wide plan. It includes an opportunities and constraints analysis and a demographic and market study of the local area and region, and identifies potential growth opportunities, as well as potential reuse alternatives for the Orchard-Whitney site.

Property Overview

The City of Rochester is a mid-sized city of approximately 210,500 people, located in west-central New York on Lake Ontario, approximately 60 miles east of Buffalo, and 340 miles north-west of New York City. The site is located in proximity to the Rochester Central Business District and is located a block away from Rhinos Stadium, a \$23 million multi-purpose soccer facility which is home to the Rochester Rhinos of the USL Pro League, the Western NY Flash of the National Women's Soccer League, and the Rochester Rattlers of Major League Lacrosse. Completed in 2006 the stadium, was funded in large part through \$15 million in state subsidies. The site's central location and proximity to Interstate 490, Lyell Avenue, State Street, and West Broad Street make it easily accessible from all directions by cars and trucks.

The Orchard-Whitney site, located less than two miles from the city's downtown, is a 3.9-acre vacant brownfield well-known in the Jay Orchard Street Area Neighborhood as a targeted redevelopment site.

The Orchard-Whitney site has been home to numerous industrial entities since 1900, including Northeast Electric, and Sykes Datatronics. Most recently the site was the home to a boiler manufacturing company – Delco, which manufactured heating systems. The operations of these various entities contributed to the presence onsite of brownfield conditions that resulted from installation of bulk storage tanks, electrical transformers, power production and coal storage equipment, all of which combined to create contamination across the property. Environmental assessments and remedial action have been completed on the site. The remaining chemicals of concern in soil and groundwater, as well as, elemental lead and asbestos, are addressed under a Site Management Plan, which requires institutional controls through an Environmental Easement. All buildings that had existed on the site have been demolished; however, numerous foundations and tunnels are still in place. The site has been vacant and fenced off since the mid-1990s.



Delco Plant circa 1939 (Photo credit: From the collection of the Rochester Public Library Local History Division)

Historically, the Orchard-Whitney area was first developed in the mid-1800's when the Erie Canal cut through what is now the Broad Street area. The presence of the canal and rail in the area combined to develop the area along a basically industrial track. Housing in the area was largely developed by German and Italian immigrant workers who planted their yards with produce giving the area the nickname of the Fruit and Nut neighborhood. Many of the area's current street names, including Orchard Street, reflect this heritage.

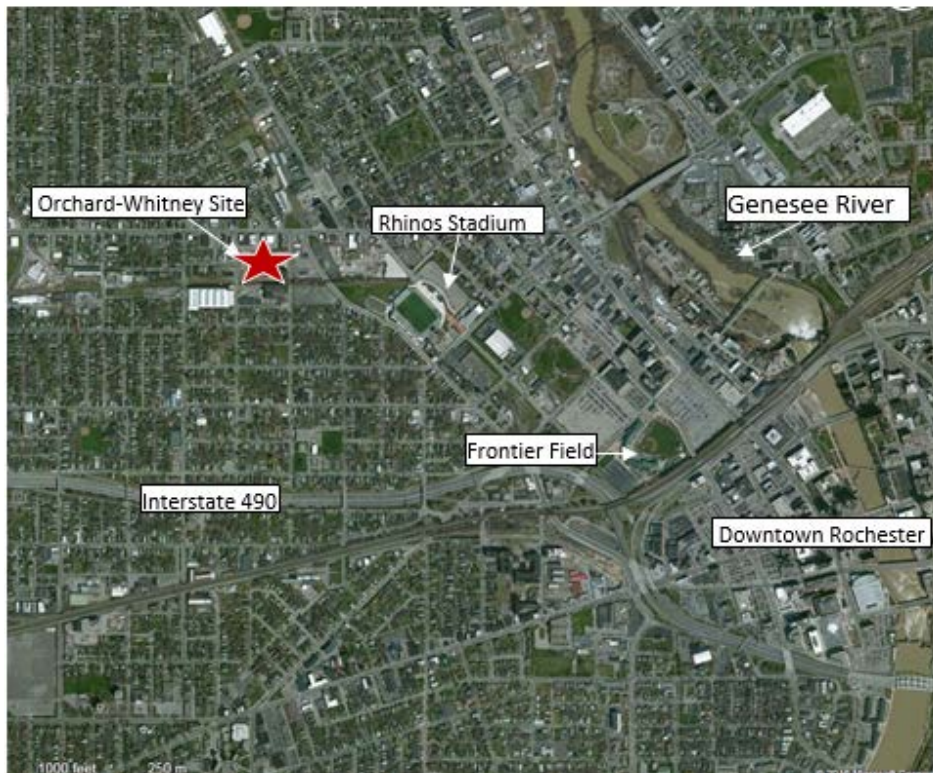
The Orchard-Whitney site is strategic for the revitalization of the JOSANA neighborhood in which it is located, since it offers an opportunity for development on a +/- 4-acre city-controlled parcel of land, which is situated in a community that has a demonstrated need for services as well as employment opportunities. In working to identify potential redevelopment opportunities for the Orchard-Whitney site, consideration was given to explore options to physically expand the site: 1) north to create a connection to Lyell Avenue thus opening up potential retail development opportunities to the Orchard-Whitney site just south of Lyell; 2) east of the site across Orchard Street to encompass several major parcels of land the city owns; and 3) south of the site for purposes of increasing the development footprint potential for industrial usage. Each of these expansion opportunities has constraints ranging from private ownership of surrounding land to site control issues of city parcels which have been placed under lease for ancillary soccer stadium usage. Regardless, further exploration of these potential assemblages should be encouraged.



Image of Lyell Avenue with Street Car Tracks (Photo credit: City of Rochester)

Given the fact that the JOSANA neighborhood has a 53% poverty rate¹ and a 17.5% unemployment rate², the overarching goal of the city has been to focus resources and attention on the development of this site with a view towards optimizing job creation and expansion of the city's tax base.

Figure 1: Property Context Map



¹ U.S. Census Bureau, 2009-2013 American Community Survey.

² 2015 estimate. U.S. Census Bureau, Census 2010 Summary File 1. ESRI forecasts for 2017-2021.

II. Property Characteristics

Property Summary

The subject property includes two parcels of land with reference addresses of 415 Orchard Street and 354 Whitney Street, Rochester in Monroe County, New York. A seven-story structure was the last remaining building to be demolished on the site at 415 Orchard Street. Structures previously occupying 354 Whitney Street were likewise demolished due to the unsafe condition of the buildings. Table 1 provides a summary of the property's characteristics.

Table 1: Property Characteristics

Table 1: ORCHARD-WHITNEY SITE Property Summary	
General Location:	The property is located immediately south of the commercial properties lining Lyell Avenue but lacks physical connection to Lyell Avenue frontage
Site Ownership:	City of Rochester
Address:	415 Orchard Street and 354 Whitney Street, City of Rochester, Monroe County, New York
Access:	Direct access to the site is currently off Whitney Street and Orchard Street
Road Frontage:	Approximately 385 Feet on both Whitney and Orchard Streets
Topography:	Primarily flat due to previous site use. Stockpiled debris berm exists adjacent to the CSX railbed which lies along the southern property line.
Hydrology:	Natural drainage flows to the north end of the site toward Lyell Ave
Land Use:	Capped brownfield, vacant, surrounded by commercial, industrial and residential property
Utilities:	Public water, sewer, electric, telephone, cable, gas and internet
Zoning:	Industrial
Site Improvements:	Demolition of structures associated with former facility and contaminated site remedial work
Tax Map #'s:	105.66-3-24 (354 Whitney St) and 105.66-3-23 (415 Orchard Street)

Currently, the site is a fenced vacant lot primarily covered with concrete slabs and building demolition debris. A large berm comprised of brick, concrete, and other demolition debris is located on the southern and western edge of the site adjacent to the existing CSX rail abutment to the south. The site is bordered by Orchard Street to the east, the former CSX railroad right-of-way to the south (currently planned as the JOSANA Rail Trail), Whitney Street to the west, and commercial buildings to the north.

Figure 2: 3.9-Acre Orchard-Whitney Site



Surrounding Land Uses

The subject property is located in a largely commercial and industrial enclave of Rochester within close proximity to residential neighborhoods, downtown Rochester, city-owned vacant land, single family home residential uses as well as automotive repair, warehouse cold storage, and industrial uses which surround the site itself.³

Land Use Regulations and Policies

The following section considers local, regional and state land use regulations and policies potentially affecting the subject property and its current status.

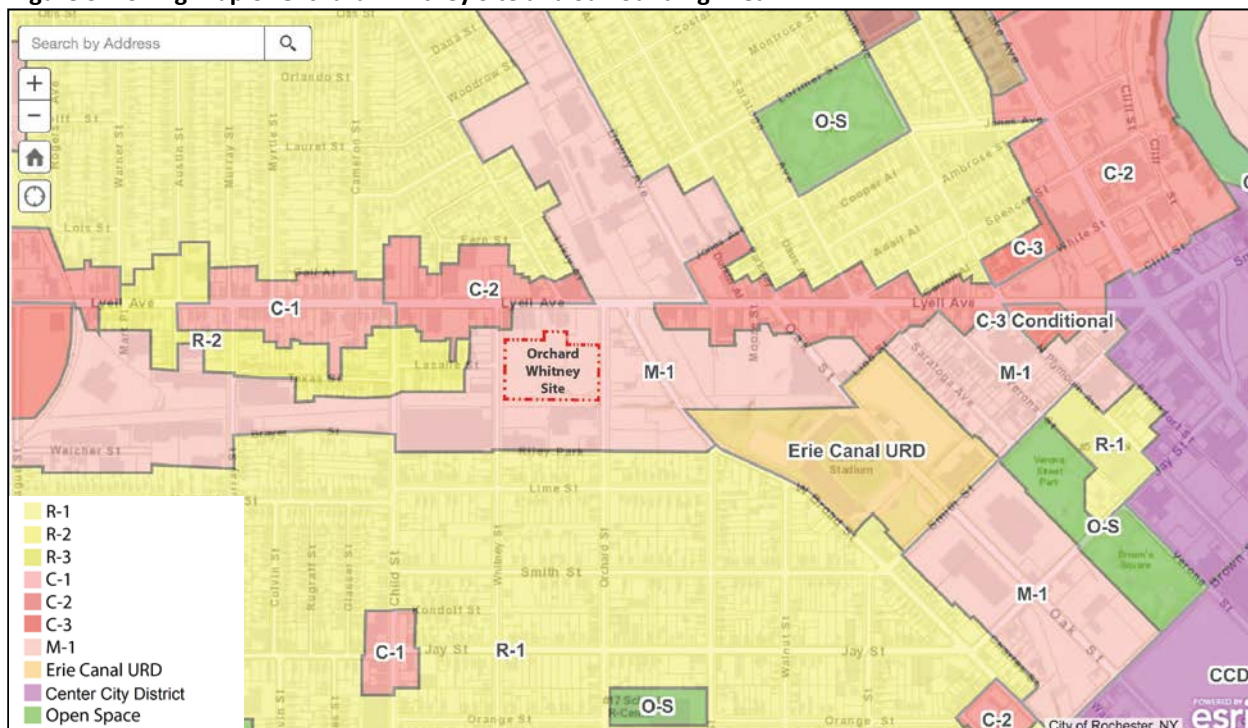
Zoning

The subject property is located in an M-1 Industrial District. The M-1 Industrial District provides flexibility as reflected in the purpose statement as follows:

The M-1 Industrial District promotes the retention and growth of employment opportunities by providing areas where a broad range of industrial uses may locate and where options for complementary uses exist in older two-story and multistory buildings. The obsolescence of many industrial buildings for traditional manufacturing purposes is recognized, and the reoccupancy and redevelopment of those buildings are encouraged through the allowance of retail sales and services, offices, eating and drinking establishments. Residential conversions are permitted primarily to accommodate loft-style living spaces and to meet the needs of those seeking the benefits of live-work arrangements.

Additional details on the M-1 Industrial District can be found in Rochester's City Code, which can be accessed here: <http://ecode360.com/8681474>. Figure 3 shows the zoning for the Orchard-Whitney site and the surrounding area.

Figure 3: Zoning Map of Orchard-Whitney Site and Surrounding Area



³ Area is defined as a 0.5-mile radius centered on 354 Whitney Street, Rochester, NY.

Existing Planning Efforts

JOSANA Neighborhood Plan⁴

The city and the JOSANA neighborhood stakeholders prepared the JOSANA Neighborhood Master Plan in 2010 in which the Orchard-Whitney Site was cited as a focus for revitalizing the neighborhood.

LYLAKE BOA Revitalization Strategy

The site is located within a New York State designated Brownfield Opportunity Area, known as the Lyell-Lake-State Street Brownfield Opportunity Area (LYLAKE BOA). In March 2014 Camoin Associates, as part of the Bergmann Team, completed a comprehensive market analysis of the LYLAKE BOA. This study consisted of a demographic and socioeconomic analysis, general economic outlook, residential market analysis, retail market analysis, and an office and industrial market analysis. Many of the findings by Camoin Associates appear to be consistent with the findings of Vita Nuova as presented in this study. LYLAKE BOA Revitalization Strategy emphasized the importance of redevelopment of the Orchard-Whitney site as a key element in the revitalization and sustainability of this challenged area of the city.

Existing Conditions

The following section provides detailed information on the existing conditions on the subject property, including infrastructure, utilities and site conditions. Additional details can be found in Appendix A – Orchard-Whitney Property Constraints Analysis.

Site Accessibility and Visibility

The site is located in close proximity to both county and state highways.

- Interstate 490 is approximately 1/3 miles to the south, providing access to the larger Rochester metropolitan area and Monroe County, including direct connectivity to the New York State Thruway (I-90).
- Mount Read Boulevard is approximately 1.5 miles west of the site. Mount Read Boulevard is a 4-lane (5-lane with turning lanes) arterial designed to carry large volumes of traffic including trucks. Mount Read Boulevard connects directly to Lyell Avenue.
- Lyell Avenue is the primary east-west corridor for local traffic adjacent to the Orchard-Whitney site. It extends from suburban neighborhoods west of the site to the State Street/Lake Avenue intersection to the east.
- The New York State Thruway (I-90) is approximately 24 miles to the south, providing access to Syracuse, Rochester, Buffalo, Utica, and Albany.

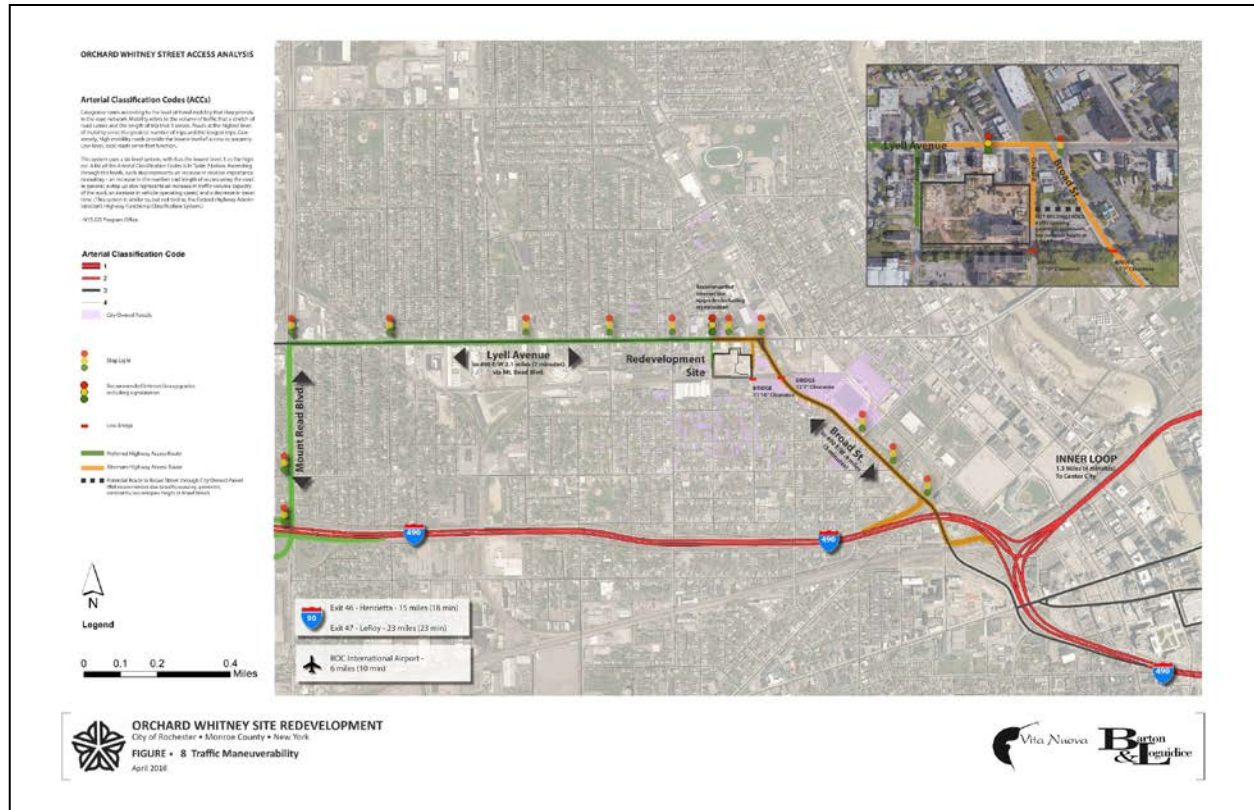
A multi-jurisdictional street, Lyell Avenue functions as New York State Route 31 west of Broad Street and a city street east to State Street near downtown Rochester. While it carries mostly local traffic, Lyell Avenue is a commuter route for travelers accessing downtown from the west, carrying approximately 18,500 vehicles per day.

Interstate 490 is approximately 1/3 miles to the south of the Orchard-Whitney site and provides connectivity with downtown Rochester, outlying suburban areas, and the New York State Thruway System. A limited access highway, I-490 carries significant traffic of over 110,000 cars per day between the Broad Street and Ames Street exits. There are three interchanges along I-490 in proximity to the site: Ames Street; Child Street; and Broad Street via Allen/Brown Streets.

⁴ <http://www.cityofrochester.gov/LYLAKE/>

Figure 4 summarizes the transportation infrastructure in proximity to the Orchard-Whitney site and shows optimal access into the site from the surrounding street network. For additional information, see Appendix A.

Figure 4: Orchard-Whitney Street Access Analysis



Additional site accessibility findings include:

- I-490 will likely be the primary distribution route for vehicles seeking to travel to the site from points west and east of the city.
- The Broad Street exit is a suitable route for cars and small trucks traveling to the site, however, the low rail bridge overpass presents an obstacle for large axel trucks.
- Left-hand turning movements from Broad Street onto Lyell Avenue, while geometrically adequate for all types of vehicles, is constrained by the queuing that exists due to the stacking at the Sherman Street/Lyell Avenue intersection. This also presents an issue for left-hand turns from Lyell Avenue onto Orchard Street.
- The most viable route for truck traffic to access the Orchard-Whitney site would be the use of the Mount Read Boulevard exit.
- While the intersections of Lyell Avenue with Orchard Street and Whitney Street are geometrically suitable for small trucks and cars, minor upgrades including larger radius curb lines and pavement upgrades are suggested to accommodate the future use of large axel trucks.
- Pavement conditions along Orchard Street and Whitney Street are recommended to include City of Rochester design and construction specifications to accommodate truck traffic should the redevelopment of the site include heavy truck traffic.

- Pedestrian access to the site is provided via adjacent sidewalks. The abandoned railbed along the southern property boundary offers an additional opportunity to provide pedestrian and bicycle access to the site from surrounding neighborhoods; however, the railbed may impede potential future land assembly efforts.

A study was also conducted to determine the viability of creating a new access driveway entrance or connector road from Broad Street to Orchard Street in order to provide direct access to the Orchard-Whitney site as part of future redevelopment. This would allow the potential to target some type of reuse on adjacent city-owned parcels, either in lieu of redevelopment on the Orchard-Whitney property, or to complement redevelopment of the property. Summarized below are findings from this assessment. See Figure 4 above and Appendix A for more information.

- While not difficult to construct, queuing and stacking of vehicles from the Broad Street/Lyell Avenue intersection southward creates an obstacle for left-turn movements into a new potential driveway off of Broad Street.
- Assuming a substantial percentage of traffic to the site would come from I-490 using the Broad Street exit, the low rail bridge clearance (12' 7") creates an obstacle for large axel trucks.

Rail

Railroad infrastructure is in proximity to the Orchard-Whitney site and can provide train service. This service, which is not directly on the property, consists of low speed freight spurs which support area industries. CSX has a mainline which travels east-west to the south of I-490 as it exits downtown Rochester. A secondary line travels north below I-490 and into the JOSANA neighborhood crossing Hague Street. The area south of Lyell Avenue between Glide and Hague Streets has strong potential to be serviced by new rail sidings for commercial/industrial activities.

A former siding that traveled east-west between Masseth Street and Lyell Avenue has been abandoned, while the spur line continues northward to an at-grade crossing of Lyell Avenue. This abandoned line has been the subject of a preliminary design and planning study to determine its feasibility for conversion to a Rail-to-Trail system connecting the neighborhoods from east to west along the Orchard-Whitney site's southern property boundary. The city is currently in discussion with CSX regarding purchase of the right of way.

Utilities

The site is currently serviced by all requisite utilities, which run primarily along Lyell Ave, Whitney Street, and Orchard Street adjacent to the site. Appendix A provides mapping of sewer and water infrastructure. Specifically, known utilities include:

- Monroe County Pure Water systems – Storm and Sanitary
- City of Rochester systems – Water & Street Lighting
- Rochester Gas & Electric – Gas & Electric
- Frontier Communications – Communications
- Time Warner Cable- Communications

Per discussions regarding other utilities on and adjacent to the site, including Frontier Communications and Rochester Gas and Electric, they must be contacted separately for evaluation of existing capacity of their utility. While it is not anticipated that additional utility capacity and infrastructure will be necessary to accommodate future commercial or industrial development on the Orchard-Whitney site, each utility

will provide cost estimates for upgrades, if necessary. In order to simply connect to existing services, arrangements must be made with each utility company for future connections.

Topography

The subject property is primarily flat due to previous site use. A stockpiled debris berm exists adjacent to the abandoned CSX railbed running along the southern property line, which is at a higher elevation.

Appendix A provides site contour mapping for the Orchard-Whitney property.

Wetlands, Watercourses and Floodplain

An assessment of the property found no evidence that wetlands or other watercourses are present. In addition, the property is not located within a flood zone.



View south to raised railbed and debris berm. (Photo credit: City of Rochester)

Stormwater

Reliable documentation is unavailable with regard to onsite contours or surface flows due to the nature of the property being an urban vacant site with demolition debris covering its surface, and without having the benefit of a post-demolition topographic survey completed. However, based on field visits there are a few stormwater inlets adjacent to the site on Whitney Street.

Subsurface Environmental Conditions

The subject site has a long history of industrial use. Potential sources of chemicals of concern in soil and groundwater on the site as a consequence of past industrial usage have been addressed by environmental assessments and remedial action⁵. These sources included underground storage tanks, electrical transformers, coal storage, chemical storage, metal finishing operations, and plating operations. Primary chemicals of concern identified during the investigations were chromium, lead, cadmium, total petroleum hydrocarbons (TPH) and petroleum contamination related to volatile and semi-volatile organic compounds in soil and groundwater, and low-levels (<10 ppb) of chlorinated solvents in groundwater. In addition, asbestos pipe wrap was identified in existing underground tunnels and elemental lead was identified in concrete slabs on the site.

Remedial action has been completed on the site pursuant to the Predevelopment Subsurface Conditions Analysis Investigations Report performed by Lu Engineers. Elemental lead remains onsite in portions of the concrete slab and asbestos pipe wrap remains in the existing tunnel system. Soil excavation conducted on the site removed accessible petroleum contaminated soil. Concentrations of cadmium and chromium remain in soil, but are below the commercial use soil cleanup objectives. Exposure to remaining chemicals of concern in soil is addressed by a cover system consisting of crushed building debris and concrete placed over the site. Resource Conservation and Recovery Act (RCRA) metals above the New York State Groundwater Class GA standard are present in groundwater.

The remaining chemicals of concern in soil and groundwater, as well as, elemental lead and asbestos, are addressed under an Environmental Easement (see Appendix B) and Site Management Plan. The Site Management Plan indicates requirements for institutional and engineering controls including, but not limited to:

1. Restriction on the use and development of the property to commercial or light industrial use.

⁵ A Predevelopment Subsurface Conditions Analysis Investigation Report was performed by Lu Engineers in 2013.

2. Prohibition on the use of groundwater without necessary treatment.
3. Evaluation of potential for vapor intrusion if buildings are constructed and monitor or mitigate as appropriate.
4. Inspection and maintenance of the existing cover system.
5. Implementation of procedures in the event the cover system is breached or removed or underlying remaining contamination is disturbed.
6. Conducting annual groundwater monitoring.
7. Conducting annual site-wide inspection.

The New York Environmental Restoration program provides liability protection (set forth at ECL Section 56-0509) in the form of a release for any claims made against the municipality and its successors and assigns (i.e., future site owners) relating to contamination at the property. This includes third-party toxic tort claims as well. It also includes an indemnification and defense provision, whereby the New York State Attorney General will defend any claims and indemnify the owner for any liability. To the extent contamination is identified at the property subsequent to the Certificate of Completions being issued, the state will fund the additional work necessary to protect public health and the environment. The above protections are granted with the receipt of a Certificate of Completion issued pursuant to 6 NYCRR Part 375-1.9 and 4.9. The Certificate of Completion will be issued upon filing with the state by the selected developer of the site. Further, once the protections are granted, such protections are retroactive to the date of the approval of the municipality's application to the Department of State.

Geotechnical Conditions

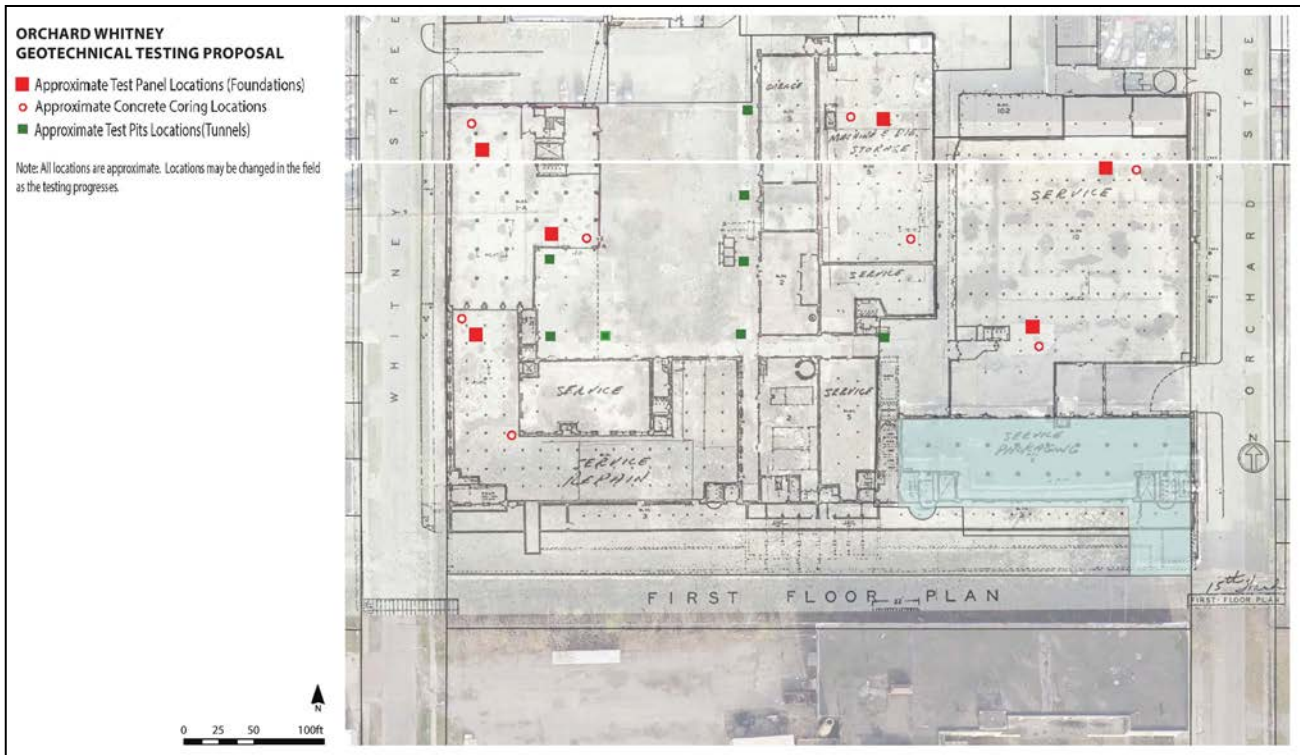
The Orchard-Whitney site consists generally of a fill layer and native soil layer overlaying rock throughout the site. The rock is between 8 and 16 feet below the surface. The fill and native material is generally poorly consolidated and can resist low to moderate loadings (2500-3500 psf). The rock is competent bedrock that can accommodate a bearing pressure of 24 ksf. Based on these observations, the site is suitable for any industrial or commercial development likely to occur on the Orchard-Whitney site. Single story buildings will be able to utilize a slab on grade foundation, whereas multiple story buildings will likely need to found their structures on rock utilizing piles or similar support to handle the additional loads. In essence, the site is buildable, and as such will be attractive to development.

As noted, the site has numerous foundations and tunnels still in place from previous development. The foundations consist of the first floor slabs which were left undisturbed when the buildings were demolished. A portion of the debris from these building demolition activities is spread over the entire site with a large stock pile along the southern border adjacent to the CSX rail. Figure 5 provides a map of the foundations and tunnels and shows the geotechnical testing for the Orchard-Whitney site. This work is in addition to geotechnical work undertaken by Foundation Design PC, a sub-contractor to Lu Engineers.



Example of existing concrete slabs on the site. (Photo credit: City of Rochester)

Figure 5: Map of Geotechnical Testing Indicating Extent of Foundations on the Site



The results of the testing provided a better definition of the capacity of the existing foundations, which are provided in the table below.

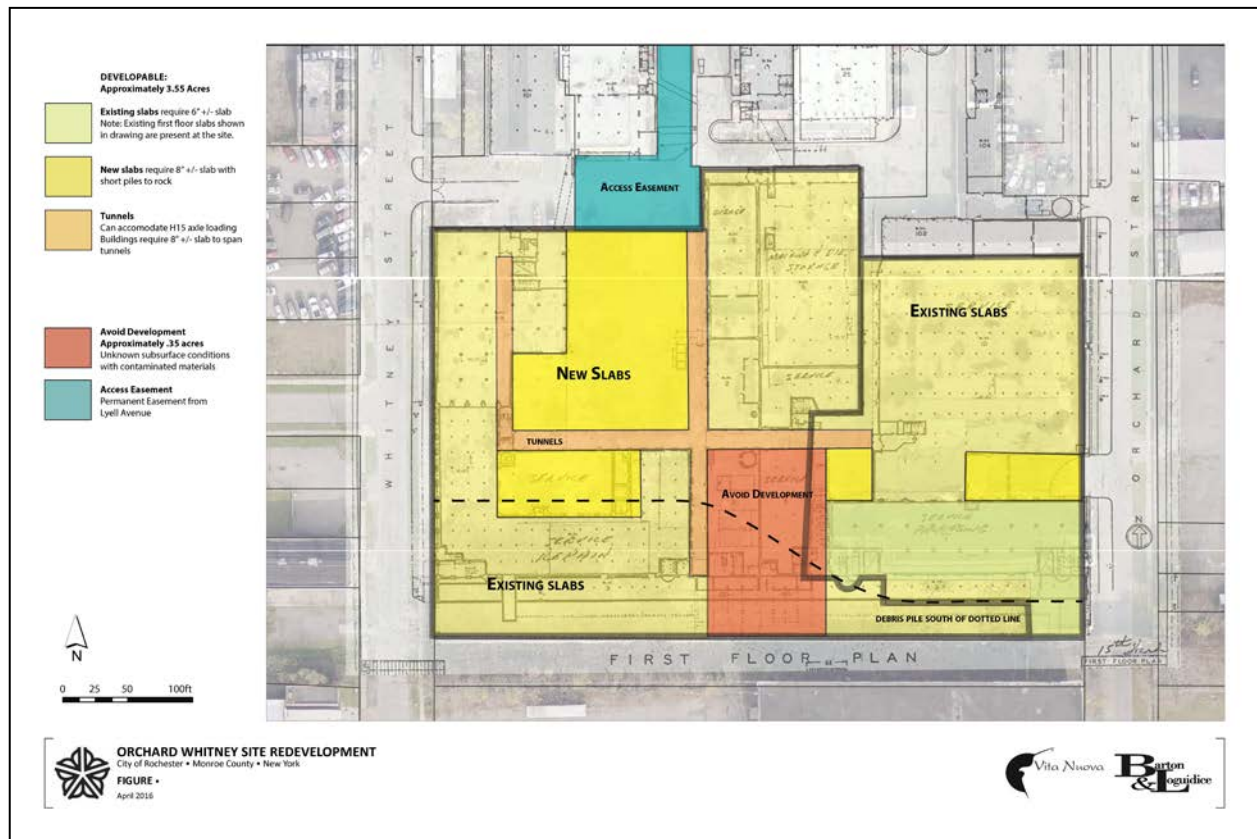
Table 2: Capacity of Existing Foundations Summary Chart

	Thickness	Rebar	f^c	Allowable Load
Building Foundations	4"-10"	Minimal or none at all	2300psi minimum	0 psf to 250 psf
Tunnels	6" minimum (slab)	Unknown dia. with 1.5" cover and 6" spacing. Assume #6 bar (assume fy=36ksi)	2300psi (untested location – assume minimum strength of tested samples	330 psf or 23.1kip point load

The analysis found that the surfaces of all of the slabs are weathered and distressed. A new concrete slab is recommended in all locations as part of development. The new concrete slab would consist of a 6" thick slab with a single reinforcement mat (#6 @ 12" in each direction) to allow all of the foundations to be utilized for proposed heavy manufacturing use equivalent to 250 psf. The tunnels can accommodate an H-15 wheel load (two-axle single unit truck weighing 15 tons), but would require additional reinforcement to handle tractor trailer traffic. Proposed buildings can be built over the tunnels by utilizing an 8" thick slab with reinforcement. Piles would be placed either side of the tunnel, where necessary to carry the proposed load to bedrock. Figure 6 shows the areas that are developable and areas to avoid based on the geotechnical investigation.

The full geotechnical report is provided in Appendix C.

Figure 6: Developable Areas Based on Geotechnical Evaluation



In summation, with the exception of a .35-acre restricted development area of the site surrounding a former smoke stack (see Avoid Development area in Figure 6), the entire remaining approximately 3.14 acre Orchard-Whitney site can be capped and developed without extraordinary cost despite the presence of the subsurface tunnels. It is recommended that the restricted development area surrounding the smokestack not be disturbed or developed for both environmental and subsurface conditions. Development design alternatives are included in the Redevelopment Opportunities section of the report.

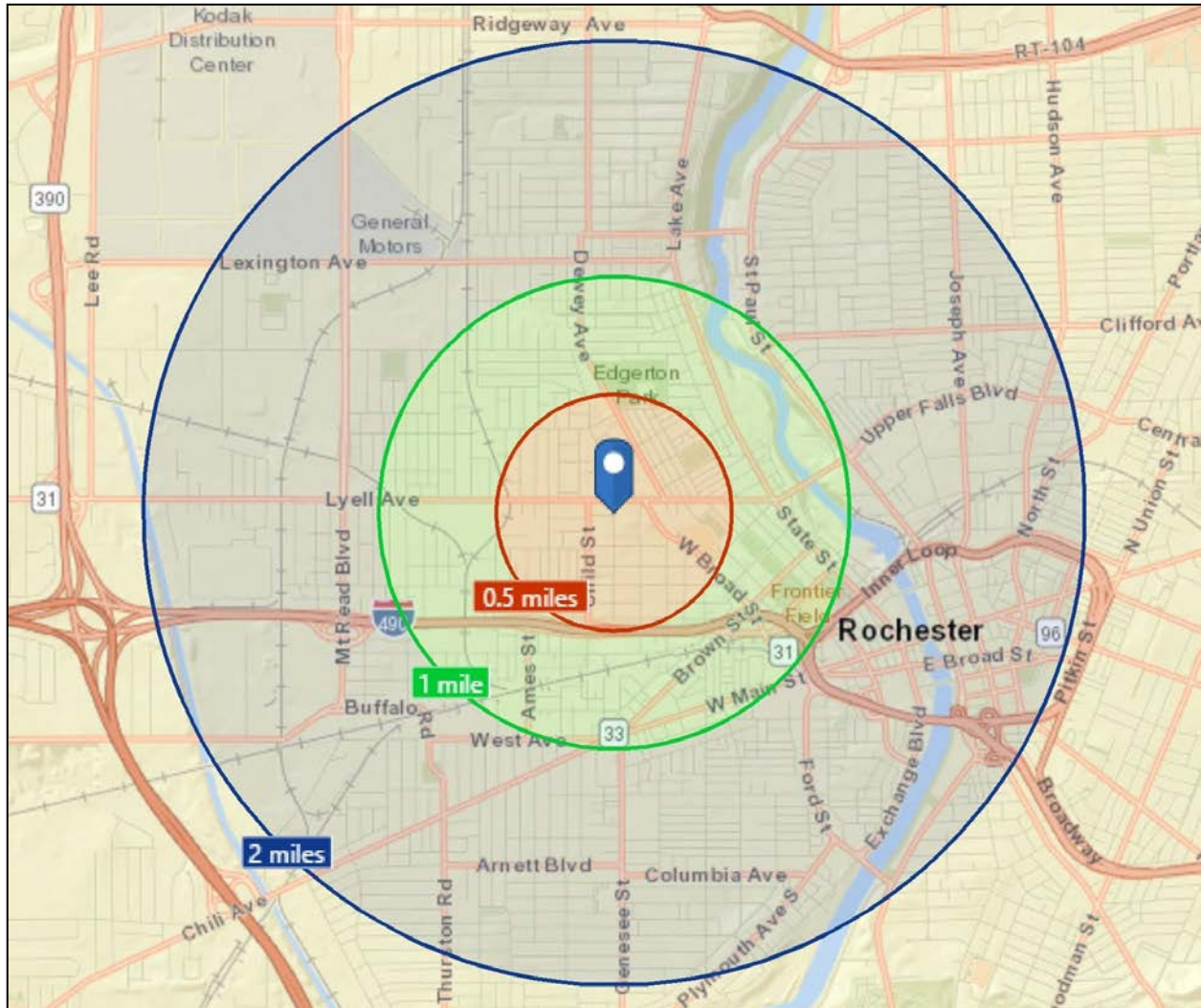
Preliminary investigation of this restricted development area revealed the presence of subsurface asbestos which is capped by a concrete slab, the structural soundness of which is not known. Investigation of the slab was not performed due to concerns related to compromising the slab by taking core samples, an action that could potentially release encapsulated asbestos into the air and collapse portions of the slab. The restricted development area can be greened and used for passive recreation, however, use of this portion of the Orchard-Whitney site for vehicular traffic or parking is not recommended without further investigation and design of support systems that will least disturb the area. Monitoring of the slab condition over time is recommended to prevent sink holes or related penetrations.

III. Understanding the Market for Development

Property Location - Local and Regional Demographics

The Orchard-Whitney site is located in the City of Rochester which lies within Monroe County in west-central New York on Lake Ontario, approximately 60 miles east of Buffalo, and 340 miles north-west of New York City. In gathering statistical information for the site, and given the sites urban context, information was gathered for the ½ -mile, 1-mile and 2-mile radii from the property which is located at 354 Whitney Street.

Figure 7: Orchard-Whitney Market Area — 0.5-Mile, 1-Mile, and 2-Mile Radii



Population – Past, Present and Future

As can be seen from Table 4 below, from 2010-2021, the population of the area in the .5 to 2-mile area surrounding the Orchard-Whitney site was and is projected to remain practically static up through 2021, an increase of only 0.9% in population by 2021 in the half mile radius (from 6,617 to 6,675 people) as compared to New York State which projects an overall growth in population during this same period of time of 5.5% and Monroe County which expects a 1.5% increase in population. Despite new housing construction in the community, this stagnant population growth reflects, in part, an aging housing stock which is being replaced by newer units, rather than being added to – a zero sum game.

Table 3: Population in .5-, 1-, and 2-Mile Radii Market Areas

	0.5-Mile Radius	1-Mile Radius	2-Mile Radius	Monroe County	New York
2010 Population	6,617	21,835	83,899	744,344	19,378,102
2016 Population	6,641	21,889	84,384	750,235	19,934,506
2021 Population	6,675	21,967	84,733	755,476	20,445,093
% Change 2010-2021	0.9%	0.6%	1.0%	1.5%	5.5%

The population within the market area surrounding the site is primarily minority and young with nearly 1/3 of the population in the ½ mile radius under 20 years of age.

Table 4: Sensitive Populations in .5-, 1-, and 2-Mile Radii Market Areas

	0.5-Mile Radius	1-Mile Radius	2-Mile Radius	Monroe County	New York
2016 Children Under 20	35.4%	33.8%	31.3%	24.3%	24.0%
2016 Elderly 65+	7.3%	8.3%	9.9%	16.1%	15.5%

Housing

The neighborhood surrounding the Orchard-Whitney site has 6,641 people which comprise approximately 2,336 households (2016).⁶ In 2016, the neighborhood was comprised of almost 3,000 housing units, with over two-thirds of these units being rentals (62.3%).⁷

Of the housing units available in the neighborhood, the single largest type is single, detached structures, many of which have been subdivided into additional units (i.e., two to four unit structures). Over 50% of the total housing units in the neighborhood are as a result multi-family.⁸ The housing stock is typically old and deteriorated which speaks to low sales prices in the area of approximately \$30,000 as well as the stagnant population growth wherein new units replace rather than supplement older deteriorated stock.

While the level of remediation undertaken by the city on the Orchard-Whitney site precludes residential development, the site has the potential to serve as a support area (i.e., open space, small unmet demand/supportive commercial, and parking) to support potential residential development on surrounding city and privately-owned land.

⁶ U.S. Census Bureau, Census 2010 Summary File 1. ESRI forecasts for 2016 and 2021.

⁷ U.S. Census Bureau, Census 2010 Summary File 1. ESRI forecasts for 2016 and 2021.

⁸ U.S. Census Bureau, 2010-2014 American Community Survey.

Table 5: Housing Units by Units in Structure in .5-, 1-, and 2-Mile Radii Market Areas

Housing Units by Units in Structure⁹	0.5-Mile Radius	1-Mile Radius	2-Mile Radius
1, detached	43.2%	44.0%	40.2%
1, attached	6.1%	6.8%	6.4%
2	30.0%	24.6%	20.0%
3 or 4	12.8%	9.6%	10.1%
5 to 9	4.1%	4.8%	5.6%
10 to 19	0.7%	1.0%	3.4%
20 to 49	1.1%	3.7%	5.8%
50 or more	1.8%	5.1%	8.0%
Mobile Home	0.0%	0.3%	0.5%
Total Multi-Family	50.7%	49.2%	53.4%

Housing needs in the immediate area are extraordinary, particularly for three, four and five bedroom units. Affordable housing developments are filled prior to construction completion. Stadium Estates, a 45-unit affordable residential project successfully undertaken by Rochester’s Cornerstone Group, which includes an energy smart mix of single family, duplex and triplex residential buildings targeted to renters at or below 60% area median income (AMI) and 50% AMI, and special needs residents had over 100 applications in the first few weeks before the tenant lottery. Discussions with Roger Brandt, Director of Cornerstone, indicated, in his opinion, a virtually unlimited demand for additional affordable housing units. Given a 98% adjusted occupancy rate for rental housing in the area¹⁰ (effectively, no vacancy rate), combined with long wait lists at similar Tax Credit projects, the ability to produce and rent housing in the neighborhood is limited only by the availability of sufficient tax credits to permit development as well as the desire to see that a mix of incomes move to the area as opposed to exclusively developing low income units.

Attracted to the potential to develop affordable housing through Low Income Housing Tax Credits (LIHTC), development groups such as Boston-based Wynn Development attempted to obtain a tax credit allocation for over four years in order to convert the now vacant 120,000 square foot Tent City Building located at 280 Lyell Avenue into a mixed 86-unit market rate and Affordable Housing Development. In the absence of obtaining a tax credit allocation, the developer left the project and the property is once again available on the market place. New market rate housing, given the low income levels within the surrounding community, does not appear viable.

While LITHC housing is in demand and senior housing possible, it is doubtful at this point, that the area would support market-rate housing.

⁹ U.S. Census Bureau, 2010-2014 American Community Survey.

¹⁰Comprehensive Market Study of Stadium Estate, An Affordable Family Development – Infill Development in the Near Northwest District, City of Rochester, Monroe County, New York; by GAR Associates Inc., November 2013.

Table 6: LIHTC Project Development Wait List¹¹

Project Development Name	Wait List
Anthony Square Project	85+ waitlist
Carlson Commons	190 person waitlist
Plymouth Manor	190 person waitlist
Olean Heights	79 person waitlist
Northern Star	9 person waitlist
Mills at High Falls	30 person waitlist
Rochester Housing Authority	➤ 800

Labor Force and Earnings

The median household income of the area reflects its economic struggles. The 2016 median income of only \$15,741 is estimated to **decrease** 2.6% to \$15,325 in 2021.¹² **This compares to a median income of \$23,919 within the 2-mile radius and a county median household income of \$52,720.**

Table 7: Median Household Income in .5-, 1-, and 2-Mile Radii Market Areas

Median Household Income ¹³	0.5-Mile Radius	1-Mile Radius	2-Mile Radius	Monroe County	New York
2016	\$15,741	\$18,475	\$23,919	\$52,720	\$58,196
2021	\$15,325	\$18,652	\$24,980	\$56,338	\$65,431
% Change 2016-2021	-2.6%	+1.0%	+4.4%	+6.9%	+12.4%

The population surrounding the Orchard-Whitney site does not have a high level of academic achievement. Approximately one third of the population has no high school diploma or equivalent, and in the 0.5-mile radius only five percent of the population holds a Bachelor’s degree or advanced degree. This percentage does increase to 13.4% in the 2-mile radius but falls well below the county level which has a 90.3% high school graduation rate and 37.2% Bachelor’s degree or higher rate of achievement.¹⁴

Table 8: 2016 Educational Attainment of Population in .5-, 1-, and 2-Mile Radii Market Areas

2016 Educational Attainment of Population Age 25+ ¹⁵	0.5-Mile Radius	1-Mile Radius	2-Mile Radius	Monroe County	New York
Not a High School Graduate	34.6%	28.5%	25.8%	9.7%	14.1%
High School Graduate/ Equivalent or more	65.4%	71.5%	74.2%	90.3%	85.9%
Bachelor’s Degree or more	5.3%	7.2%	13.4%	37.2%	34.9%
Advanced Degree or more	1.8%	2.4%	5.2%	16.5%	15.1%

¹¹ Comprehensive Market Study – Stadium Estates GAR Associates file # 2013437 12/2/13 pg 15

¹² U.S. Census Bureau, Census 2010 Summary File 1. ESRI forecasts for 2016 and 2021.

¹³ U.S. Census Bureau, Census 2010 Summary File 1. ESRI forecasts for 2016 and 2021.

¹⁴ U.S. Census Bureau, Census 2010 Summary File 1. ESRI forecasts for 2016 and 2021.

¹⁵ U.S. Census Bureau, Census 2010 Summary File 1. ESRI forecasts for 2016 and 2021.

The low educational attainment levels in the JOSANA neighborhood will have an influential role in determining which uses for the Orchard-Whitney site will ultimately bring the best opportunities for employment to the residents of the local community.

Table 10 shows typical demand occupations in the Rochester area with minimum educational levels necessary to support those occupations. As can be seen, entry level educational attainment for even minimum job requirements in the Rochester area with very few exceptions (i.e., restaurant cook, janitors, and cleaners) is a high school diploma. Focus on higher educational attainment levels for local JOSANA residents will be key to ensuring that the community maximally benefits from job creation on the site regardless of the ultimate site usage. Job training will be vital, but a high school degree or equivalent will be absolutely key to seeing to it that the jobs generated on the Orchard-Whitney site, be they industrial or commercial in nature benefit the surrounding JOSANA residents.

Table 9: Survey of Demand Occupations in Rochester, NY Area

RochesterWorks, Inc. Demand Occupations for WIOA Training, July 1, 2016 - June 30, 2017				
SOC	Job Title	Ave. Annual Openings	Entry Level Education Required (per Bureau of Labor Statistics)	Usual Education Attained by Members of this Occupation
13-2011	Accountants and Auditors	300	Bachelor's degree	Bachelor's degree
49-3023	Automotive Service Technicians and Mechanics	100	High school diploma or equivalent	High school
43-3011	Bill and Account Collectors	110	High school diploma or equivalent	Some college, no degree
43-3031	Bookkeeping, Accounting, and Auditing Clerks	140	High school diploma or equivalent	Some college, no degree
47-2031	Carpenters	70	High school diploma or equivalent	High school
39-9011	Childcare Workers	300	High school diploma or equivalent	High school
15-1151	Computer User Support Specialists	90	Some college, no degree	Bachelor's degree
15-1121	Computer Systems Analysts	80	Bachelor's degree	Bachelor's degree
51-4011	Computer-Controlled Machine Tool Operators, Metal and Plastic	40	High school diploma or equivalent	Some college, no degree
35-2014	Cooks, Restaurant	130	Less than high school	High school
43-4051	Customer Service Representatives	400	High school diploma or equivalent	Some college, no degree
31-9091	Dental Assistants	30	Postsecondary non-degree award	Some college, no degree
29-2021	Dental Hygienists	50	Associate's degree	Associate's degree
17-3023	Electrical and Electronics Engineering Technicians	20	Associate's degree	Some college, no degree
47-2111	Electricians	50	High school diploma or equivalent	Some college, no degree
29-2041	Emergency Medical Technicians and Paramedics	70	Postsecondary non-degree award	Some college, no degree
43-6011	Executive Secretaries and Executive Administrative Assistants	30	High school diploma or equivalent	Some college, no degree
49-9021	Heating, Air Conditioning, and Refrigeration Mechanics and	40	Postsecondary non-degree award	Associate's degree
53-3032	Heavy and Tractor-Trailer Truck Drivers	110	High school diploma or equivalent	High school
13-1071	Human Resources Specialists	40	Bachelor's degree	Bachelor's degree
37-2011	Janitors and Cleaners, except Maids/Housekeeping	310	Less than high school	High school
29-2061	Licensed Practical and Licensed Vocational Nurses	180	Postsecondary non-degree award	Some college, no degree
53-3033	Light Truck or Delivery Services Drivers	60	High school diploma or equivalent	High school
51-4041	Machinists	70	High school diploma or equivalent	High school
49-9071	Maintenance and Repair Workers, General	170	High school diploma or equivalent	High school
17-2141	Mechanical Engineers	60	Bachelor's degree	Bachelor's degree
29-2012	Medical and Clinical Laboratory Technicians	40	Associate's degree	Bachelor's degree
29-2011	Medical and Clinical Laboratory Technologists	30	Bachelor's degree	Bachelor's degree
11-9111	Medical and Health Services Managers	60	Bachelor's degree	Bachelor's degree
31-9092	Medical Assistants	30	High school diploma or equivalent	Some college, no degree
43-6013	Medical Secretaries	40	High school diploma or equivalent	Some college, no degree
15-1142	Network and Computer Systems Administrators	30	Bachelor's degree	Bachelor's degree
31-1014	Nursing Assistants	210	Postsecondary non-degree award	N/A
43-9061	Office Clerks, General	260	High school diploma or equivalent	Some college, no degree
23-2011	Paralegals and Legal Assistants	40	Associate's degree	Bachelor's degree
29-2052	Pharmacy Technicians	20	High school diploma or equivalent	Some college, no degree
25-2011	Preschool Teachers, Except Special Education	50	Associate's degree	Bachelor's degree
43-4171	Receptionists and Information Clerks	150	High school diploma or equivalent	Some college, no degree
29-1141	Registered Nurses	350	Associate's degree	Bachelor's degree
43-6014	Secretaries and Administrative Assistants, Except Legal, Medical, and Executive	280	High school diploma or equivalent	Some college, no degree
33-9032	Security Guards	110	High school diploma or equivalent	Some college, no degree
21-1093	Social and Human Service Assistants	80	High school diploma or equivalent	Associate's degree
15-1132	Software Developers, Applications	60	Bachelor's degree	Bachelor's degree
15-1133	Software Developers, Systems Software	40	Bachelor's degree	Bachelor's degree
43-3071	Tellers	90	High school diploma or equivalent	Some college, no degree
51-4121	Welders, Cutters, Solderers, and Brazers	20	High school diploma or equivalent	High school

The above occupations have been identified by the New York State Department of Labor as having favorable to very favorable employment prospects in the Finger Lakes Region. Training leading to employment in these occupations may be considered for Workforce Innovation and Opportunity Act (WIOA) funding. Funding approval is based on individual circumstances, labor market requirements, local policies and availability of funds.

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Table 10: Civilian Population in Labor Force in .5-, 1-, and 2-Mile Radii Market Areas

2016 Civilian Population 16+ in Labor Force¹⁷	0.5-Mile Radius	1-Mile Radius	2-Mile Radius	Monroe County	New York
Civilian Employed	82.6%	83.7%	86.9%	94.6%	94.6%
Civilian Unemployed	17.5%	16.3%	13.1%	5.4%	5.4%

Current employment patterns within the subject site’s immediate neighborhood and surrounding 1-mile and - mile radii show a preponderance of health care, social assistance, wholesale trade and manufacturing occupations. This pattern of employment is reflected in the greater Rochester area’s top employers (see Appendix D for a list of top employers.)

Table 11: Workforce by Industry in .5-, 1-, and 2-Mile Radii Market Areas¹⁸

	0.5-Mile Radius	1-Mile Radius	2-Mile Radius	Monroe County	New York
Agriculture, forestry, fishing and hunting	0.0%	0.0%	0.0%	0.1%	0.2%
Mining, quarrying, and oil and gas extraction	0.0%	0.0%	0.0%	0.0%	0.0%
Utilities	1.1%	0.8%	0.2%	0.1%	0.3%
Construction	3.3%	2.3%	2.0%	3.3%	3.7%
Manufacturing	16.5%	15.8%	9.0%	7.2%	5.4%
Wholesale trade	32.6%	35.2%	9.8%	5.7%	3.5%
Retail trade	4.8%	4.3%	3.8%	11.2%	12.5%
Transportation and warehousing	0.1%	0.4%	1.2%	2.0%	2.8%
Information	2.7%	3.2%	3.2%	2.3%	3.4%
Finance and insurance	0.5%	1.1%	2.8%	3.1%	5.8%
Real estate and rental and leasing	1.1%	1.8%	1.6%	2.3%	3.1%
Professional, scientific, and technical services	5.6%	6.9%	8.6%	12.7%	9.1%

¹⁶ Rochester Works, Inc. Demand Occupations for WIOA Training, July 1, 2016 to June 30, 2017.

¹⁷ U.S. Census Bureau, Census 2010 Summary File 1. ESRI forecasts for 2016 and 2021.

¹⁸ U.S. Census Bureau, Census 2010 Summary File 1. ESRI forecasts for 2016 and 2021.

Management of companies and enterprises	0.0%	0.6%	0.3%	0.1%	0.3%
Administrative and support and waste management services	1.8%	1.4%	2.0%	2.7%	2.9%
Educational services	11.8%	5.9%	5.2%	8.6%	10.0%
Health care and social assistance	8.4%	9.7%	33.7%	20.9%	14.8%
Arts, entertainment, and recreation	1.4%	1.0%	0.9%	1.6%	2.2%
Accommodation and food services	2.5%	2.4%	3.0%	6.4%	7.5%
Other services, except public administration	4.5%	3.8%	3.4%	5.1%	5.8%
Public administration	1.5%	3.3%	7.0%	4.0%	6.2%

At the national level, manufacturing jobs are declining and being replaced in part by new service-oriented employment. According to the New York State Department of Labor, manufacturing jobs today in the Rochester area account for only 20% of the area workforce, while service sector employment has expanded to over 30%.

As per the above chart, the total percentage of people working in the manufacturing sector within the 0.5-mile radius from the Orchard-Whitney site is only 16.5%, which is below the Rochester average of 20%. This could be attributed to the lack of convenient transportation to manufacturing jobs. **The presence of a young, unskilled labor force surrounding the site could be attractive to potential industrial uses.**¹⁹

Real Estate Market Analysis

As previously noted, the subject property is located in a commercial/industrial section of Rochester within close proximity to residential neighborhoods and downtown Rochester. The following analysis considers the local real estate market demand and growth.

Commercial/Retail Market

A field study of 80 businesses in JOSANA revealed that 28% were automotive related uses including automobile servicing, sales and car washes. There are no strong commercial nodes around upon which to build retail “excitement”. Traffic volumes along Lyell Avenue adjacent to the Orchard-Whitney site are approximately 18,500 vehicles per day . While such volume falls slightly below threshold traffic volumes for select retail store types as shown in Figure 8, Lyell Avenue could offer an opportunity for commercial development if retail exposure along Lyell Avenue could be obtained and is targeted by potential users highlighted in the leakage analysis below.

“Everyone with a car leaves the area to shop.” - This statement taken from the JOSANA neighborhood master plan effectively summarizes the current retail climate in the JOSANA neighborhood.

¹⁹ The market for motivated users - industrial users seeking expansion and relocation opportunities - as opposed to speculative developers of the site may very well be the key to developing the Orchard-Whitney site in the near term.

Figure 8: Typical Desired Site/Location Characteristics – Selected Retail Store Types

Store Type	example	Typical Market Area (miles)	Desired Population	Traffic Counts		Desired Co-Tenant	Store Size SF	
				Low	High		Low	High
Supermarket	Kroger	4	60,000	20,000	40,000	Discounter	50,000	70,000
Drugstore	Rite Aid	3	25,000			Varies	10,000	15,000
Wholesale Club	Costco	10	75,000		Major arterial	Freestanding	80,000	135,000
Discounter	Target	10	40,000	40,000			135,000	200,000
Department Store	Macy's	12	250,000		Regional access	Malls	125,000	260,000
Apparel Specialty	Kah's	10	125,000		Regional access	Varies	75,000	20,000
Apparel (small)	The Gap	8	100,000			Malls	1,500	12,000
Linens	Bed, Bath & Beyond	6	125,000			Power centers	35,000	45,000
Home Improvement	Home Depot	7	150,000		Major arterial	Freestanding	110,000	135,000
Electronics	Best Buy	8	250,000		Major arterial	Freestanding	35,000	45,000
Toys	Toys R Us	8	Hi-density		Major arterial	Malls	35,000	45,000
Sporting Goods	Sports Authority	8	400,000		Major arterial	Strip centers	40,000	45,000
Books	Barnes & Noble	5	Hi-density		Major arterial	Strip centers	25,000	45,000
Fast Food	McDonald's	3	25,000	20,000	35,000	Freestanding	2,500	3,000
Restaurant	Olive Garden	3	50,000	30,000		Varies	5,700	9,200

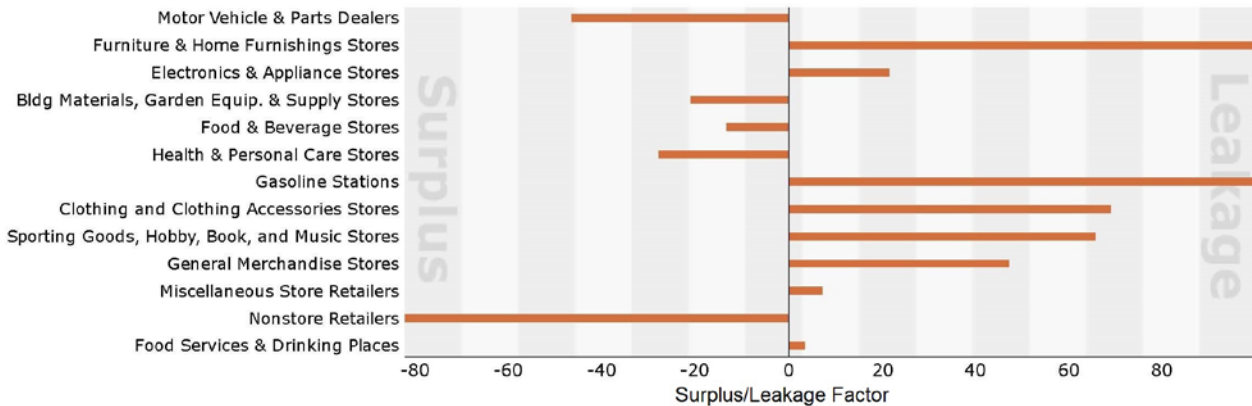
Source: Urban Land Institute (ULI) and RKG Associates, Inc.

In order to understand and identify retail opportunities in the defined market area, a leakage analysis was generated for the .5-, 1-, and 2- mile radii market areas. This analysis demonstrates where the market demand is being met and where there are unmet specific consumer needs (leakages). In reading the chart, all bars to the right indicate where people leave the JOSANA area (either by driving, public transit or shopping online) to satisfy their consumer needs in a particular category. Retail categories are classified using NAICS (North American Industry Classification System) industry groups for business establishments.

The retail leakage analysis presented below indicates that five consumer sectors fully meet consumer demand within the 0.5-mile radius market area. These sectors include *Motor Vehicle & Parts Dealers, Building Materials, Garden Equipment & Supply Stores, Food & Beverage Stores, Health & Personal Care Stores*, and *Nonstore Retailers*. All other retail necessities, ranging from clothing, furniture, to gas stations, are not fully satisfied within the immediate area and require a two mile trip to satisfy basic consumer demands.²⁰ What is not addressed in these leakage subsectors is the quality of services provided to residents in these individual sectors, opening up potential retail development opportunities from competing stores in all categories.

Figure 9: Leakage Analysis — 0.5-Mile Radius

Leakage/Surplus Factor by Industry Subsector



²⁰ ESRI and Dun & Bradstreet.

Figure 10: Leakage Analysis — 1-Mile Radius

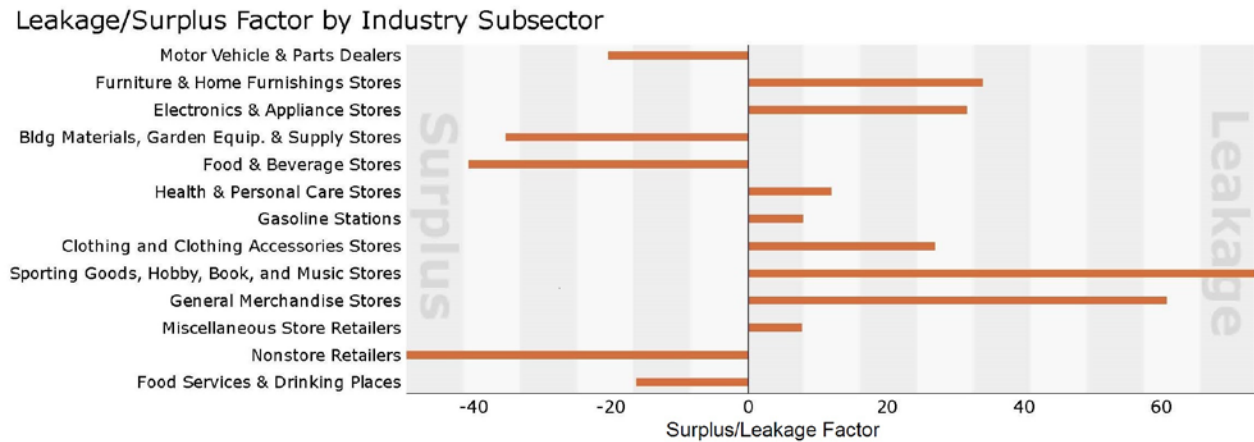
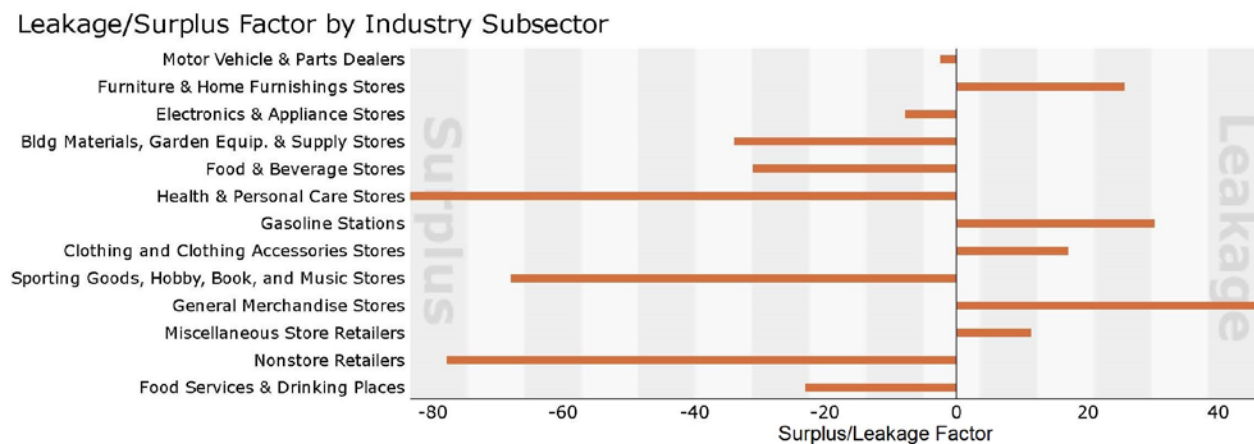


Figure 11: Leakage Analysis — 2-Mile Radius

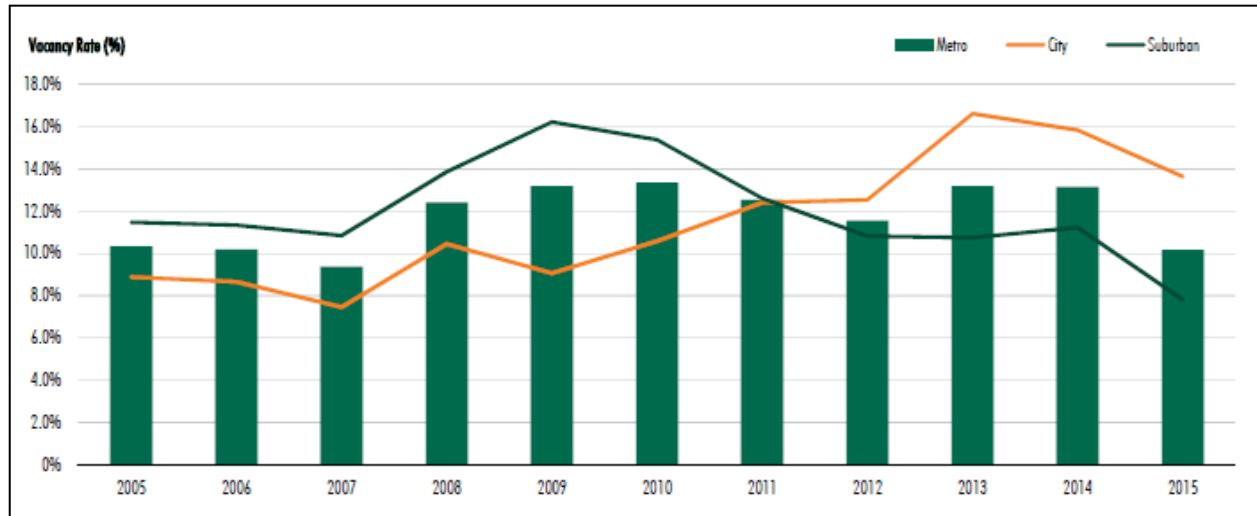


Industrial Market

Prior to 2015, the industrial vacancy rate in the City of Rochester outpaced that of the metro²¹ and suburban areas and stood at nearly 13.6% as compared to a suburban vacancy rate of only 7.8%. This pattern in part reflects an aging city industrial stock, as well as the fact that it is both more expensive and harder to assemble suitably-sized industrial sites in the city proper than in the surrounding less dense suburbs - a potential niche for the Orchard-Whitney parcel despite development constraints. According to Coldwell Banker Richard Ellis (CBRE), 2015 saw the entire metro vacancy rate *decrease* to 10.2% led by the suburban submarkets which ended the year at 7.8%.

²¹ A metropolitan area, sometimes referred to as a metro area or just metro, is a region consisting of a densely populated urban core and its less-populated surrounding territories, sharing industry, infrastructure, and housing. Source: Squires, G. Ed. Urban Sprawl: Causes, Consequences, & Policy Responses. The Urban Institute Press (2002).

Figure 12: Industrial Vacancy Rates, 2005-2015



Source: *Rochester NY Market Outlook 2015* - CBRE.²²

The metro industrial market consists of approximately 78.1± million square feet of owner and tenant-occupied space with nearly 40.6% of the market inventory in the City of Rochester and 59.4% in the suburban areas.

Anecdotally, industrial occupiers, particularly larger space users, are finding it difficult to find suitably-sized open spaces within the existing city inventory. This is one factor resulting in the rise of expansion and new construction outside of the city proper. The Orchard-Whitney site from industrial development standards is small, slightly under four acres in size, and as noted, has building impediments including subsurface tunnels and related geotechnical issues as outlined in the constraints analysis section of this report. One interviewee indicated that the Orchard-Whitney site was of interest to him for his company’s consideration provided it could be expanded to an area greater than 3.5 acres.

According to CBRE, despite a projected increase in development of new industrial space for 2016 in the entire Rochester Metro area, new industrial development remains largely user driven rather than speculative. This was confirmed in interviews conducted by Vita Nuova. Surrounding industrial users are in need of space for expansion; however, the question remains as to whether the site will be large enough to accommodate their needs.

New industrial development remains largely user driven rather than speculative.

Price point for land acquisition, construction costs, and low carrying costs of buildings will be critical to the city’s ability to attract an industrial user/developer to the Orchard-Whitney site. Buildings in the general vicinity of the site are on the market leasing for prices ranging from \$4.25/psf at 1450 Lyell Avenue (built in 1958), to \$5.50/psf at 1680 Lyell Avenue. Active manufacturing listings in the area indicate buildings generally are sized from 215,000 sf to as high as 620,000 sf.²³ See Appendix E for examples of available properties in the area.

Development costs for new industrial shell buildings in the area range, (depending on extent of office space area build out) between \$50.00 and \$60.00 psf.

²² http://www.cbre.us/o/rochester/AssetLibrary/CBRE_Rochester_Market_Outlook_2016.pdf

²³ Lease Comparables – CoStar Market Analytics 7/1/2016

Over the past 20 years, much of the industrial product introduced into Metro Rochester's competitive market has come from the repurposing of large, corporately-owned facilities for use by third party tenants, which are now multi-tenanted and have experienced extremely strong absorption. The remaining number of buildings which are good candidates for this type of conversion is rapidly dwindling.

Throughout the 4th quarter of 2015, industrial market vacancy in the metro market area decreased from 11.8% in the 3rd quarter of 2015 to 11.4%. "Vacancy rates are expected to remain strong as new tenants in the market are looking to occupy space. Despite the change in vacancy, asking rental rates have increased since the end of Q1 2015".²⁴ The fact that rental rates are increasing bodes well for the potential to market and develop Orchard-Whitney for industrial users.

Flex Space/Multi-Use Buildings

The broader Rochester market region has developed a total of 4.6 million square feet of flex office/light industrial space and demand for new space is expected to remain steady with absorption rate surpassing supply. Within the region, the overall flex vacancy rate measured 13.5%. Given the access to Lyell and the connectivity to downtown and the region, smaller assembly, service professionals, and other users may find value in the site.

Commercial Agriculture

Commercial agriculture is a growing submarket in the Rochester area as numerous private and non-profit entities attempt to re-localize the food market in the region. This is a growing but nascent market. Regional and national entities may be interested in the site. Further discussion is required to gauge interest with a number of parties such as Wegmans, Foodlink, WNY Food Hub, and Seedfolk City Farm, among others. While information about this growing market is anecdotal at the time of this writing, several interviews were conducted during the process of assessing reuse for the Orchard-Whitney Site.

Interviews were conducted with Mitch Gruber of Foodlink and Chris Hartman of the Good Food Collective. Mr. Hartman, in the midst of expanding its Headwater Food Hub to include value-added products, stated that demand for locally (regionally) produced vegetables is growing in Rochester among restaurants, grocery stores, and consumers. While Mr. Gruber recognizes the significant resources and skill required to start and succeed in a commercial agriculture venture, he has offered the support of Foodlink and its new commercial kitchen for any venture that might seek to operate on the Orchard-Whitney site. Both believe there is plenty of growing capacity in the surrounding rural region and that the market may lie in processing that food or creating value-added projects.

The Orchard-Whitney site offers the opportunity to service downtown Rochester and the surrounding region including associated institutions, hotels, and restaurants. The site could serve as a food hub, growing center, or processing facility. Several entities were contacted to assess interest in growing or relocating onto the Orchard-Whitney site or surrounding industrial buildings. With Empire State Development's incentives for commercial agriculture, and a food culture hungry for locally-produced projects in Rochester, Vita Nuova recommends a workshop of key actors including private and non-profit producers as well as customers like restaurants and grocery stores focused on the possibility of creating or growing commercial agriculture businesses in the area of the Orchard-Whitney site.

Business Collaboratives

Work has been done to analyze the potential for establishing employee-owned /cooperative-owned businesses as a tool for job creation and building wealth in Rochester. The Orchard-Whitney site may be of interest to these types of businesses given its location and size. Further outreach and research is underway through a Rochester based initiative by the Democracy Collaborative, which is discussed in more detail in the Potential Land Uses section of this report. This initiative could be combined with

²⁴ Marketbeat – Industrial Snapshot Q4 2015, Rochester, NY, Cushman and Wakefield

commercial agriculture or other uses to create a unique training/employment/business ownership opportunity in the neighborhood.

Health Care

Much of Rochester, including the JOSANA neighborhood, is federally designated as a Primary Care Health Personnel Shortage Area²⁵, prioritizing the necessity of primary care facilities and services. Non-emergent needs are being treated as part of the Emergency Departments (ED). Primary care-related totals are the highest type of ED visit in Monroe County. The closest ED to the JOSANA neighborhood is Strong Memorial Hospital Emergency Department which is a 12-minute drive, 1-hour and 15-minute walk or 45-minute public transit trip. Given that nearly one-third of the population is below the age of 20 in the .5-mile to 2-mile area surrounding the Orchard-Whitney site many residents rely on public transit to access services.

Monroe County has been served by a network of federally-qualified Community Health Centers (FQHCs). In proximity to the Orchard-Whitney site and JOSANA neighborhood, the closest FQHC is approximately a 7-minute drive, 40 minutes by foot, or 30 minutes on public transport to the Anthony L. Jordan Health Center on Holland Street. Considering the median income for the JOSANA neighborhood is less than \$20,000 annually, car ownership may be a burden for members of this population, thereby putting them at risk for unmet care.

In addition, the physician workforce in Monroe County has an average age of 51 years, but 35% are over age 55 and 13% are over age 65, leading to concerns about the future supply of physician care and access to care for the underserved.²⁶

The Invest Health Initiative, a new initiative created to address barriers to better health, has also identified the need for health care related efforts in Rochester. Indicators of need in the Initiative's identified target area (which includes the JOSANA neighborhood and Orchard-Whitney site) include:

- Presence of “hot spots” identified in a 2015 Healthy Homes Needs Assessment.
- High concentrations of Medicaid patients with chronic conditions (e.g., depression substance use, hypertension, diabetes, asthma).
- High health care utilization and ED visits.

The findings above underscore a need for health care services, in particular primary care facilities and services, in the JOSANA neighborhood.

²⁵ Health Resources and Services Administration (HPSA) Data Warehouse:
<https://datawarehouse.hrsa.gov/Tools/MapTool.aspx?tl=HPSA>=State&cd=36&dp=PC>

²⁶ Monroe County Community Health Assessment (CHA)—Community Health Improvement Plan (CHIP), November 2013.

IV. Opportunities and Constraints Summary

The development potential and value of a property is affected by many factors including environmental conditions, location, access and visibility from major thoroughfares, parcel size and characteristics, infrastructure, as well as the existing real estate market.

Location

Sites located within close proximity to interstate highway interchanges and major economic centers have more potential for development. The subject property offers the following assets and constraints relative to its location.

- The subject property is located within two miles of Rochester's city center.
- The subject property's location and proximity to Interstate 490, Lyell Avenue, State Street, and West Broad Street make this site easily accessible from all directions by cars and trucks.
- The subject property is fully equipped with access to all major transportation modes, including water, rail, air, and highway.
- The subject property is located in a mixed use industrial and commercial section of the city.

Access and Visibility

Sites with direct, high quality road access are more valuable. For commercial and retail uses, visibility from major high traffic roadways is critical. The subject property offers the following assets and constraints relative to its access and visibility.

- While it carries mostly local traffic, Lyell Avenue is a commuter route for travelers accessing downtown from the west, carrying approximately 18,500 vehicles per day. If retail exposure along Lyell Avenue could be obtained, the site could be attractive to developers seeking high visibility, given the robust traffic counts along this stretch.
- Conversely, lack of retail exposure along Lyell Avenue will hamper attempts to develop the Orchard-Whitney site as a retail node, unless some portion of Lyell Avenue frontage can be obtained.
- The abandoned railbed along the southern property boundary provides an additional opportunity to provide pedestrian and bicycle access to the site from surrounding neighborhoods; however, if a land assembly strategy to attract larger development is to be successful to the south of the Orchard-Whitney site, the railbed would have to be removed to allow for regrading.
- Truck traffic to the site, while accessible, is constrained to some degree from using the Broad Street exists off of I-490.
- Adding a signalized light to the intersection of Lyell Avenue and Whitney Street would better control and distribute traffic coming from the Orchard-Whitney site once redeveloped. Specifically, this would assist with safe and expedient left-turn movements from Whitney Street onto Lyell Avenue. A warrant analysis would need to be conducted for this intersection at some time in the future should signalization become necessary.

Site Characteristics

Sites which are of such a size, topography and configuration as to accommodate particular types of buildings and allow for ample vehicular access are more valuable. The subject property offers the following assets and constraints relative to its size and characteristics.

- Geotechnical studies have shown that only a portion of the entire Orchard-Whitney site will be available for development. A recommended .35-acre restricted development area in the central portion of the site adjacent to the CSX rail abutment will prevent the construction of a single large industrial building spanning the site between Orchard and Whitney Streets. Rather, circulation requirements on the site will necessitate the development of two separate buildings as illustrated in the reuse scenarios section of this report.
- The subject site has all requisite utilities and capacity for just about any commercial or industrial development that could likely be developed given the size of the site.
- The property is not located within any flood zone and does not contain any watercourses.
- Smaller size sites like Orchard-Whitney pose some development constraints related to larger-scale redevelopment.

Land Use Policies

Land uses which are supported by local and regional development plans minimize conflicts and attract investors and developers. The property's relationship to current land use policies is as follows:

- The property is zoned as an M-1 Industrial District. This designation allows for a variety of manufacturing, light assembly, warehouse, wholesale, retail, commercial and office uses. This broad variety of non-industrial usage reflects the recognition by the city of the obsolescence of many of its inner city industrial buildings for traditional manufacturing purposes and thus encourages the re-purposing of those buildings and vacant lots. Depending on the intended use, a special permit may be required.
- The residential area surrounding the site is zoned R-1 which permits single family detached housing. In the event residential development is considered as a desirable development path surrounding the Orchard-Whitney site, it is recommended that the area be rezoned and a denser multi-story residential development be considered.

Environmental Conditions

Environmental conditions from past industrial practices can impact development and future use of the property. The following environmental conditions are considerations for redevelopment on this property:

- Any development on the site will have to adhere to the terms and conditions of the Environmental Easement and the Site Management Plan, which requires the implementation of institutional and engineering controls.
- Any disturbances or activities in the existing underground tunnel system where remaining asbestos pipe wrap exists will require sampling for asbestos containing material and abatement as appropriate.

Geotechnical Conditions

Geotechnical conditions are a significant factor in understanding how a property can be developed. The City of Rochester commissioned additional investigations to clarify the subsurface conditions to better understand the opportunities and constraints for proposed development.

- 3.14 acres of the Orchard-Whitney site are developable as described below, while a .35-acre portion of the site should be avoided.
- From a development standpoint cost could be reduced by using the existing slabs with the addition of a 6" inch thick slab to add capacity as well as provide the desired finished surface. In areas where no slab exists, piles will be driven to rock and a new 8" thick slab poured.
- The existing tunnels on the site can withstand internal truck and car without reinforcement and can be bridged over with building slabs to maximize use of the site if tractor trailers are contemplated.
- All of the improvements described above can be performed at comparable costs as developing the foundation on a previously undeveloped site.

Real Estate Market

Sites which are within vibrant growing markets are the most desirable. Sites which offer specific features attractive to niche markets can be equally successful. The property's position in the market presents the following assets and constraints.

- The site is within two miles of Rochester's downtown and can serve as an area for industrial expansion for companies that need additional room.
- The demand for industrial land is generally for sites 20 acres or larger. Industrial vacancy rates in urban markets are higher due to the aging industrial stock and lack of available large, shovel ready sites.
- The site has proximity to Lyell Avenue, and as such, in the event the site can be expanded to encompass Lyell Avenue frontage, there is potential for commercial development of the property.
- Given the cost of land acquisition, building cost and related carrying costs, industrial development on the subject property will likely be user driven and not speculative in nature since the rate of return on investment is not sufficient to warrant speculation.
- There is strong demand for LIHTC development in the area; however, the site itself cannot be developed for residential use. The site could, however, prove to be a valuable ancillary area for surrounding residential development providing an area suitable for open space, parking, and commercial uses.
- Commercial/retail development, specifically commercial nodes, are lacking in the immediate area.

V. Redevelopment Opportunities

The following section presents the potential redevelopment opportunities of the Orchard-Whitney property based upon the current real estate market, its location, geotechnical and environmental conditions, and other factors outlined in the opportunities and constraints summary.

Potential Land Uses

Throughout the interview phase of this project as well as in discussions with city officials, a number of development alternatives were discussed and suggested as possible uses for the Orchard-Whitney site. As previously noted, residential development on the site is not an option. Apart from market constraints which would likely limit any residential development to a primarily LIHTC development, the level of environmental remediation that was undertaken on the site prohibits residential usage. The possibility of assemblage of sizeable surrounding properties into a planned unit development for residential development of some sort with the subject site serving in a supportive capacity (i.e., parking, supportive commercial uses, and open space) may be considered.²⁷ A full assemblage of all surrounding parcels bordered by Lyell Avenue on the north, Broad Avenue on the east, Riley Avenue to the south and Whitney Avenue to the west would provide ample opportunity for such a development to occur, however city lease obligations on the parcels they own to the east of Orchard Street are, for the time being, an impediment to this particular development option.

One strong focus area of interest for development on the site was highlighted in a feasibility analysis and implementation plan drafted by the Democracy Collaborative and presented to the City of Rochester in February 2016. Essentially a guide to the development of worker-owned cooperative industries, the report stressed as its highest ranking industry sector for development - Local Food Processing. “We propose a food processing facility that could produce a diverse product mix, custom tailored to the demand of institutional customers and developed to compliment (and not duplicate) what is already available through the local ecosystem”.²⁸ Talks with the Democracy Collaborative to joint venture a development on the site would appear to be a natural path towards development on the Orchard-Whitney property.

Following is a partial list of additional suggested uses by the community which may have applicability to the development of the subject site.

1. Industrial/Wholesale Outlet Center – a worthwhile avenue for development, in the event that some portion of Lyell Avenue frontage is obtained for development, would be a combination of manufacturing product on the Orchard-Whitney site combined with a wholesale outlet fronting Lyell Avenue.
2. Commercial Agriculture –A viable inner city market in close proximity to the site is attractive. The site or industrial facilities near the site could be used as a food hub, growing center, or processing facility. While no specific business has been identified, creating the opportunity for collaboration between key stakeholders could create additional opportunity for the JOSANA neighborhood.

²⁷ The failure of the Wynn Development Group to obtain tax credit allocation for conversion of the former Tent City Building to housing, was according to one interviewee, in part attributable to a lack of onsite parking, open space, and lack of suitable retail services in close proximity to the proposed project, all of which could be accommodated on the Orchard-Whitney site. Should the surrounding area be developed at a suitable density (i.e., non-single family detached housing), the Orchard-Whitney site could offer supportive retail services, supported, in part, by the new residents.

²⁸ Rochester’s Market Driven Community Cooperatives Corporation – A feasibility Analysis and implementation Plan – Democracy Collaborative, February 5, 2016, Page 15.

3. Health Center/Recreation Center - Lack of access to primary care services in the JOSANA neighborhood is a challenge to meeting the health needs of residents. Development of a health center coupled with a recreation center, which was cited by the community as a potential use, could provide better health options to residents. There is a need for these types of services and facilities in the immediate community.
4. Retail/Restaurant – Provided Lyell Avenue frontage is available, development of a retail/restaurant center could be possible. In the event Lyell frontage is not available, some limited retail/restaurant usage could possibly occupy the site supported in part by potential surrounding residential uses.

Potential Redevelopment Scenarios

Two reuse options were generated to illustrate the configuration of either an industrial or commercial development within the constraints of the existing site. To maximize the redevelopment potential, the existing demolition debris will either need to be repositioned so that it is concentrated along the southern edge of the site or removed from the site. The available redevelopment area therefore consists of a ‘U’ shaped land area that avoids the .35-acre restricted development zone located around the former smokestack (see Figure 13). The access easement could potentially figure into the circulation system of the site but the use of the easement might be subject to specific site uses pursuant to the existing easement language (see Appendix F – Access Easement).

Figure 13: Developable Area Map



Option 1: Industrial Reuse

The site could support development for manufacturing and assembly uses, warehouses or expansion area for local industries. Larger floor plate buildings are preferred for these uses, but in this case the property is better suited for two separate buildings that share a common loading area at the center of the site (see Figure 14). The buildings would front either Orchard or Whitney Streets and would be accessed by a drive that spans the entire site along the northern edge. The sloping land to the south could be landscaped, but would not be suitable for new development.

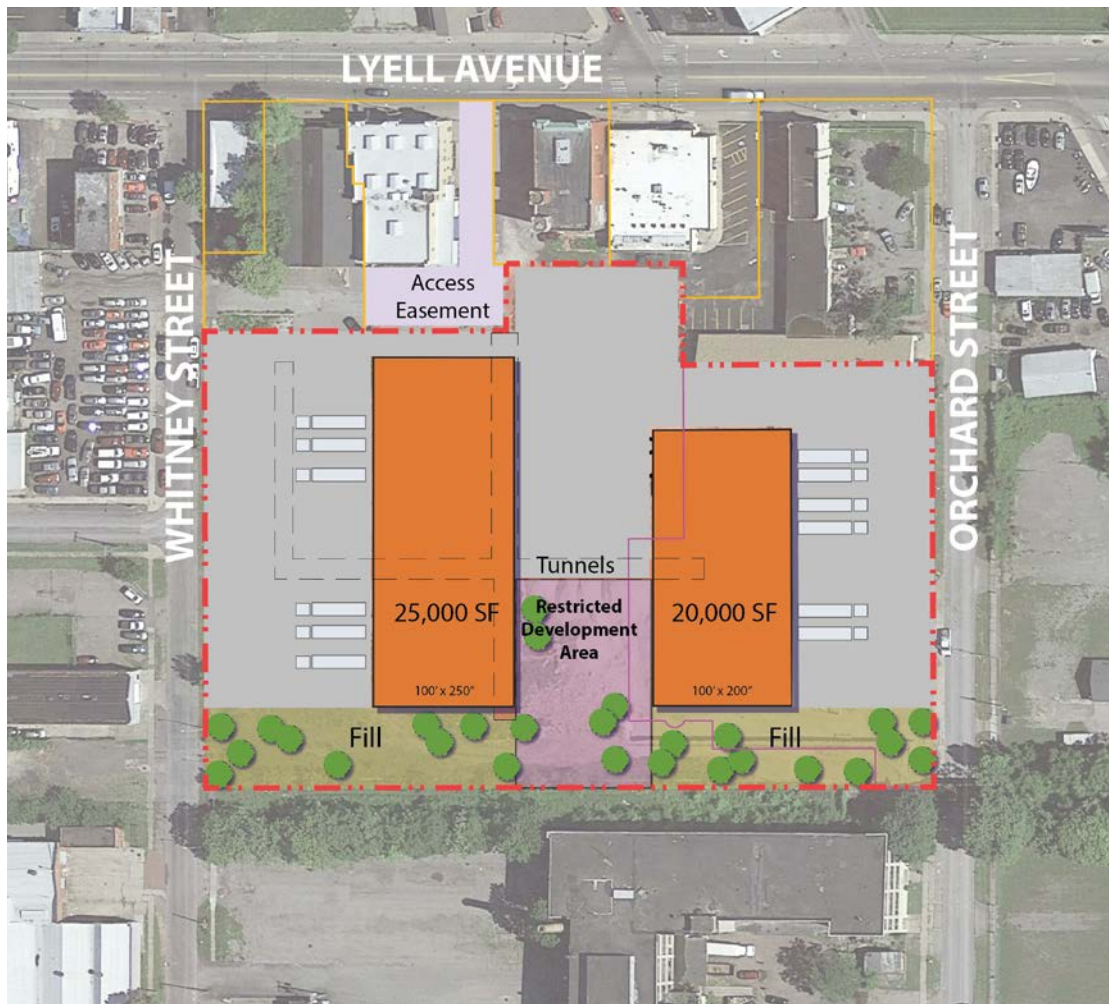
Figure 14: Industrial Reuse Option Diagram



Option 2: Commercial Reuse

The site is also conducive for small scale / light assembly, local contractors, wholesale retail, commercial agriculture, walk-in clinics, and other service uses. In Figure 15, the buildings are positioned to accommodate a parking area and a front door along either Orchard or Whitney Streets and a service area for materials loading at the back of the buildings at the center of the site. The building widths range from 80' – 100' and could be subdivided into 5,000 sf increments for multiple tenants.

Figure 15: Commercial Reuse Option Diagram



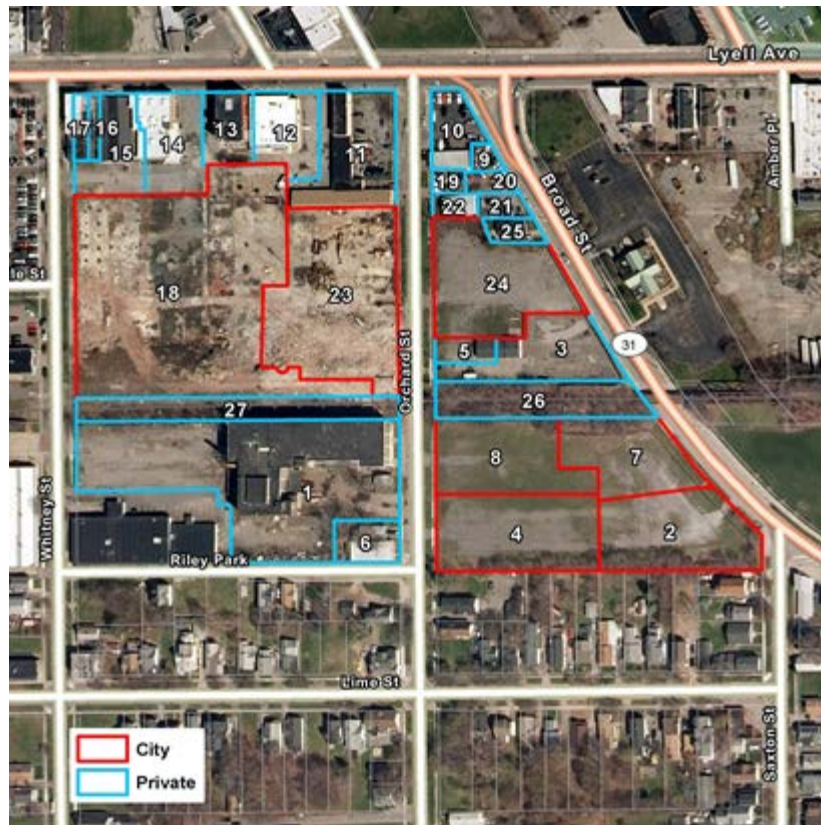
Site Assemblage

In evaluating the development potential and site constraint issues for the Orchard-Whitney parcel, consideration was given for the possibility to expand the site from its current +/- 4 acres (3.14 developable acres and .35 restricted development acres) to a larger footprint encompassing additional city parcels lying to the east of Orchard Street (specifically Parcels 24 , 8, 7, 4 and 2 as outlined on the Figure16: Parcel Map), for industrial development purposes, south towards Riley Park for the same industrial usage, and northwards to Lyell Avenue to provide street frontage that would facilitate development encompassing the whole or a portion of the Orchard-Whitney site.

The city-owned parcels to the east of Orchard Street are currently under lease to the operators of the Soccer Stadium for parking purposes and as such are not available for development in the near term in conjunction with the Orchard-Whitney site. Given this, expansion of the site is only feasible north towards Lyell Avenue, south towards Riley Park or west to encompass parcels on the western side of Whitney Street. Unlike assemblage to the east of Orchard Street which has extensive city holdings, assemblage to the west of Whitney Street was discounted as being impractical due to all parcels being privately owned.

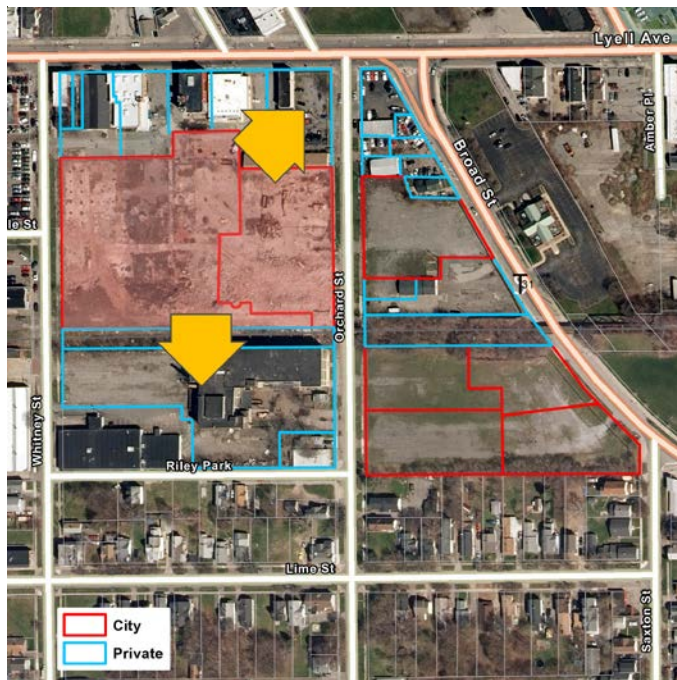
In considering expansion of the site north towards Lyell Avenue for the purposes of obtaining retail exposure for the site, interviews were held (with the exception of the owner of Parcel 13) with all property owners fronting the south side of Lyell Avenue between Whitney and Orchard Streets. While physical condition of the various properties varies, the owners indicated they could entertain offers at the appropriate price point for acquisition of their sites in the event a developer for the Orchard-Whitney site required Lyell Avenue frontage. One owner (Parcel 12), indicated he would want to participate in development of a retail shopping complex on the Orchard-Whitney site lying south of his store if possible.

Figure 16: Parcel Map



In regard to expansion of the site to the south to allow for a greater industrial development footprint, the owner of Parcel 1 indicated he would entertain offers for the acquisition of the vacant portion of his site which lies to the west of his building line to Whitney Street for development purposes. To utilize this property for expansion of the Orchard-Whitney site, the CSX rail abutment which bifurcates the properties of the city and Parcel 1 owner would have to be removed. As noted, the city is currently negotiating the purchase of the right of way from CSX for use as a walking trail.

Figure 17: Potential Expansion Opportunities



The Parcel 1 owner currently utilizes his building for storage purposes, which is one of several he owns and/or leases in the area. Figure 17 shows the general direction of where potential expansion could occur.

VI. Next Steps

In this reuse assessment, a number of nascent potential opportunities have been identified that will require considerable dialogue in order to create interest in the site. There is no significant "demand" that a typical expression of interest (EOI) process might capture. Therefore, Vita Nuova recommends conducting a ten (10) week EOI process that allows us to work with potentially interested parties to submit a letter of interest to the city. Vita Nuova is currently engaging potential respondents to help them understand the potential opportunity.

The response requested will be a letter of interest that includes the following:

- The name and qualifications of the entity
- A statement about the reuse with plans, if possible
- Indication of financial capability to perform the proposed redevelopment

Vita Nuova, working with the city, EPA, and other stakeholders, proposes to hold two workshops over one day to help key stakeholders understand the process, and attract financial and market support. An initial proposal would be to hold a commercial agriculture workshop and an economic development workshop with individual meetings to tour.

Appendix A: Orchard-Whitney Property Constraints Analysis

ORCHARD-WHITNEY PROPERTY

Constraints Analysis

City of Rochester
Monroe County, New York

Prepared for:

Vita Nuova, LLC



Prepared by:

Barton & Loguidice, D.P.C.





**ORCHARD-WHITNEY PROPERTY
CONSTRAINTS ANALYSIS**

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3.1	Site Utilities 3
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	Railroad..... 5
	Site Accessibility 6
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6.0	Summary of Development Assets and Limitations..... 9

APPENDICES:

Appendix A: Map Figures

- Figure 1 – Opportunities, Analysis and Connectivity Map
- Figure 2 – Utilities Map
- Figure 3 – Parcel Data and Ownership Map
- Figure 4 – Proposed Foundation Characteristics
- Figure 5 – Prior Test Pit and Boring Locations
- Figure 6 – Existing Foundations
- Figure 7 – Remaining Environmental Conditions
- Figure 8 – Traffic Maneuverability

Appendix B: Utility Infrastructure and Transportation Database

Appendix C: Supporting Documentation from Previous Studies



1.0 PROPERTY SUMMARY

Table 1: ORCHARD-WHITNEY SITE Property Summary	
General Location:	The property is located immediately south of Lyell Avenue in the LYLAKS BOA
Site Ownership:	City of Rochester owns the entire 3.9-acre site
Address:	415 Orchard Street and 354 Whitney Street, City of Rochester, Monroe County, New York
Access:	Direct access to the Site is currently off Whitney Street and Orchard Street
Road Frontage:	Approximately 385 Feet on both Whitney and Orchard Streets
Topography:	Primarily flat due to previous site use. Stockpiled debris berm exists adjacent to the railbed along the southern property line
Hydrology:	Natural drainage flows to the north end of the site toward Lyell Ave
Land Use:	Capped brownfield, vacant, surrounded by commercial, industrial and residential property
Utilities:	Public water, sewer, electric, telephone, cable, gas and internet
Zoning:	Industrial
Site Improvements:	Demolition of structures associated with former facility and contaminated site remedial work
Tax Map #'s:	105.66-3-24 (354 Whitney St) and 105.66-3-23 (415 Orchard Street)



Image 1: 3.9-Acre Orchard-Whitney Site



2.0 INTRODUCTION & BACKGROUND

The City of Rochester has identified the marketing and development of prime industrial and commercial opportunities as a priority in the larger economic development strategy for the LYLAKS Brownfield Opportunity Area (BOA). Specifically, the development of a vacant portion of land on the former Delco Appliance Division of General Motors site in the City has become a high priority due to its central location in the JOSANA neighborhood and its proximity to downtown Rochester.

The Site is a 3.9-acre site located at 415 Orchard Street and 354 Whitney Street in the City of Rochester (See Image 1, P1). The Site includes mixed commercial and industrial uses. A seven-story structure was the last remaining building to be demolished at 415 Orchard Street. Structures previously occupying 354 Whitney Street were demolished due to the unsafe condition of the buildings.

Currently, the Site is a fenced vacant lot primarily covered with concrete slabs and building demolition debris. A large berm comprised of brick, concrete, and other demolition debris is located on the southern and western edge of the Site adjacent to the existing railbed to the south. The Site is bordered by Orchard Street to the east, a former railroad right-of-way to the south (currently planned as the JOSANA Rail Trail), Whitney Street to the west, and commercial buildings to the north.

B&L's investigation of the Orchard-Whitney site was conducted using a two-part process; an evaluation of published maps, plans and environmental records, and a site investigation. Aerial photos, soil maps, utility and infrastructure maps and plans, USGS topographic maps, wetland and floodplain data, Sanborn maps, boring samples, and other published information was reviewed as part of a constraints analysis. At the time of this writing, further geotechnical investigations are ongoing, the findings from which will be provided once complete.

The objective of this document is to clearly summarize findings associated with the evaluation of utility and transportation infrastructure for prospective purchasers whom are interested in developing the site for industrial, commercial, or secondary purposes.



3.0 Utility Infrastructure

The information summarized in this document is an inventory of existing site conditions organized to effectively profile the site for Vita Nuova, LLC.

3.1 Site Utilities

Existing utility information was obtained through as-built plans, survey's and interviews with individual service providers in the City of Rochester and Monroe County. Based on review of available utility data for the area, there are adequate utilities to serve the potential needs of likely commercial and industrial site redevelopment scenarios. Approximate utility locations are shown on Figure 2 in Appendix A and further summarized via a series of database tables for each property in Appendix B.

The site is currently serviced by all requisite utilities, which run primarily along Lyell Ave, Whitney Street, and Orchard Street adjacent to the site. Specifically, known utilities include:

- Monroe County Pure Water systems – storm and sanitary
- City of Rochester systems – Water & Street Lighting
- Rochester Gas & Electric – Gas & Electric
- Frontier Communications – Communications
- Time Warner Cable- Communications

Based on potential reuse options for the site, additional connection or installation permits may be required for future utility installations and connections. These may include a Street Operating Permit and or Excavation Permit, which can be obtained through the City's Department of Environmental Services Permits Office, City Hall, 30 Church Street. It is recommended that future development interests consult the City of Rochester New York Developers Guide should for guidance regarding required permits.

Should future redevelopment scenarios result in additional storm or sanitary discharge a Rochester Pure Waters District Permit must be obtained from Monroe County Pure Waters (MCPW) for new connections to sewers within the vicinity of the site. The depth and size of any new or extended storm or sanitary utilities is expected to be similar to what is existing. MCPW connections and lines as well as sewer as-built drawings are included in Appendix C.

Future water service connections are required to be approved by the City of Rochester Water Bureau. Depths and size of future water lines are generally expected to be similar to that of existing lines. Water service capabilities are shown on Figure 8 in Appendix C with services and connections running along Whitney Street, Lyell Avenue, and Orchard Street.

Per discussions regarding other utilities on and adjacent to the site, including Frontier Communications and Rochester Gas and Electric, they must be contacted separately for evaluation of existing capacity of their utility. While it is not anticipated that additional utility capacity and infrastructure will be necessary to accommodate future commercial or industrial development on the OW site, each utility will provide



cost estimates for upgrades, if necessary. In order to simply connect to existing services, arrangements must be made with each utility company for future connections.

Service for Frontier Communications is shown on Figure 9 in Appendix C. Figure 10 shows RG&E Service areas on Orchard and Whitney Streets and their as-built drawings are also included.



4.0 Transportation and Accessibility

4.1 Transportation Infrastructure

From a transportation perspective, the site is geographically located in the Northeastern United States and within close proximity to Southeastern Canada. A complete transportation network is available including highways, water, rail and air to provide fast and efficient movement of products and raw materials.

Summarized below is a cross section of the transportation infrastructure in proximity to the Orchard-Whitney site. These features are also illustrated on Figure 8 in Appendix B.

Street Network

The site is located strategically in close proximity to both County and State highways.

- Interstate 490 is approximately 1/3 miles to the south, providing access to the larger Rochester metropolitan area and Monroe County, including direct connectivity to the New York State Thruway (I-90).
- Mount Read Boulevard is approximately 1.5 miles west of the site
- The New York State Thruway (I-90) is approximately 24 miles to the south, providing access to Syracuse, Rochester, Buffalo, Utica, and Albany.

Lyell Avenue is the primary east-west corridor for local traffic adjacent to the Orchard-Whitney site. Lyell Avenue extends from suburban neighborhoods west of the site to the State Street/Lake Avenue intersection to the east. A multijurisdictional street, Lyell Avenue functions as NYS Route 31 west of Broad Street and a City street east to State Street near downtown Rochester. While it carries mostly local traffic, Lyell Avenue is a commuter route for travelers accessing downtown from the west, carrying approximately 18,500 vehicles per day.

Interstate 490 is approximately 1/3 miles to the south of the Orchard-Whitney site and provides connectivity with downtown Rochester, outlying suburban areas, and the New York State Thruway System. A limited access highway, I-490 carries significant traffic of over 110,000 cars per day between the Broad Street and Ames Street exits. There are three interchanges along I-490 in proximity to the site: Ames Street; Child Street; and Broad Street via Allen/Brown Streets.

Railroad

Railroad infrastructure in proximity to the Orchard-Whitney site consists of low speed freight spurs which support area industries. CSX has a mainline which travels east-west to the south of I-490 as it exits downtown Rochester. A secondary line travels north below I-490 and into the JOSANA neighborhood crossing Hague Street. The area south of Lyell Avenue between Glide and Hague Streets has strong potential to be serviced by new rail sidings for commercial/industrial activities. A former siding that traveled east-west between Masseth Street and Lyell Avenue has been abandoned, while the spur line continues northward to an at-grade crossing of Lyell Avenue. This abandoned line has been the subject



of preliminary design and planning study to determine its feasibility as the JOSANA Rail-to-Trail system connecting the neighborhoods from east to west along the Orchard-Whitney site's southern property boundary.

Site Accessibility

An analysis was conducted to determine optimal accessibility into the Orchard-Whitney site from the surrounding street network. A series of site visits to study traffic movements in combination with a review of previous studies and readily available data resulted in the following findings and recommendations (see Figure 8 in Appendix A):

- I-490 will likely be the primary distribution route for vehicles seeking to travel to the site from points west and east of the City.
- The Broad Street exit is a suitable route for cars and small trucks traveling to the site, however, the low rail bridge overpass present obstacle for large axel trucks.
- Left-hand turning movements from Broad Street onto Lyell Avenue, while geometrically adequate for all types of vehicles, is constrained by the queuing that exists due to the stacking at the Sherman Street/Lyell Avenue intersection. This also presents an issue for left-hand turns from Lyell Avenue onto Orchard Street.
- The most viable route for truck traffic to access the Orchard-Whitney site would be the use of the Mount Read Boulevard exit. Mount Read Boulevard is a 4-lane (5-lane with turning lanes) arterial designed to carry large volumes of traffic including trucks. Mount Read Blvd connects directly to Lyell Avenue.
- While the intersections of Lyell Avenue with Orchard Street and Whitney Street are geometrically suitable for small trucks and cars, minor upgrades including larger radius curb lines and pavement upgrades are suggested to accommodate the future use of large axel trucks.
- Pavement conditions along Orchard Street and Whitney Street are recommended to include City of Rochester design and construction specifications to accommodate truck traffic should the redevelopment of the site include heavy truck traffic.
- Adding a signalized light to the intersection of Lyell Avenue and Whitney Street is recommended to better control and distribute traffic coming from the Orchard-Whitney site once redevelopment occurs. Specifically, this would assist with safe and expedient left-turn movements from Whitney Street onto Lyell Avenue. A warrant analysis would need to be conducted for this intersection at some time in the future should signalization become necessary.
- Pedestrian access to the site is provided via adjacent sidewalks. The abandoned railbed along the southern property boundary provides additional opportunity to provide pedestrian and bicycle access to the site from surrounding neighborhoods.



A study was also conducted to determine the viability of creating a new access driveway entrance or connector road from Broad Street to Orchard Street in order to provide direct access to the Orchard-Whitney site as part of future redevelopment. Summarized below are findings from this assessment (see inset graphic on Figure 8 in Appendix A):

- Queuing and stacking of vehicles from the Broad Street/Lyell Avenue intersection along Broad Street creates an obstacle for left-turn movements into a new potential driveway off of Broad Street.
- Assuming a substantial percentage of traffic to the site would come from I-490 using the Broad Street exit, the low rail bridge clearance (12' 7") creates an obstacle for large axel trucks.
- While this alternative is not recommended for the intended distribution of truck traffic or large volumes of small vehicle traffic to the Orchard-Whitney site, it can be a viable way to provide "off-site" parking to a future development at the site. As mentioned above, it is recommended that truck traffic would use the Mount Read Boulevard exit.



5.0 GEOTECHNICAL AND ENVIRONMENTAL ANALYSIS

As discussed at several of team meetings throughout the project, the Orchard-Whitney site has numerous foundations and tunnels still in place from previous development at the site. These foundations have the potential to present a significant constraint to future development, as the configuration and condition of these foundations is unknown at this time. As such, it has been determined that further investigating the foundations is warranted at this time in order to provide additional information to potential developers in an effort to remove some of the uncertainties that currently exist.

To that end, we have reviewed additional prior documentation provided by the City and Lu Engineers to help position the design team to better assess viable reuse options for the Orchard-Whitney site. Specifically, the information provided assists with understanding the layout of the tunnels and foundations left on site. However, based on the review of all documentation at this time, including additional information referenced above and in consideration of the fact that all existing concrete foundations, tunnels and basements are currently covered with demolition debris; it is recommended that further invasive testing on site to confirm the condition of said structures be completed. Once these investigations are complete, a summary of findings and recommendations will be provided.



6.0 SUMMARY OF DEVELOPMENT ASSETS AND LIMITATIONS

The Orchard-Whitney property has several development assets that would benefit a potential purchaser for industrial or commercial use.

Site Development Assets

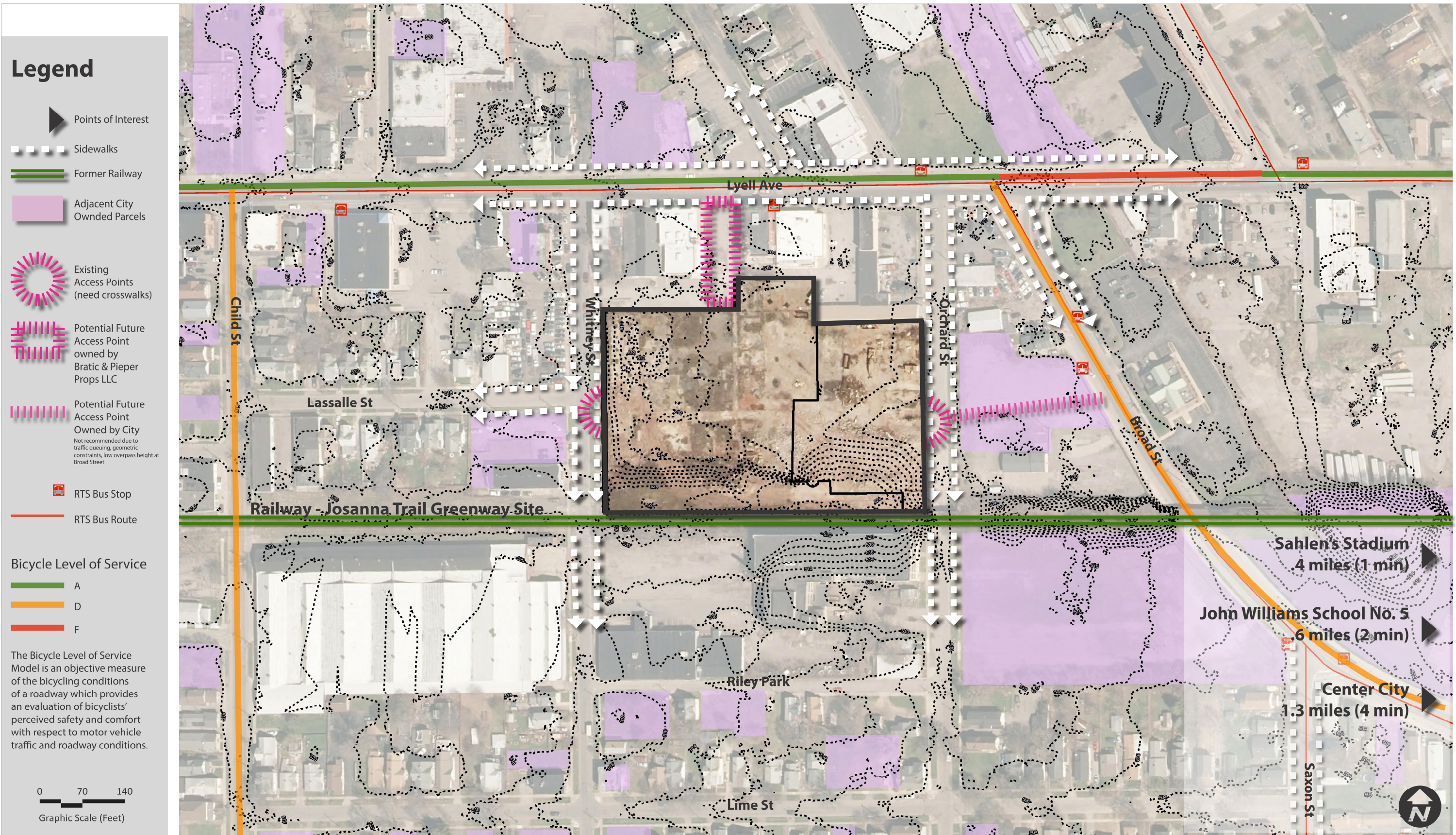
- At approximately 4 acres, the size of the site is suitable for smaller office, commercial or industrial size buildings.
- The proximity of City-owned parcels adjacent to the site provides opportunity for off-site parking or complimentary site uses to accommodate reuse of the Orchard-Whitney site.
- The Orchard-Whitney site has all requisite utilities and capacity for just about any commercial or industrial development given the relatively small size of the site.
- The site is fully equipped with access to all major transportation modes, including water, rail, air, and highway.

Site Development Limitations

- Uncertainties associated with condition and layout of existing tunnels and basements left in the ground from prior use history. This is being further investigated.
- Smaller size site poses some development constraints related to larger-scale redevelopment.
- Truck traffic to the site, while accessible, is constrained to some degree from using the Broad Street exists off of I-490. This should not be a deterrent to development, however.

APPENDIX A

Site Analysis Mapping



ORCHARD WHITNEY SITE REDEVELOPMENT

City of Rochester • Monroe County • New York

FIGURE • 1 Opportunities, Analysis & Connectivity

April 2016





Legend

- MC Sewer Nodes
- CITY Water Mains
- Project Area
- MC Sewer Mains
- MC Parcels
- Abandoned
- Contour 2ft
- Combination
- CSOAP

WHITNEY STREET
SUBSTATION



ORCHARD WHITNEY SITE REDEVELOPMENT

City of Rochester • Monroe County • New York

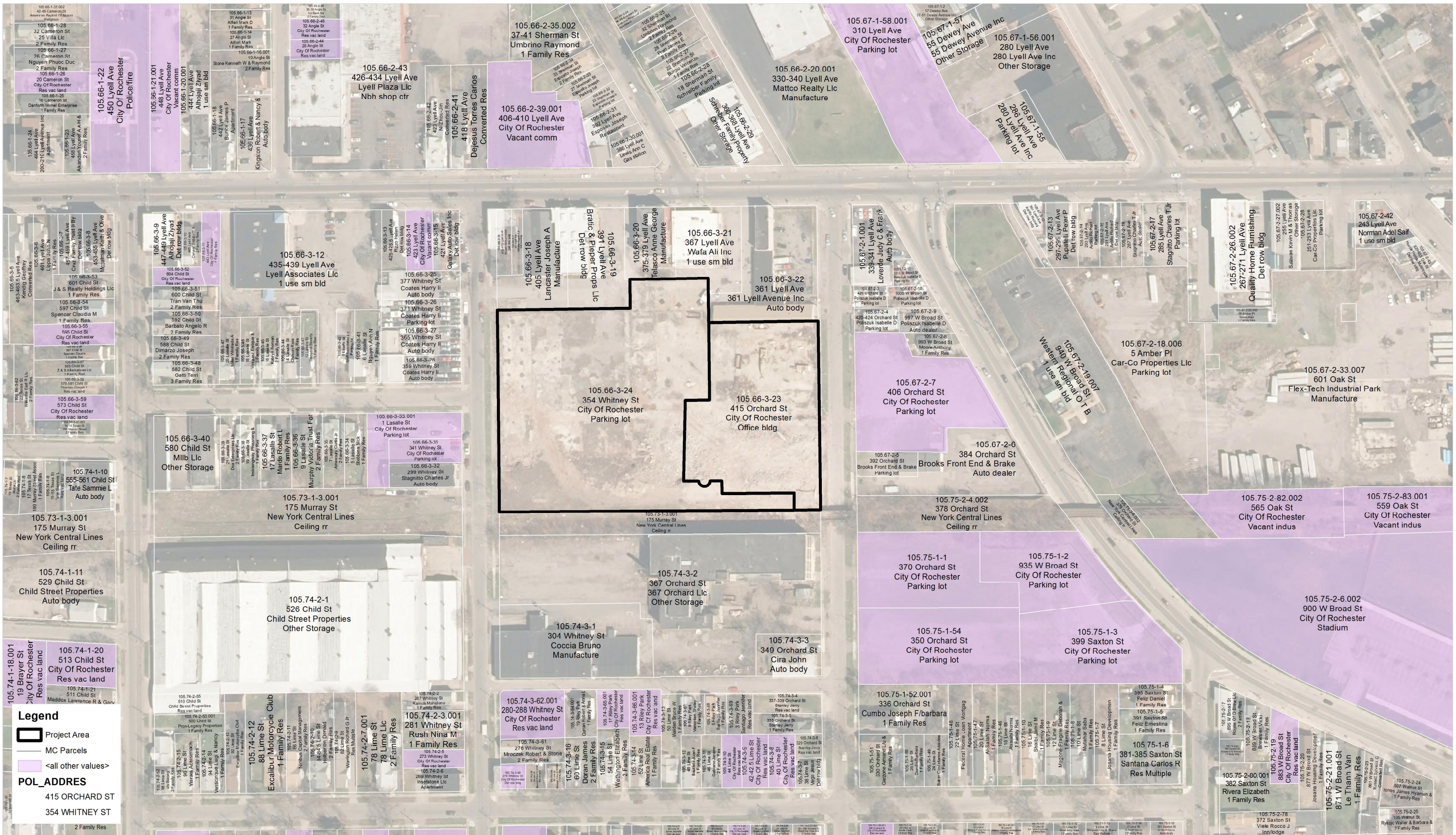
FIGURE • 2 Utilities

April 2016

0 70 140

Graphic Scale (Feet)





ORCHARD WHITNEY SITE REDEVELOPMENT

City of Rochester • Monroe County • New York

FIGURE • 3 Parcel Data

April 2016

0 70 140

Graphic Scale (Feet)

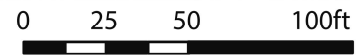


ORCHARD WHITNEY SITE GEOTECH NOTES

GENERAL

Remove masonry debris from site prior to development.
 Utility tunnels shall be filled with flowable fill to prevent future deterioration and collapse.
 Pavement and sidewalk features shall use 15in of subbase with geogrid to minimize settlement and cracking.
 Site generally consists of 3 stratum; industrial fill, native soil, and rock.

DESIGN PARAMETERS



Area 1:

Fill layer is approximately 0-8 feet deep.
 Mat foundation only
 2500psf bearing pressure
 Native soil layer is approximately 8-10 feet deep.
 Strip foundation
 3500psf bearing pressure
 Rock is approximately 10+ feet deep.
 Drilled pile foundation
 24ksf bearing pressure

Area 2:

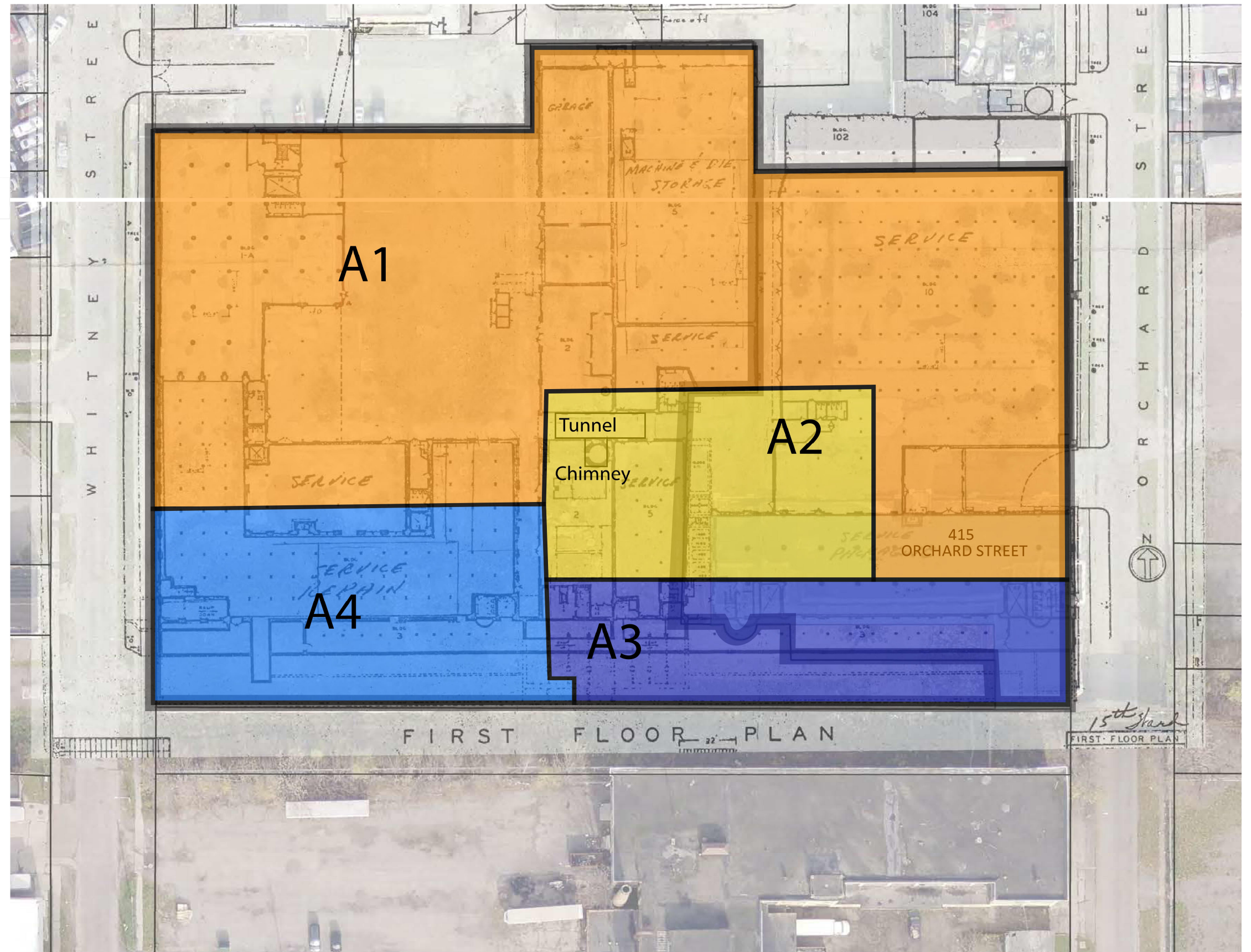
Fill layer is approximately 0-10 feet deep.
 Mat foundation only
 2500psf bearing pressure
 Native soil layer is approximately 10-16 feet deep.
 Strip foundation
 3500psf bearing pressure
 Rock is approximately 16+ feet deep.
 Drilled pile foundation
 24ksf bearing pressure

Area 3:

Fill layer is approximately 0-23 feet deep.
 Mat foundation only
 2500psf bearing pressure
 Native soil layer is approximately 23-26 feet deep.
 Strip foundation is not recommended in this area
 Rock is approximately 26+ feet deep.
 Drilled pile foundation
 24ksf bearing pressure

Area 4:

12-14 feet of fill must be removed.
 Remaining Fill layer is approximately 0-8 feet deep.
 Mat foundation only
 2500psf bearing pressure
 Native soil layer is approximately 8-10 feet deep.
 Strip foundation
 3500psf bearing pressure
 Rock is approximately 10+ feet deep.
 Drilled pile foundation
 24ksf bearing pressure



ORCHARD WHITNEY SITE REDEVELOPMENT
 City of Rochester • Monroe County • New York

FIGURE • 4 Proposed Foundation Characteristics

April 2016

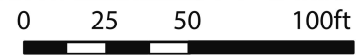


ORCHARD WHITNEY SITE GEOTECH NOTES

GENERAL

Remove masonry debris from site prior to development.
 Utility tunnels shall be filled with flowable fill to prevent future deterioration and collapse.
 Pavement and sidewalk features shall use 15in of subbase with geogrid to minimize settlement and cracking.
 Site generally consists of 3 strata; industrial fill, native soil, and rock.

DESIGN PARAMETERS



Area 1:

Fill layer is approximately 0-8 feet deep.
 Mat foundation only
 2500psf bearing pressure
 Native soil layer is approximately 8-10 feet deep.
 Strip foundation
 3500psf bearing pressure
 Rock is approximately 10+ feet deep.
 Drilled pile foundation
 24ksf bearing pressure

Area 2:

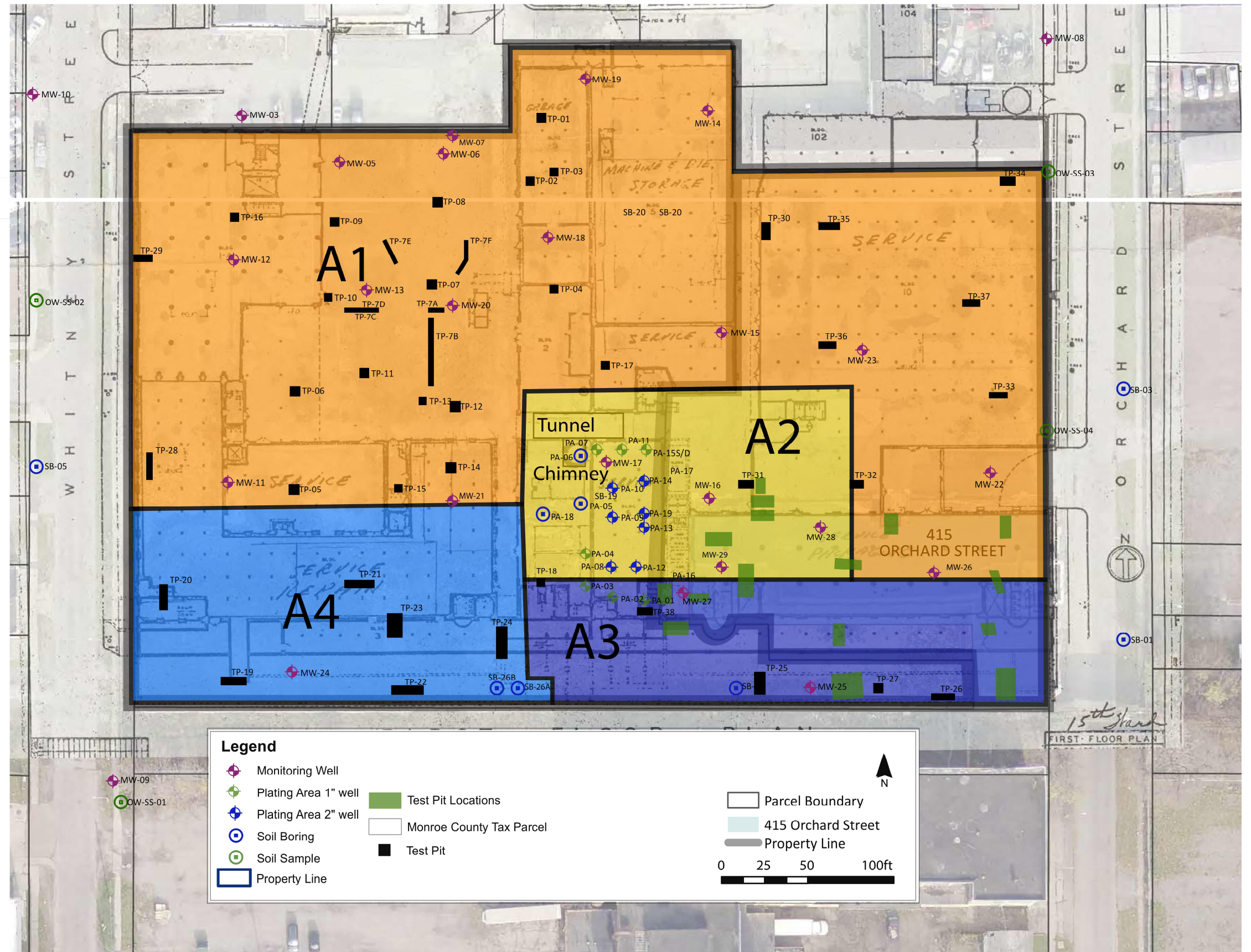
Fill layer is approximately 0-10 feet deep.
 Mat foundation only
 2500psf bearing pressure
 Native soil layer is approximately 10-16 feet deep.
 Strip foundation
 3500psf bearing pressure
 Rock is approximately 16+ feet deep.
 Drilled pile foundation
 24ksf bearing pressure

Area 3:

Fill layer is approximately 0-23 feet deep.
 Mat foundation only
 2500psf bearing pressure
 Native soil layer is approximately 23-26 feet deep.
 Strip foundation is not recommended in this area
 Rock is approximately 26+ feet deep.
 Drilled pile foundation
 24ksf bearing pressure

Area 4:

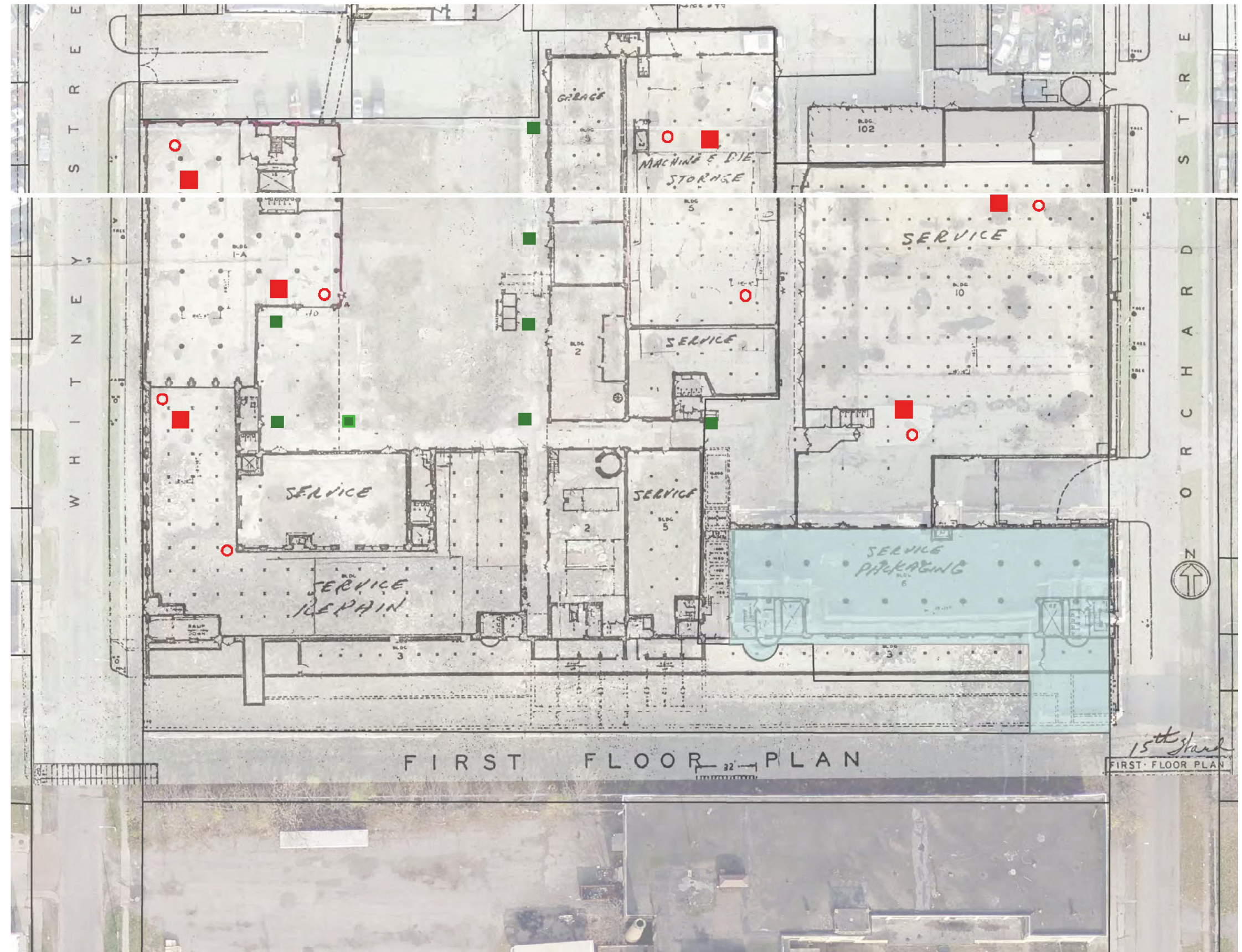
12-14 feet of fill must be removed.
 Remaining Fill layer is approximately 0-8 feet deep.
 Mat foundation only
 2500psf bearing pressure
 Native soil layer is approximately 8-10 feet deep.
 Strip foundation
 3500psf bearing pressure
 Rock is approximately 10+ feet deep.
 Drilled pile foundation
 24ksf bearing pressure



ORCHARD WHITNEY GEOTECHNICAL TESTING PROPOSAL

- Approximate Test Panel Locations (Foundations)
- Approximate Concrete Coring Locations
- Approximate Test Pits Locations (Tunnels)

Note: All locations are approximate. Locations may be changed in the field as the testing progresses.



ORCHARD WHITNEY SITE REDEVELOPMENT
City of Rochester • Monroe County • New York
FIGURE • 7 Geotechnical Testing Proposal
April 2016



ORCHARD WHITNEY SITE ENVIRONMENTAL NOTES

The property is subject to an environmental easement held by the New York State Department of Environmental Conservation pursuant to Title 36 of Article 71 of the New York Environmental Conservation Law.

The engineering and institutional controls for this easement are set forth in more detail in the Site Management Plan (SMP). A copy of the SMP must be obtained by any party with an interest in the property. The SMP can be obtained from the NYS Department of Environmental Conservation, Division of Environmental Remediation, Site Control Section, 625 Broadway, Albany, NY or at derweb@dec.ny.gov.

Summary of Site Management Requirements:

Site Identification: Site #E828123 Orchard-Whitney Site

Institutional Controls:

1. The property be developed for commercial or industrial use only.
2. Implement, maintain and monitor the site cover system.
3. Prevent future exposure to remaining contamination by controlling disturbances of the subsurface contamination.
4. City of Rochester Building Information System (BIS) – Activities Use Limitation Flag
5. Groundwater use restrictions
6. Vegetable gardens and farming are prohibited.

Engineering Controls:

1. Site Cover System (Cap)

Inspection, Monitoring, Maintenance and Reporting Frequency:

1. Annual Cover Inspection
2. Annual Groundwater Monitoring Well Sampling
Wells MW-12, 22, 23, 26, 27, 28 and 29.
3. Potential Asbestos Containing Material (PACM) Sampling - As Needed
4. Site Cover Maintenance - As Needed
5. Annual - Periodic Review Report

Remaining Contamination:

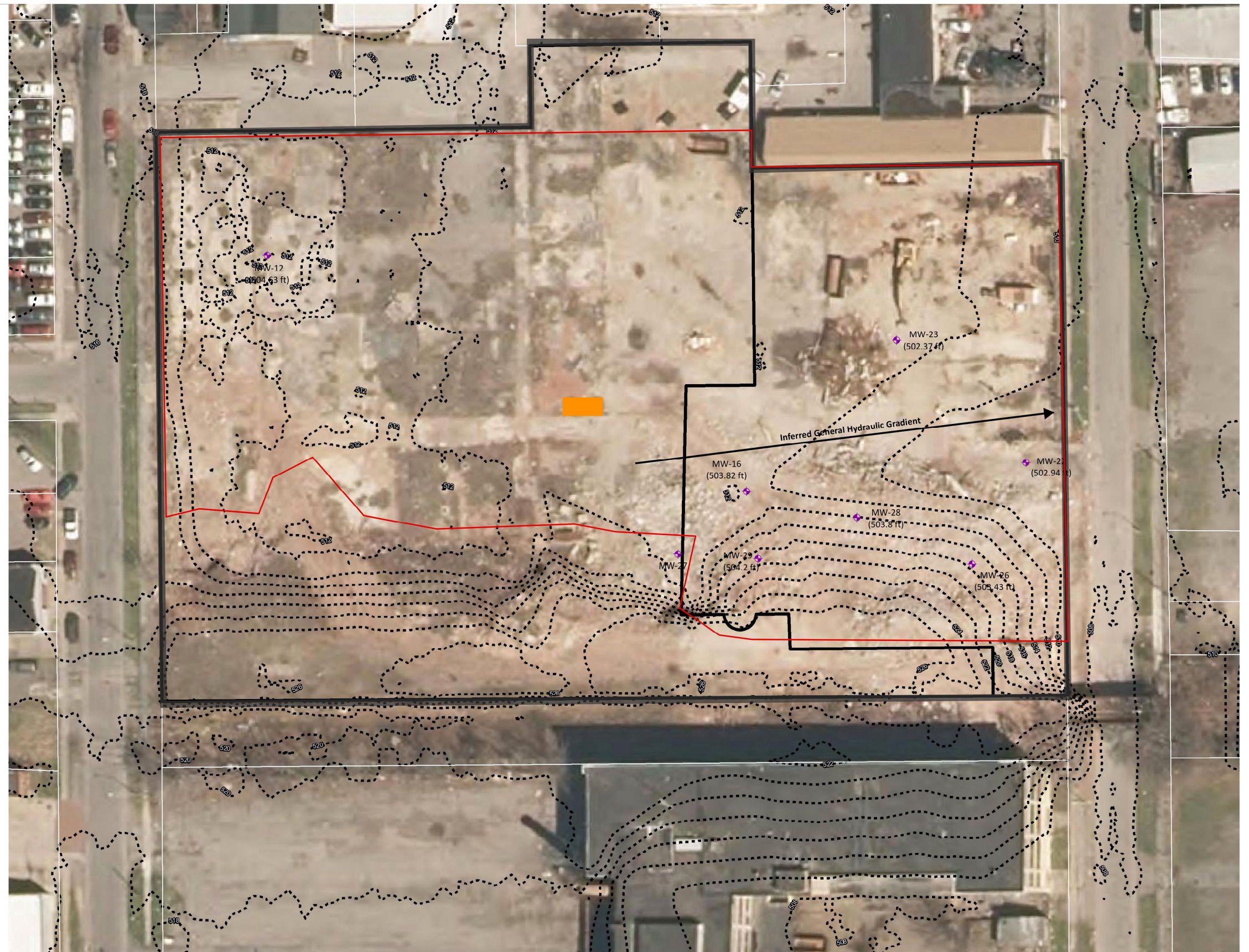
1. Elemental lead in the concrete slabs;
2. Potential asbestos containing materials may be present in subsurface structures including the tunnel system and abandoned basements. If these subsurface areas are disturbed as part of redevelopment, appropriate asbestos screening and abatement will be required.
3. Elemental lead exists beneath the Site cover. Any disturbance to the Site must be done so in accordance with the excavation work plan (EWP) contained in the SMP.
4. Groundwater exceedances of RCRA Metals.
5. Requirement to evaluate soil vapor intrusion associated with any future reuse of the site.

¹From Site Management Plan prepared by Lu Engineers (12/29/2015).
Refer to most current Site Management Plan for additional details and requirements.

Legend

-  Site Boundary
-  Steel Plate Cover -
Area of Site Required to Have Permanent Cap
-  Crushed Masonry Cover Limit
-  Site Line Contour
-  Monitoring Well - Required to be Sampled
On an Annual Basis

* Note - Site cover consists of one and a half (1.5) feet of cover material, which will be inspected annually as a requirement of the SMP.



ORCHARD WHITNEY SITE REDEVELOPMENT

City of Rochester • Monroe County • New York

FIGURE • 8 Remaining Environmental Conditions

April 2016



ORCHARD WHITNEY STREET ACCESS ANALYSIS

Arterial Classification Codes (ACCs)

Categorize roads according to the level of travel mobility that they provide in the road network. Mobility refers to the volume of traffic that a stretch of road carries and the length of trip that it serves. Roads at the highest level of mobility serve the greatest number of trips and the longest trips. Conversely, high-mobility roads provide the lowest level of access to property. Low-level, local roads serve that function.

This system uses a six-level system, with 6 as the lowest level, 1 as the highest. A list of the Arterial Classification Codes is in Table 2 below. Ascending through the levels, each step represents an increase in relative importance to routing – an increase in the number and length of routes using the road. In general, a step up also represents an increase in traffic-volume capacity of the road, an increase in vehicle operating speed, and a decrease in travel time. (This system is similar to, but not tied to, the Federal Highway Administration's Highway Functional Classification System.)

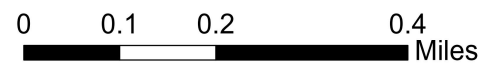
- NYS GIS Program Office

Arterial Classification Code

- █ 1
- █ 2
- █ 3
- █ 4
- City Owned Parcels
- ● ● Stop Light
- ● ● Recommended intersection upgrades including signalization
- █ Low Bridge
- █ Preferred Highway Access Route
- █ Alternate Highway Access Route
- Potential Route to Broad Street through City Owned Parcel (Not recommended due to traffic queuing, geometric constraints, low overpass height at Broad Street)

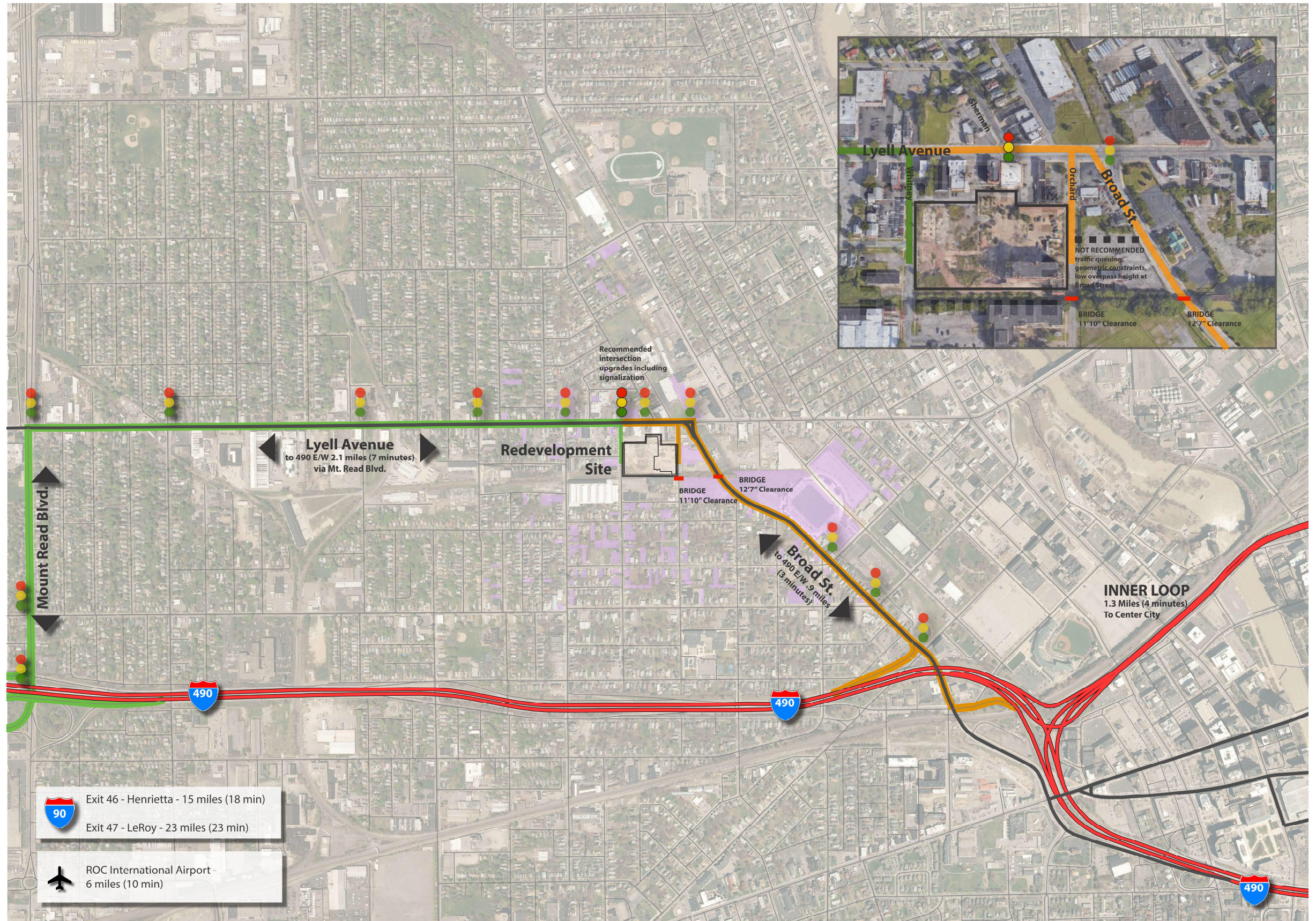


Legend



Exit 46 - Henrietta - 15 miles (18 min)
 Exit 47 - LeRoy - 23 miles (23 min)

ROC International Airport - 6 miles (10 min)



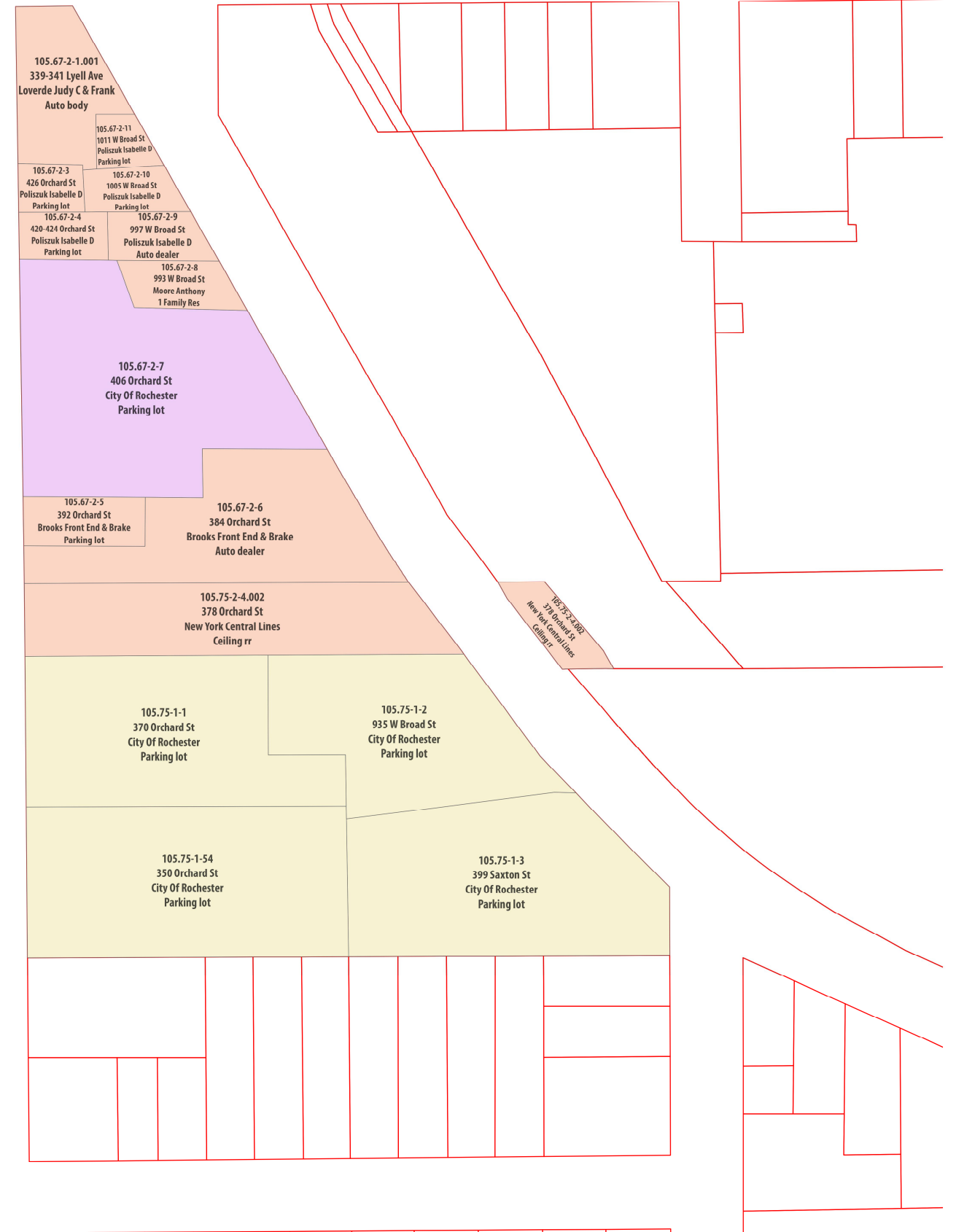
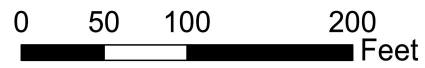
APPENDIX B

Utility and Transportation Infrastructure Database

ORCHARD WHITNEY ZONE IDENTIFICATION MAP

LEGEND

- Zone 5
- Zone 4
- Zone 3
- Zone 2
- Zone 1
- Parcel Boundaries



415 Orchard St

City Of Rochester

Priority Zone I

ROADWAY

Adjacent Roadway Network

Truck Routes

Truck access would be off Orchard Street to Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Orchard Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

**415 Orchard St
City Of Rochester****Priority Zone I****ELECTRIC**

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

415 Orchard St
 City Of Rochester
 Priority Zone I

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

354 Whitney St

City Of Rochester

Priority Zone I

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Whitney Street to Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Whitney Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

354 Whitney St
 City Of Rochester
 Priority Zone I

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 18

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

**354 Whitney St
City Of Rochester****Priority Zone I****ELECTRIC**

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

406 Orchard St

City Of Rochester

Priority Zone 2

ROADWAY

Adjacent Roadway Network

Truck Routes

Truck access would be off Orchard Street to Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Orchard Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

406 Orchard St
 City Of Rochester
 Priority Zone 2

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

**406 Orchard St
City Of Rochester****Priority Zone 2****ELECTRIC****Provider** RG&E**3 Phase Voltage (V)** 34.5kV (Aboveground)/ 208 (Underground)**3 Phase Proximity to Site** Adjacent**Singe Phase Voltage (V)** 120V**Singe Phase Proximity to Site** Adjacent**Comments** RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.**GAS****Provider** RG&E**Type** Natural Gas**Proximity to Site** Adjacent**Pipe Size (in)** ~4**Pressure (psi)** ~24**TELECOMMUNICATIONS****Provider** Frontier**Proximity to Site** Adjacent**INTERNET****Provider** Time Warner**Proximity to Site** Adjacent**DEVELOPMENT IMPLICATIONS SUMMARY**

413-415 Lyell Ave

Subeh Mohammad

Priority Zone 3

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

413-415 Lyell Ave
 Subeh Mohammad
 Priority Zone 3

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes www.cityofrochester.gov/waterbureau or call (585) 428-7500

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

413-415 Lyell Ave
Subeh Mohammad
Priority Zone 3

ELECTRIC

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

411 Lyell Ave

Chinappi August J Jr

Priority Zone 3

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

411 Lyell Ave

Chinappi August J Jr

Priority Zone 3

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes

<div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

411 Lyell Ave**Chinappi August J Jr****Priority Zone 3****ELECTRIC**

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

405 Lyell Ave

Lancaster Joseph A

Priority Zone 3

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

405 Lyell Ave

Lancaster Joseph A

Priority Zone 3

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

405 Lyell Ave**Lancaster Joseph A****Priority Zone 3****ELECTRIC**

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

391 Lyell Ave

Bratic & Pieper Props Llc

Priority Zone 3

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

391 Lyell Ave

Bratic & Pieper Props Llc

Priority Zone 3

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

391 Lyell Ave**Bratic & Pieper Props Llc****Priority Zone 3****ELECTRIC**

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

375-379 Lyell Ave

Telasco Anne George

Priority Zone 3

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

375-379 Lyell Ave
Telasco Anne George
Priority Zone 3

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

375-379 Lyell Ave**Telasco Anne George****Priority Zone 3****ELECTRIC**

Provider RG&E

3 Phase Voltage (V) 34.5kV (Aboveground)/ 208 (Underground)

3 Phase Proximity to Site Adjacent

Single Phase Voltage (V) 120V

Single Phase Proximity to Site Adjacent

Comments RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider RG&E

Type Natural Gas

Proximity to Site Adjacent

Pipe Size (in) ~4

Pressure (psi) ~24

TELECOMMUNICATIONS

Provider Frontier

Proximity to Site Adjacent

INTERNET

Provider Time Warner

Proximity to Site Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

367 Lyell Ave

Wafa Ali Inc

Priority Zone 3

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

367 Lyell Ave

Wafa Ali Inc

Priority Zone 3

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

367 Lyell Ave**Wafa Ali Inc****Priority Zone 3****ELECTRIC**

Provider RG&E

3 Phase Voltage (V) 34.5kV (Aboveground)/ 208 (Underground)

3 Phase Proximity to Site Adjacent

Single Phase Voltage (V) 120V

Single Phase Proximity to Site Adjacent

Comments RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider RG&E

Type Natural Gas

Proximity to Site Adjacent

Pipe Size (in) ~4

Pressure (psi) ~24

TELECOMMUNICATIONS

Provider Frontier

Proximity to Site Adjacent

INTERNET

Provider Time Warner

Proximity to Site Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

361 Lyell Ave

361 Lyell Avenue Inc

Priority Zone 3

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

361 Lyell Ave
 361 Lyell Avenue Inc
 Priority Zone 3

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

361 Lyell Ave**361 Lyell Avenue Inc****Priority Zone 3****ELECTRIC**

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

350 Orchard St**City Of Rochester****Priority Zone 4****ROADWAY**Adjacent Roadway
Network

Truck Routes

Truck access would be off Orchard Street to Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATIONNearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Orchard Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

350 Orchard St
City Of Rochester
Priority Zone 4

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

350 Orchard St
City Of Rochester
Priority Zone 4

ELECTRIC

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

935 W Broad St

City Of Rochester

Priority Zone 4

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Broad Street. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

935 W Broad St
City Of Rochester
Priority Zone 4

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 15

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

935 W Broad St
 City Of Rochester
 Priority Zone 4

ELECTRIC

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

370 Orchard St

City Of Rochester

Priority Zone 4

ROADWAY

Adjacent Roadway Network

Truck Routes

Truck access would be off Orchard Street to Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Orchard Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

370 Orchard St
 City Of Rochester
 Priority Zone 4

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

**370 Orchard St
City Of Rochester****Priority Zone 4****ELECTRIC**

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

399 Saxton St**City Of Rochester****Priority Zone 4****ROADWAY**Adjacent Roadway
Network

Truck Routes

Truck access would be off Broad Street. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATIONNearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Saxton Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

399 Saxton St
City Of Rochester
Priority Zone 4

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 15

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

399 Saxton St**City Of Rochester****Priority Zone 4****ELECTRIC**

Provider RG&E

3 Phase Voltage (V) 34.5kV (Aboveground)/ 208 (Underground)

3 Phase Proximity to Site Adjacent

Single Phase Voltage (V) 120V

Single Phase Proximity to Site Adjacent

Comments RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider RG&E

Type Natural Gas

Proximity to Site Adjacent

Pipe Size (in) ~4

Pressure (psi) ~24

TELECOMMUNICATIONS

Provider Frontier

Proximity to Site Adjacent

INTERNET

Provider Time Warner

Proximity to Site Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

339-341 Lyell Ave

Loverde Judy C & Frank

Priority Zone 5

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

339-341 Lyell Ave

Loverde Judy C & Frank

Priority Zone 5

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 12-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 12

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

339-341 Lyell Ave**Loveerde Judy C & Frank****Priority Zone 5****ELECTRIC**

Provider RG&E

3 Phase Voltage (V) 34.5kV (Aboveground)/ 208 (Underground)

3 Phase Proximity to Site Adjacent

Single Phase Voltage (V) 120V

Single Phase Proximity to Site Adjacent

Comments RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider RG&E

Type Natural Gas

Proximity to Site Adjacent

Pipe Size (in) ~4

Pressure (psi) ~24

TELECOMMUNICATIONS

Provider Frontier

Proximity to Site Adjacent

INTERNET

Provider Time Warner

Proximity to Site Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

1011 W Broad St

Polizuk Isabelle D

Priority Zone 5

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Broad Street. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

1011 W Broad St
 Poliszuk Isabelle D
 Priority Zone 5

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 15

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

1011 W Broad St
Poliszuk Isabelle D
Priority Zone 5

ELECTRIC

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

426 Orchard St

Polizuk Isabelle D

Priority Zone 5

ROADWAY

Adjacent Roadway Network

Truck Routes

Truck access would be off Orchard Street to Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Orchard Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

426 Orchard St
 Poliszuk Isabelle D
 Priority Zone 5

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

426 Orchard St
Poliszuk Isabelle D
Priority Zone 5

ELECTRIC

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

420-424 Orchard St**Polizuk Isabelle D****Priority Zone 5****ROADWAY**Adjacent Roadway
Network

Truck Routes

Truck access would be off Orchard Street to Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATIONNearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Orchard Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

420-424 Orchard St

Poliszuk Isabelle D

Priority Zone 5

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

420-424 Orchard St**Poliszuk Isabelle D****Priority Zone 5****ELECTRIC**

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

1005 W Broad St

Polizuk Isabelle D

Priority Zone 5

ROADWAY

Adjacent Roadway Network

Truck Routes

Truck access would be off Broad Street. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

1005 W Broad St
 Poliszuk Isabelle D
 Priority Zone 5

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes

www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 15

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

1005 W Broad St
Poliszuk Isabelle D
Priority Zone 5

ELECTRIC

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

997 W Broad St

Polizuk Isabelle D

Priority Zone 5

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Broad Street. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

997 W Broad St
Poliszuk Isabelle D
Priority Zone 5

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 15

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

997 W Broad St
Polizuk Isabelle D
Priority Zone 5

ELECTRIC

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

993 W Broad St

Moore Anthony

Priority Zone 5

ROADWAY

Adjacent Roadway Network

Truck Routes

Truck access would be off Broad Street. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

DEVELOPMENT IMPLICATIONS SUMMARY

993 W Broad St

Moore Anthony

Priority Zone 5

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 15

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

993 W Broad St**Moore Anthony****Priority Zone 5****ELECTRIC**

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
Singe Phase Proximity to Site	Adjacent
Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider	RG&E
Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

392 Orchard St

Brooks Front End & Brake

Priority Zone 5

ROADWAY

Adjacent Roadway Network

Truck Routes

Truck access would be off Orchard Street to Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Orchard Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

392 Orchard St

Brooks Front End & Brake

Priority Zone 5

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

Storm Sewers

Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

392 Orchard St**Brooks Front End & Brake****Priority Zone 5****ELECTRIC**

Provider RG&E

3 Phase Voltage (V) 34.5kV (Aboveground)/ 208 (Underground)

3 Phase Proximity to Site Adjacent

Single Phase Voltage (V) 120V

Single Phase Proximity to Site Adjacent

Comments RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider RG&E

Type Natural Gas

Proximity to Site Adjacent

Pipe Size (in) ~4

Pressure (psi) ~24

TELECOMMUNICATIONS

Provider Frontier

Proximity to Site Adjacent

INTERNET

Provider Time Warner

Proximity to Site Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

384 Orchard St

Brooks Front End & Brake

Priority Zone 5

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Orchard Street to Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Orchard Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

384 Orchard St

Brooks Front End & Brake

Priority Zone 5

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

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Storm sewers available at site Yes CSOAP Turnnels

RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

384 Orchard St**Brooks Front End & Brake****Priority Zone 5****ELECTRIC**

Provider RG&E

3 Phase Voltage (V) 34.5kV (Aboveground)/ 208 (Underground)

3 Phase Proximity to Site Adjacent

Single Phase Voltage (V) 120V

Single Phase Proximity to Site Adjacent

Comments RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

GAS

Provider RG&E

Type Natural Gas

Proximity to Site Adjacent

Pipe Size (in) ~4

Pressure (psi) ~24

TELECOMMUNICATIONS

Provider Frontier

Proximity to Site Adjacent

INTERNET

Provider Time Warner

Proximity to Site Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

378 Orchard St

New York Central Lines

Priority Zone 5

ROADWAY

Adjacent Roadway
Network

Truck Routes

Truck access would be off Orchard Street to Lyell Avenue. Route 490 W (via Broad Street) is 1 mile (2 minutes) away. Route 490 East/West (via Lyell Ave/Mt. Read Blvd) is 2 miles (7 minutes) away. Interstate 90 West (via Exit 47 - LeRoy) is 23 miles (23 minutes) away. Interstate 90 East (via Exit 46 - Henrietta) is 15 miles (18 minutes away).

AVIATION

Nearest Commercial
Airport

Greater Rochester International Airport (ROC)

PERMITTING

Permits

City of Rochester street right-of-way work permits will be required for any roadway/utility improvements proposed within the ROW of Orchard Street. Likewise, NYSDOT work permits will be required for any roadway/utility improvements proposed within the ROW Broad Street.

DEVELOPMENT IMPLICATIONS SUMMARY

378 Orchard St

New York Central Lines

Priority Zone 5

WATER SUPPLY

Public Water Supply Available at Site? Yes

System Information

Owner City of Rochester Water and Lighting Bureau

Source of Supply Canadice Lake and Hemlock Lake

Site Specific Details

Is Site in Existing Water District Yes Rochester Water Bureau

Size of water main at site (in) 8-inch

Pressure Zone Zone 2

Contact Notes <div>www.cityofrochester.gov/waterbureau or call (585) 428-7500</div>

SEWER COLLECTION SYSTEM

Public Sewer Available at Site? Yes

System Information

Owner Monroe County Pure Waters

Site Specific Details

Site in existing sewer district Yes RPWD

Size of sewer main at site (in) 24

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RECEIVING WASTEWATER TREATMENT PLANT (WWTP)

Owner / WWTP Name Van Lare WWTP

Contact Notes

378 Orchard St**New York Central Lines****Priority Zone 5****ELECTRIC**

Provider	RG&E
3 Phase Voltage (V)	34.5kV (Aboveground)/ 208 (Underground)
3 Phase Proximity to Site	Adjacent
Singe Phase Voltage (V)	120V
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Comments	RG&E provides overhead electric lines. There is an electrical substation located nearby on Whitney Street.

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Type	Natural Gas
Proximity to Site	Adjacent
Pipe Size (in)	~4
Pressure (psi)	~24

TELECOMMUNICATIONS

Provider	Frontier
Proximity to Site	Adjacent

INTERNET

Provider	Time Warner
Proximity to Site	Adjacent

DEVELOPMENT IMPLICATIONS SUMMARY

APPENDIX C

Supporting Documentation from Previous Studies

Institutional/Commercial Development

Phase 1, Project 8

Who: City of Rochester, Private Developers, Lyell-Jay Merchants Association, East Lyell Business Association, Northwest Quadrant Service Center

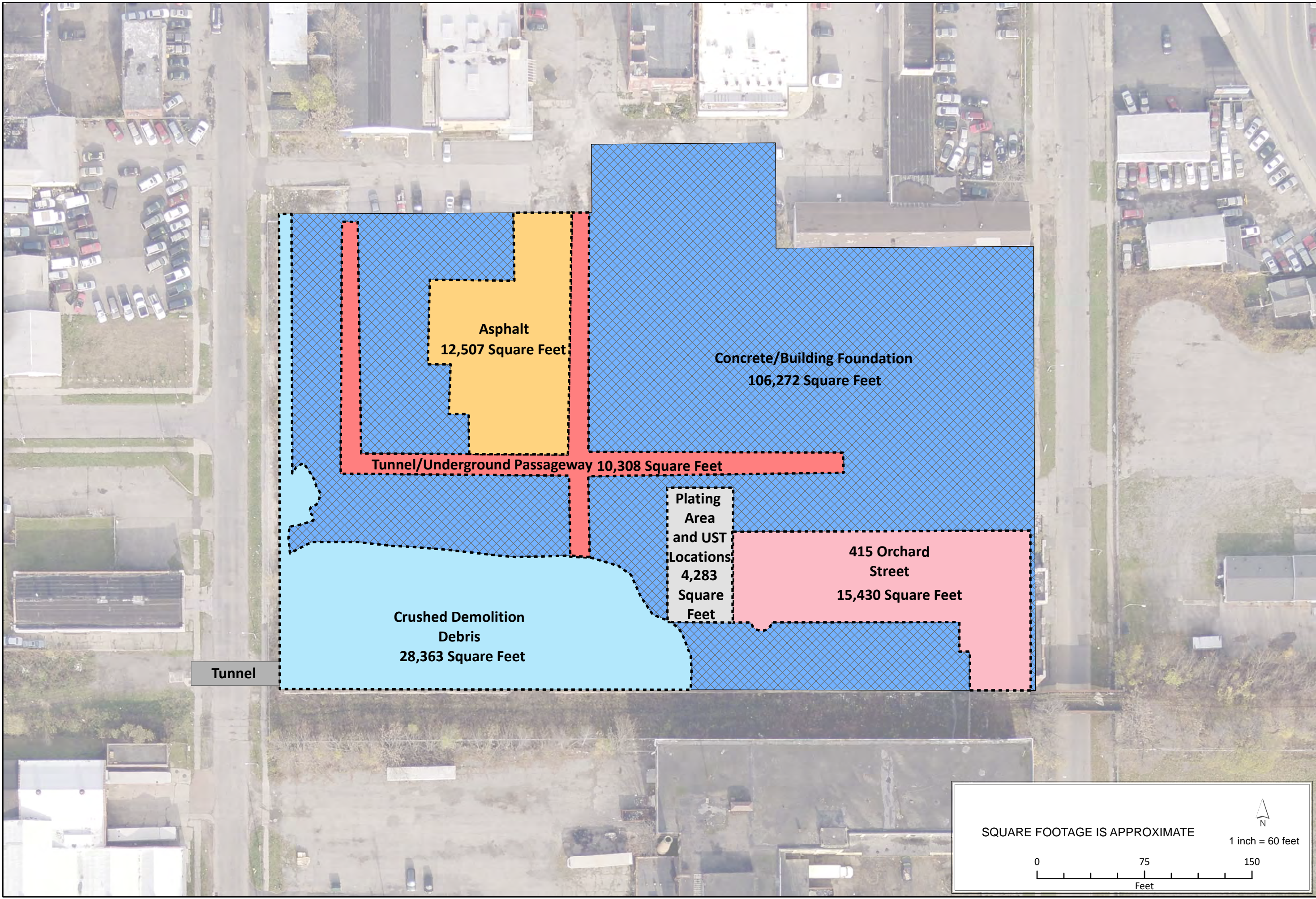


Proposed Orchard-Whitney Redevelopment

The Orchard-Whitney site has been a vacant and underutilized eyesore at the center of the community. The one remaining building is scheduled for demolition in 2014. The community has expressed a desire to see this site put to active use. Due to the distressed state of the LYLAKS economy, market analysis has shown that the redevelopment of the Orchard-Whitney site will require City intervention to identify and implement appropriate reuse options.

A commercial use subsidized by the government or a government use are the most appropriate and realistic uses for the redevelopment of this site. An institutional or commercial use for this site would be attractive for potential business owners and would create positive impacts for the community. Most importantly, the long-vacant Orchard-Whitney site would be redeveloped, which would increase the area's tax base, remove blight from the heart of LYLAKS, reactivate Lyell Avenue and illustrate to other potential developers that LYLAKS is a viable place to locate a business.

The institutional or commercial building should be oriented towards Orchard Street. The new building will not disrupt the urban fabric along Lyell Avenue because it will be set behind the existing structures. The redevelopment of this site will allow for innovative building techniques such as a green roof that would help to decrease energy costs, reduce stormwater runoff, improve air quality and create positive attention for the new construction as investing in the well-being of the surrounding community. Additional parking for the businesses along Lyell Avenue will be constructed behind their properties and accessible via Orchard and Whitney Streets. The creation of off-street parking and a location next to an attractive, redevelopment will increase the value of these properties and encourage most desirable businesses to locate along Lyell Avenue.



Asphalt
12,507 Square Feet

Concrete/Building Foundation
106,272 Square Feet

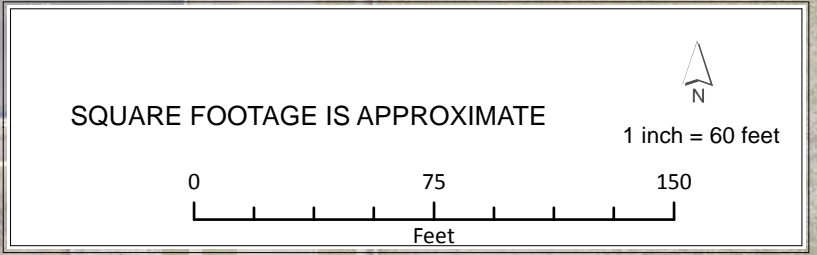
Tunnel/Underground Passageway 10,308 Square Feet

Plating Area and UST Locations
4,283 Square Feet

Crushed Demolition Debris
28,363 Square Feet

415 Orchard Street
15,430 Square Feet

Tunnel



DATE: SEPTEMBER 2013
SCALE: 1 inch = 60 Feet
DRAWN/CHECKED: SMK/GLA
DATA SOURCE: PICTOMETRY



FIGURE 11
SURFACE MATERIAL
ORCHARD WHITNEY PREDEVELOPMENT STUDY
415 ORCHARD STREET/354 WHITNEY STREET
ROCHESTER, NY





Foundation Design, P.C.

SOIL • BEDROCK • GROUNDWATER

December 22, 2011

Lu Engineers
175 Sully's Trail
Corporate Crossings Office park
Pittsford, New York 14534

Attention: Greg Andrus, CHMM
Environmental Division Director

Reference: 415 Orchard Street, Rochester, New York
Pre-development Investigation
DRAFT Earthwork Cost Estimate, 3546.0

Dear Mr. Andrus:

This letter is our formal submission of our *Opinion of Probable Earthwork Costs* for the 415 Orchard Street parcel. This *Opinion of Probable Earthwork Costs* is based on remediation of the entire parcel. In estimating these costs, we have made the following assumptions:

- The proposed grades will be near existing.
- Shallow unsuitable fill was identified intermittently in the environment test logs. We estimate that the amount of unsuitable material averages 6-inches (0.5 feet) across the entire site.
- Tunnels and old house basements have been filled with unsuitable material that will be removed from the site. (see the attached sketch)
- Proposed buildings will be supported on shallow spread foundations with slab-on-grade floors.

Other clean up costs that were not included in our estimate include the following:

- Demolition of the existing building.
- Environmental clean up.
- Removal and/or processing of remaining stockpiled rubble



**Foundation
Design, P.C.**

SOIL • BEDROCK • GROUNDWATER

Cost for concrete processing and placement est: \$25/cubic yard

Total cost of Concrete Processing = \$149,472

Rubble Processing (for excavation backfill)

Balance of backfill necessary after concrete processing 8,236 + 698 (foundation removal excavations) - 2,768

= 6,167 cubic yards

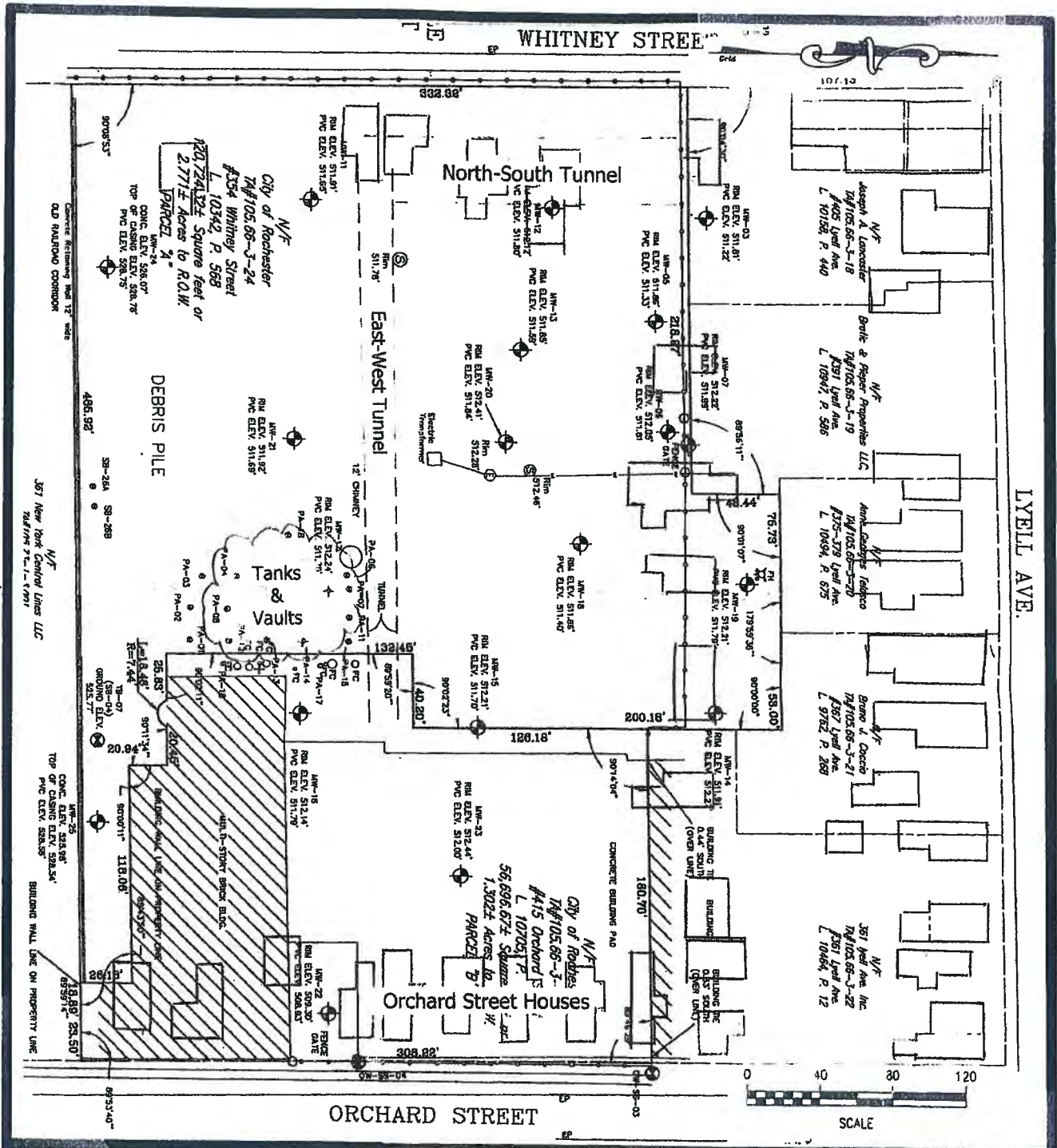
Cost for processing and placement of rubble est: \$9 cubic yard

Total Cost of Rubble Processing = \$55,503

Oversite and Inspection

Four week of engineering and soils/lab testing = **\$20,000**

Total Earthwork Cost: \$406,149



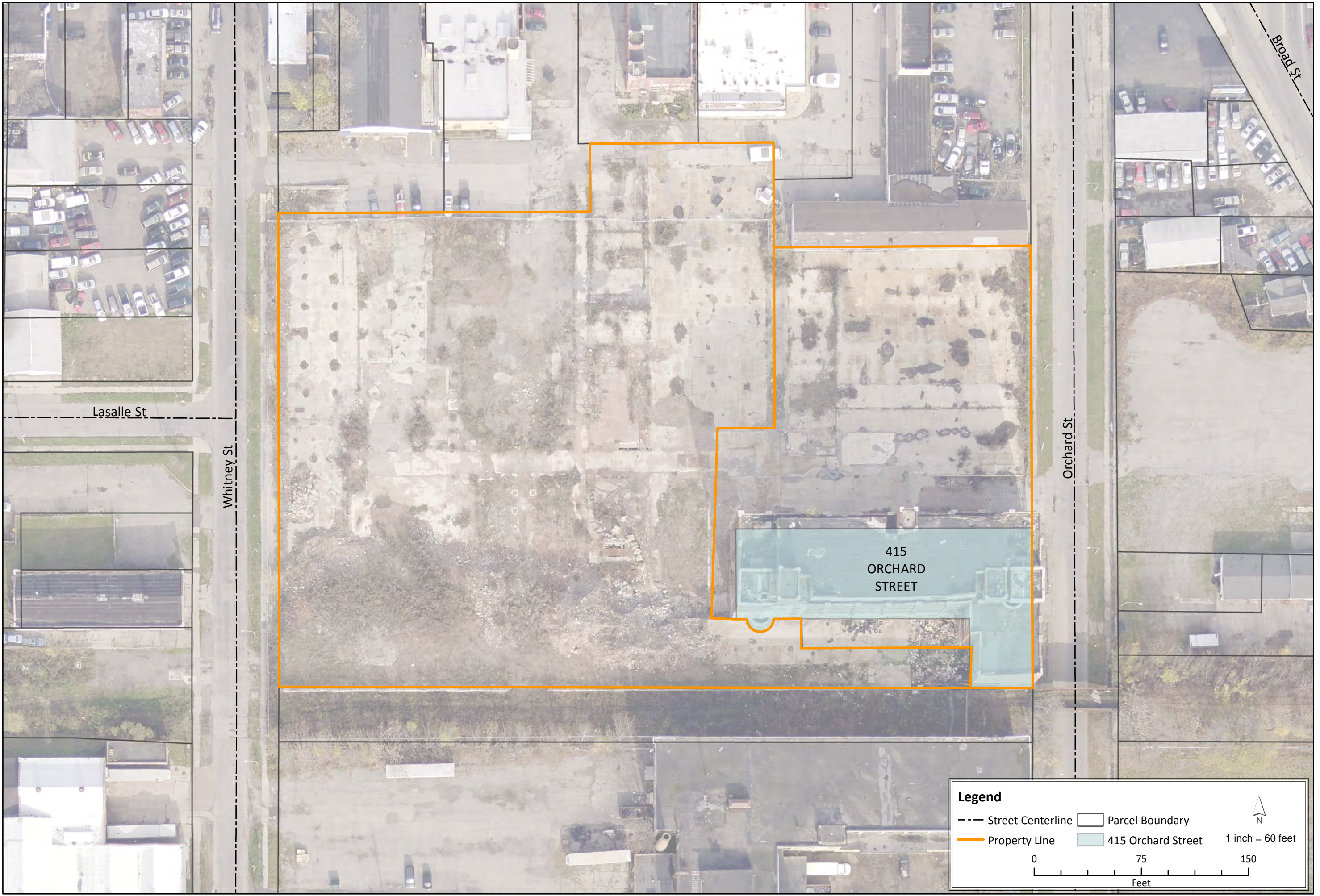

Foundation Design, P.C.

335 Colfax Street
 Rochester, New York 14606
 Phone (585) 458-0824
 FAX (585) 458-3323

Pre-Development 415 Orchard Street
 415 Orchard Street, Rochester, New York
Subsurface Structure Sketch
 Adapted from: Lu Engineers "Boundary Survey Map"
 Dated: 8-12-11

CHECKED BY: JMB
 DATE: 12/23/11

DRAWN BY: SCA
 Scale NA
 JOB NO.: 3546.0



Legend

---	Street Centerline	▭	Parcel Boundary	1 inch = 60 feet
—	Property Line	▭	415 Orchard Street	

0 75 150
Feet

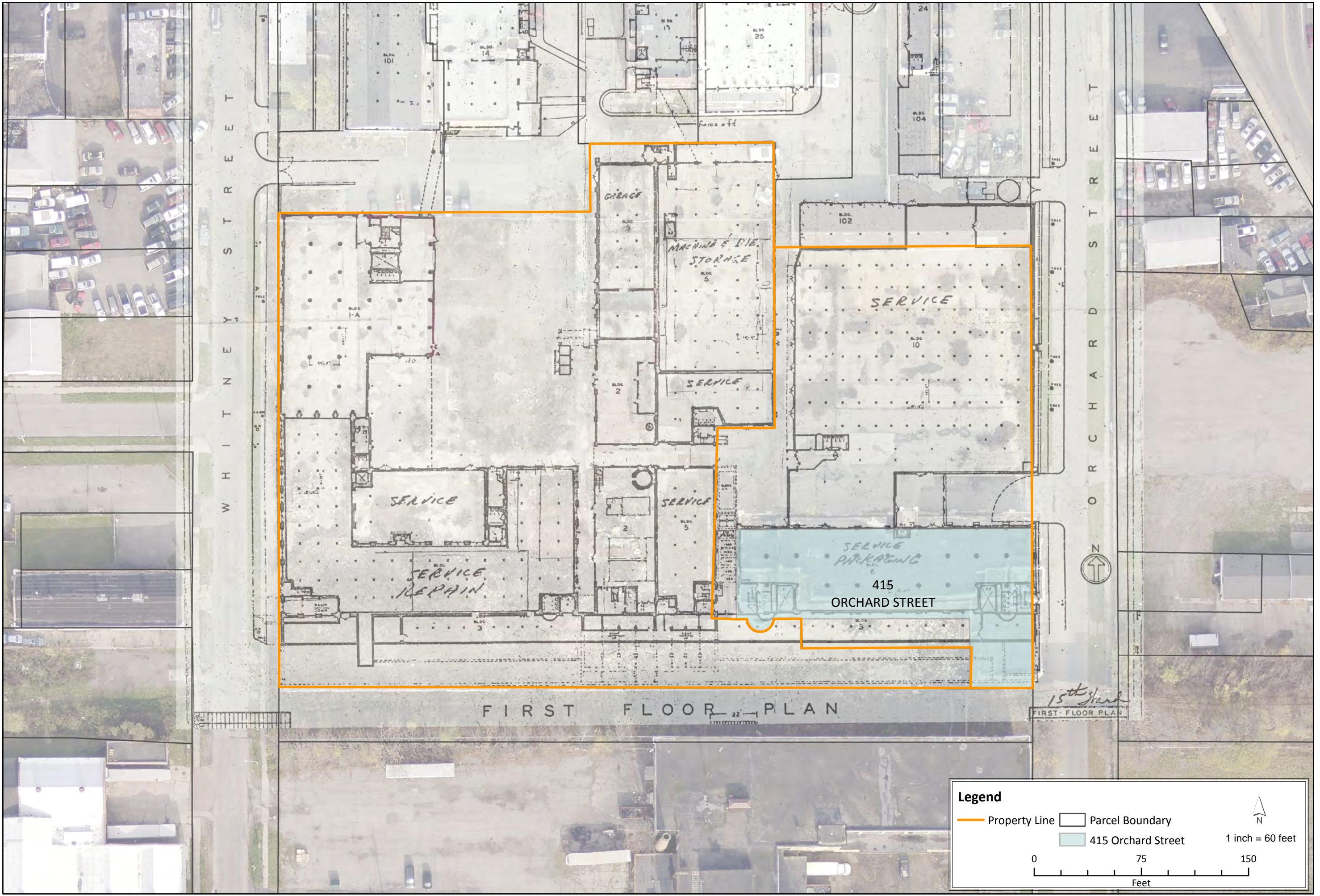
N

DATE: SEPTEMBER 2013
 SCALE: 1 inch = 60 Feet
 DRAWN/CHECKED: SMK/GLA
 DATA SOURCE: PICTOMETRY



FIGURE 2
 SITE PLAN
 ORCHARD WHITNEY PREDEVELOPMENT STUDY
 415 ORCHARD STREET/354 WHITNEY STREET
 ROCHESTER, NY





DATE: SEPTEMBER 2013
 SCALE: 1 inch = 60 Feet
 DRAWN/CHECKED: SMK/GLA
 DATA SOURCE: PICTOMETRY



FIGURE 3
 HISTORICAL SITE PLAN OVERLAY
 ORCHARD WHITNEY PREDEVELOPMENT STUDY
 415 ORCHARD STREET/354 WHITNEY STREET
 ROCHESTER, NY

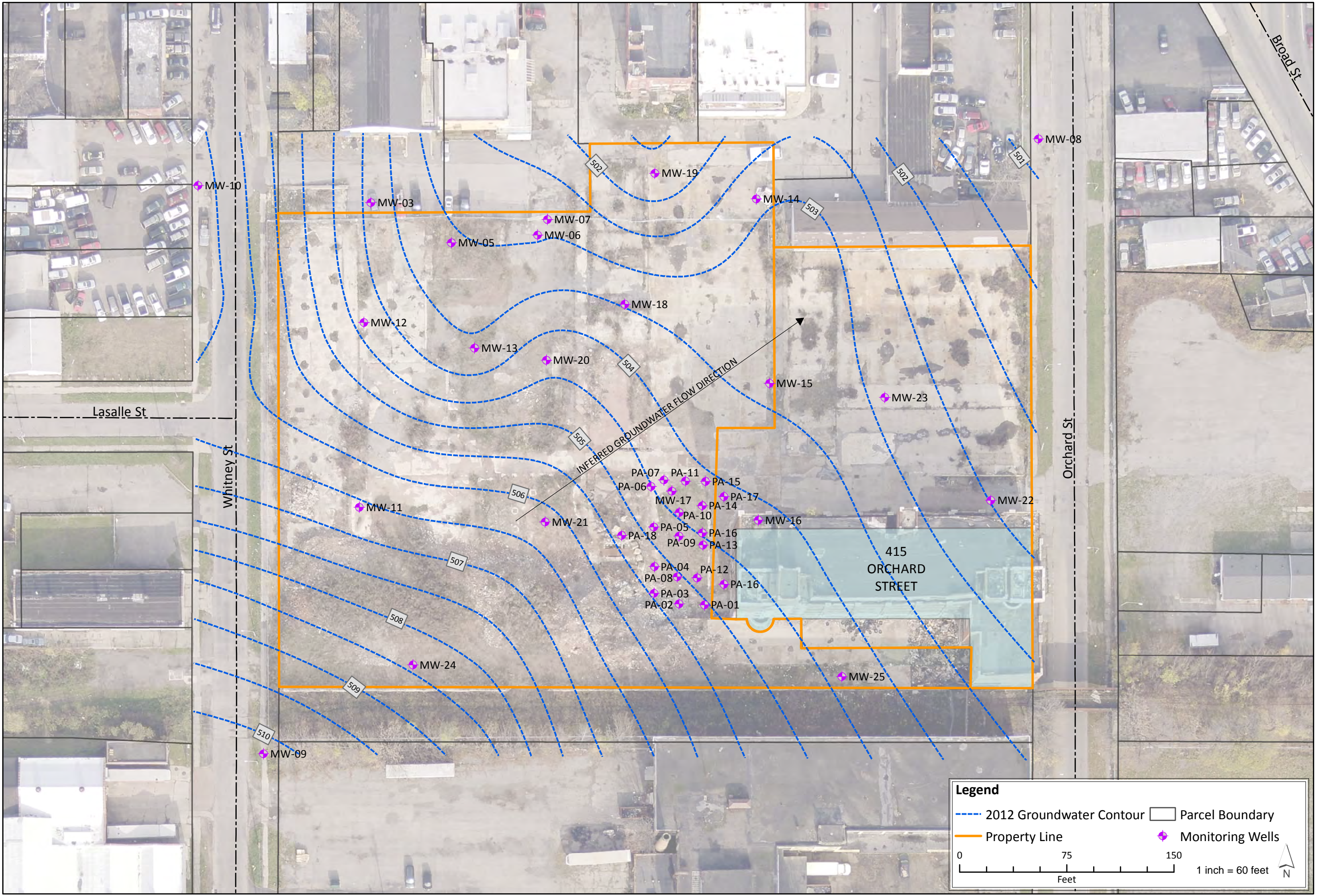
Legend

- Property Line
- Parcel Boundary
- 415 Orchard Street

1 inch = 60 feet

0 75 150
 Feet





DATE: SEPTEMBER 2013
 SCALE: 1 Inch = 60 Feet
 DRAWN/CHECKED: SMK/GLA
 DATA SOURCE: PICTOMETRY



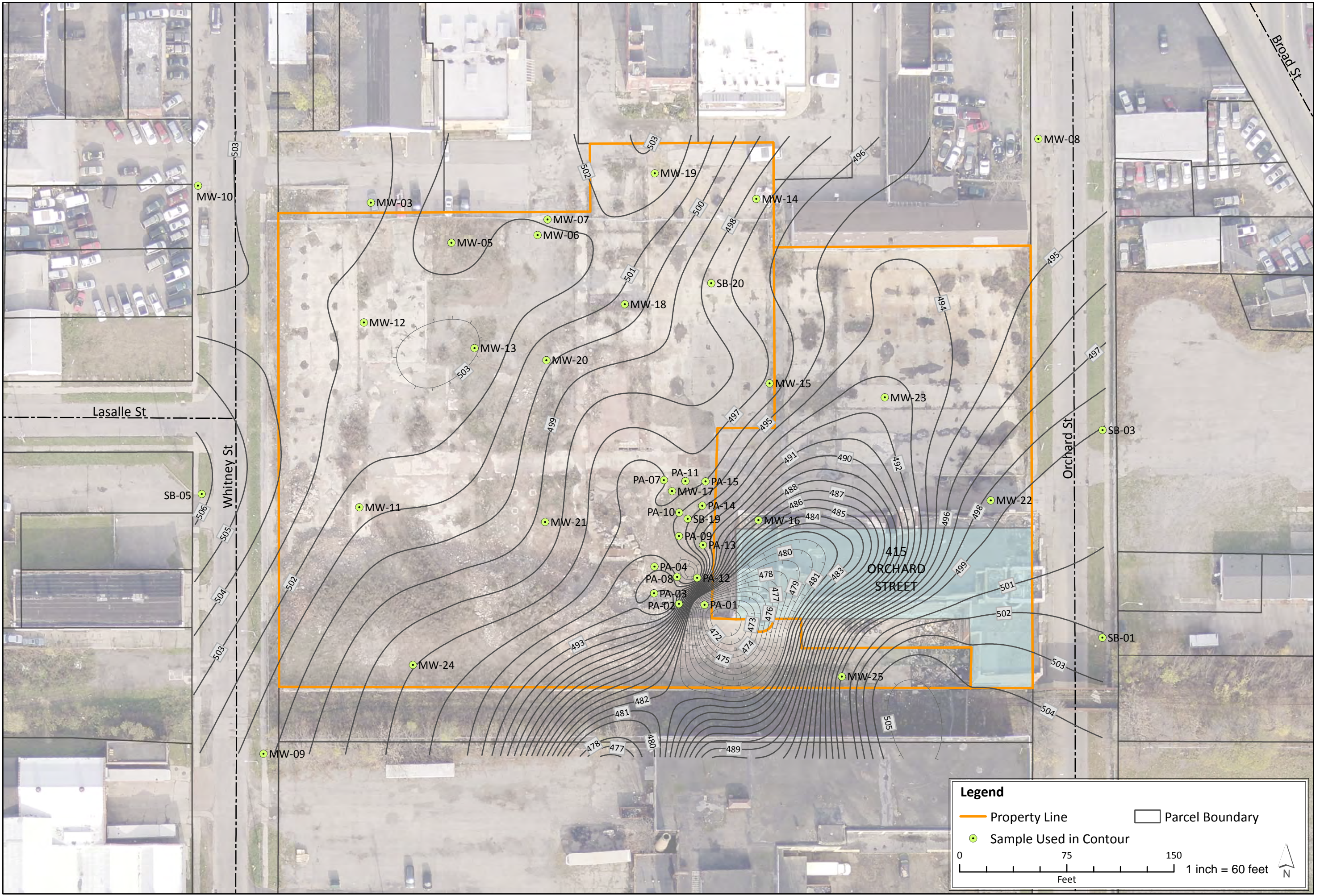
FIGURE 4
 GROUNDWATER CONTOUR
 ORCHARD WHITNEY PREDEVELOPMENT STUDY
 415 ORCHARD STREET/354 WHITNEY STREET
 ROCHESTER, NY

Legend

- - - 2012 Groundwater Contour
- Property Line
- Parcel Boundary
- ◆ Monitoring Wells

0 75 150
 Feet 1 inch = 60 feet



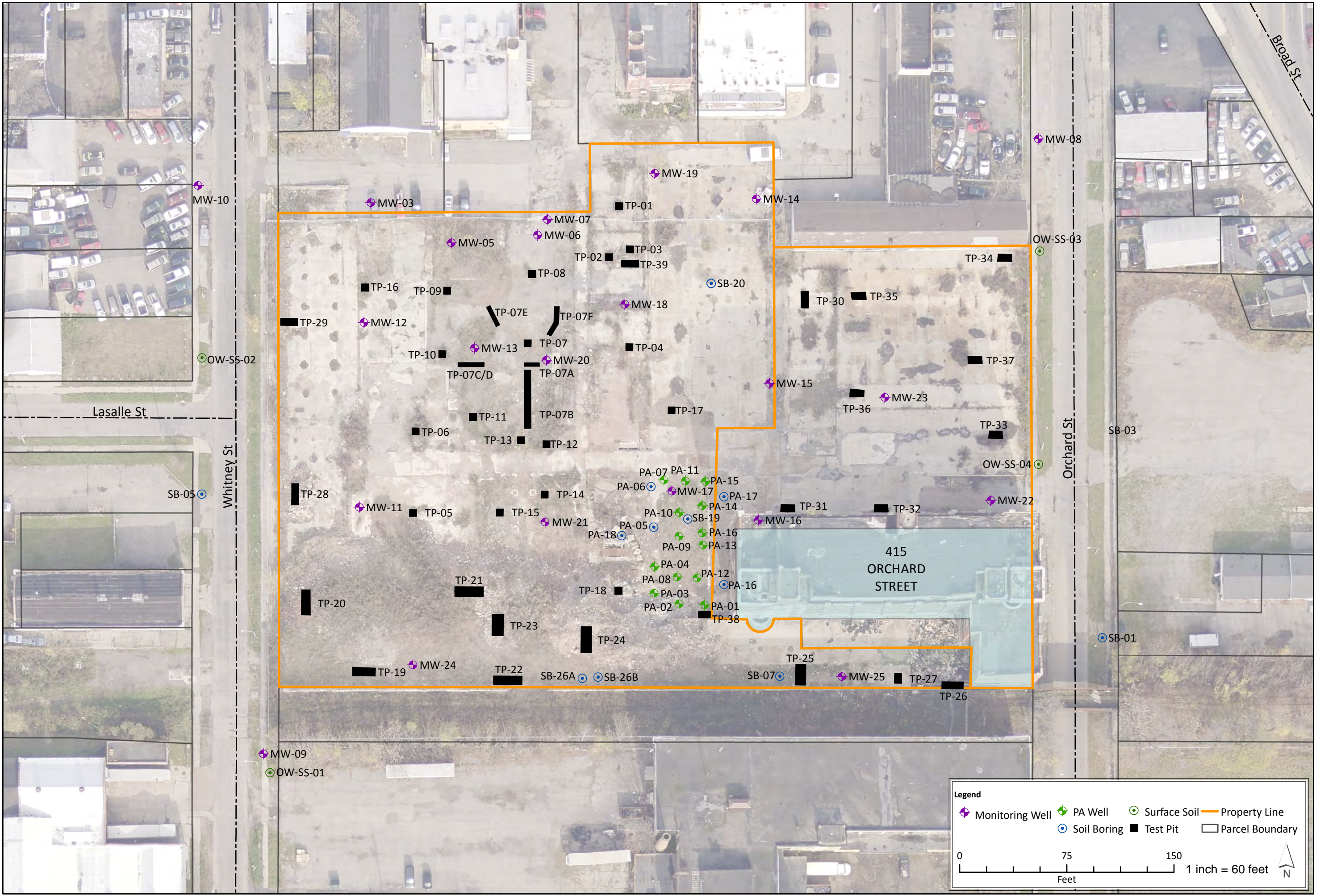


DATE: SEPTEMBER 2013
 SCALE: 1 Inch = 60 Feet
 DRAWN/CHECKED: SMK/GLA
 DATA SOURCE: PICTOMETRY



FIGURE 5
 BEDROCK CONTOUR
 ORCHARD WHITNEY PREDEVELOPMENT STUDY
 415 ORCHARD STREET/354 WHITNEY STREET
 ROCHESTER, NY





Legend

- ◆ Monitoring Well
- ◆ PA Well
- Surface Soil
- Property Line
- Soil Boring
- Test Pit
- Parcel Boundary

0 75 150
 Feet 1 inch = 60 feet

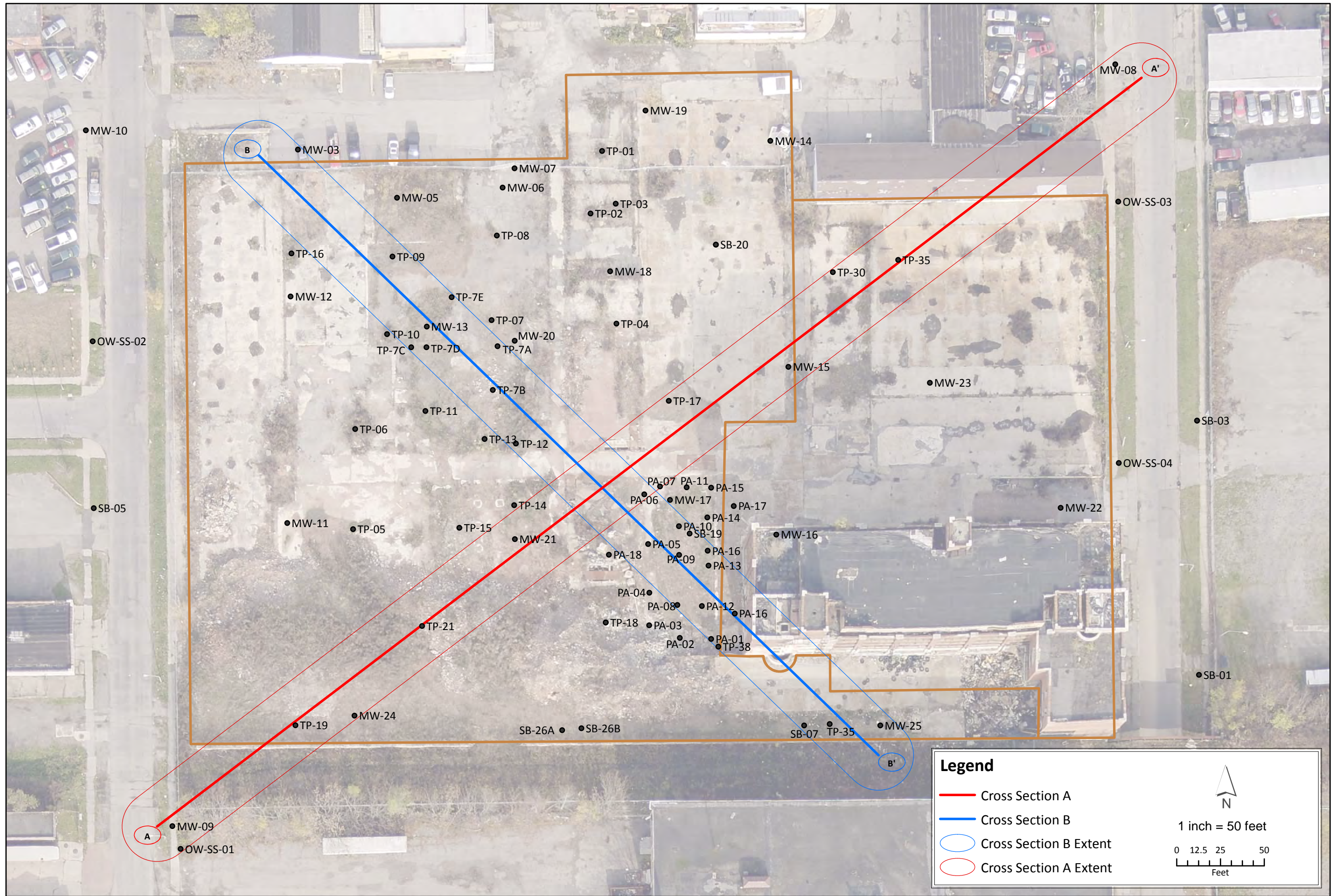
N

DATE: SEPTEMBER 2013
 SCALE: 1 inch = 60 Feet
 DRAWN/CHECKED: SMK/GLA
 DATA SOURCE: PICTOMETRY



FIGURE 6
 SURFACE AND SUBSURFACE INVESTIGATION
 ORCHARD WHITNEY PREDEVELOPMENT STUDY
 415 ORCHARD STREET/354 WHITNEY STREET
 ROCHESTER, NY





DATE: SEPTEMBER 2013

SCALE: 1 inch = 50 Feet

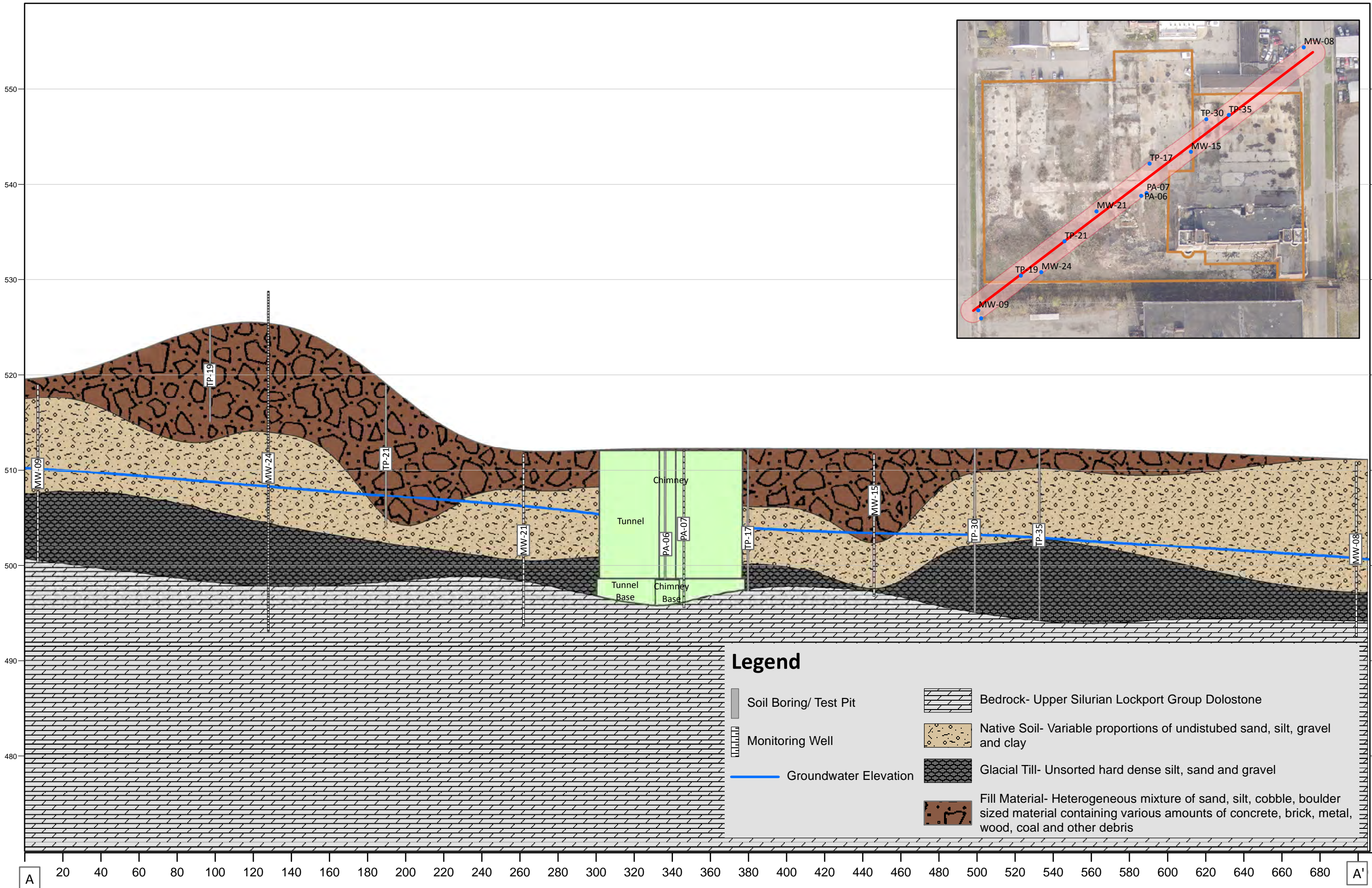
DRAWN/CHECKED: GLA/SMK

DATA SOURCE: PICTOMETRY



FIGURE 7.1
 GEOLOGIC CROSS SECTION TRANSECT LINES
 ORCHARD WHITNEY PREDEVELOPMENT STUDY
 415 ORCHARD STREET/354 WHITNEY STREET
 ROCHESTER, NY





Vertical exaggeration: 5 --- Vertical scale approximately 1 inch = 10 feet --- Horizontal scale approximately 1 inch = 50 feet

Legend

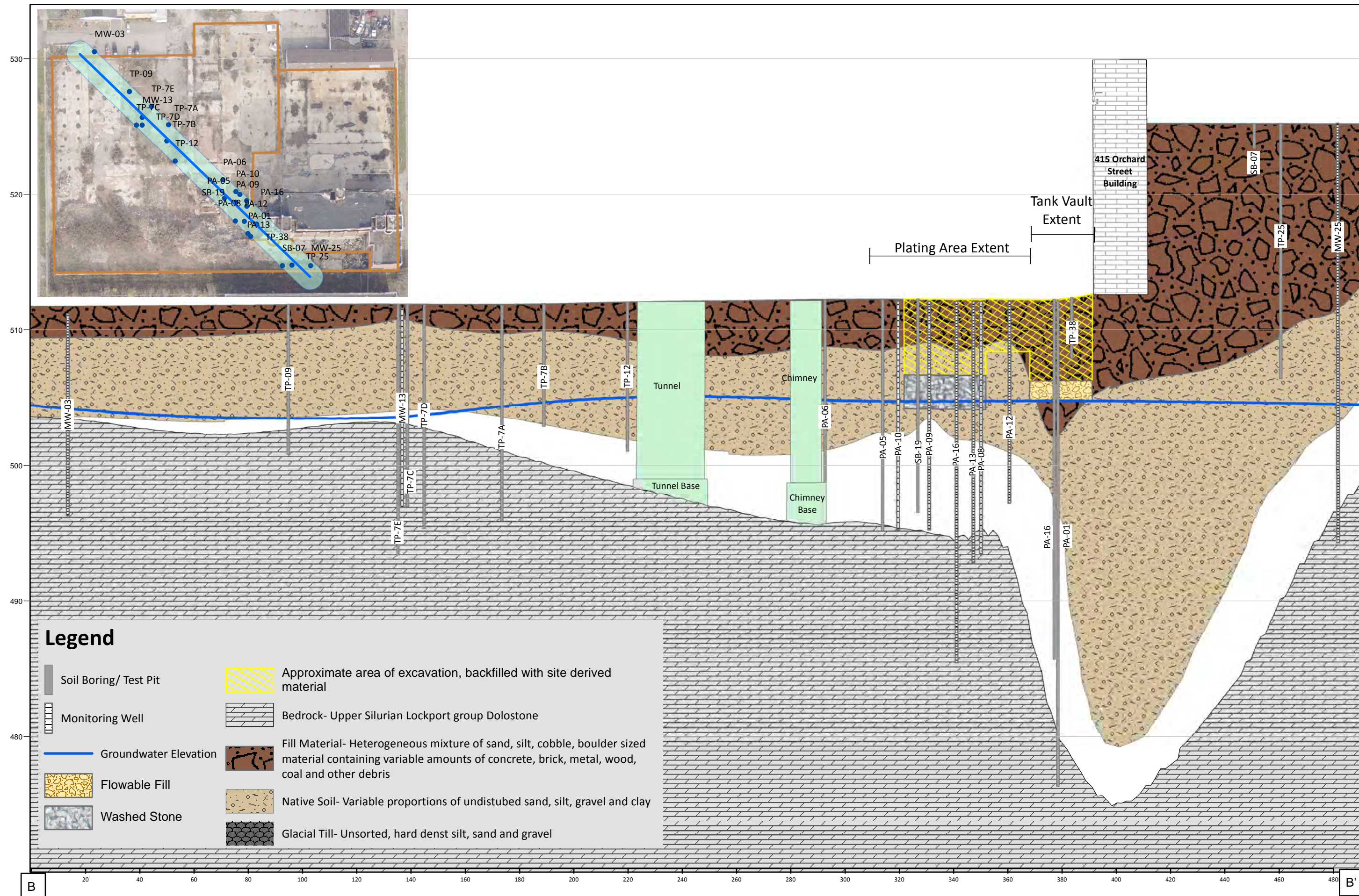
- Soil Boring/ Test Pit
- Monitoring Well
- Groundwater Elevation
- Bedrock- Upper Silurian Lockport Group Dolostone
- Native Soil- Variable proportions of undisturbed sand, silt, gravel and clay
- Glacial Till- Unsorted hard dense silt, sand and gravel
- Fill Material- Heterogeneous mixture of sand, silt, cobble, boulder sized material containing various amounts of concrete, brick, metal, wood, coal and other debris

DATE: SEPTEMBER 2013
 SCALE: as noted
 DRAWN/CHECKED: GLA/SMK
 DATA SOURCE:



FIGURE 7.2
 GEOLOGIC CROSS SECTION A-A'
 ORCHARD WHITNEY PREDEVELOPMENT STUDY
 415 ORCHARD STREET/354 WHITNEY STREET
 ROCHESTER, NY





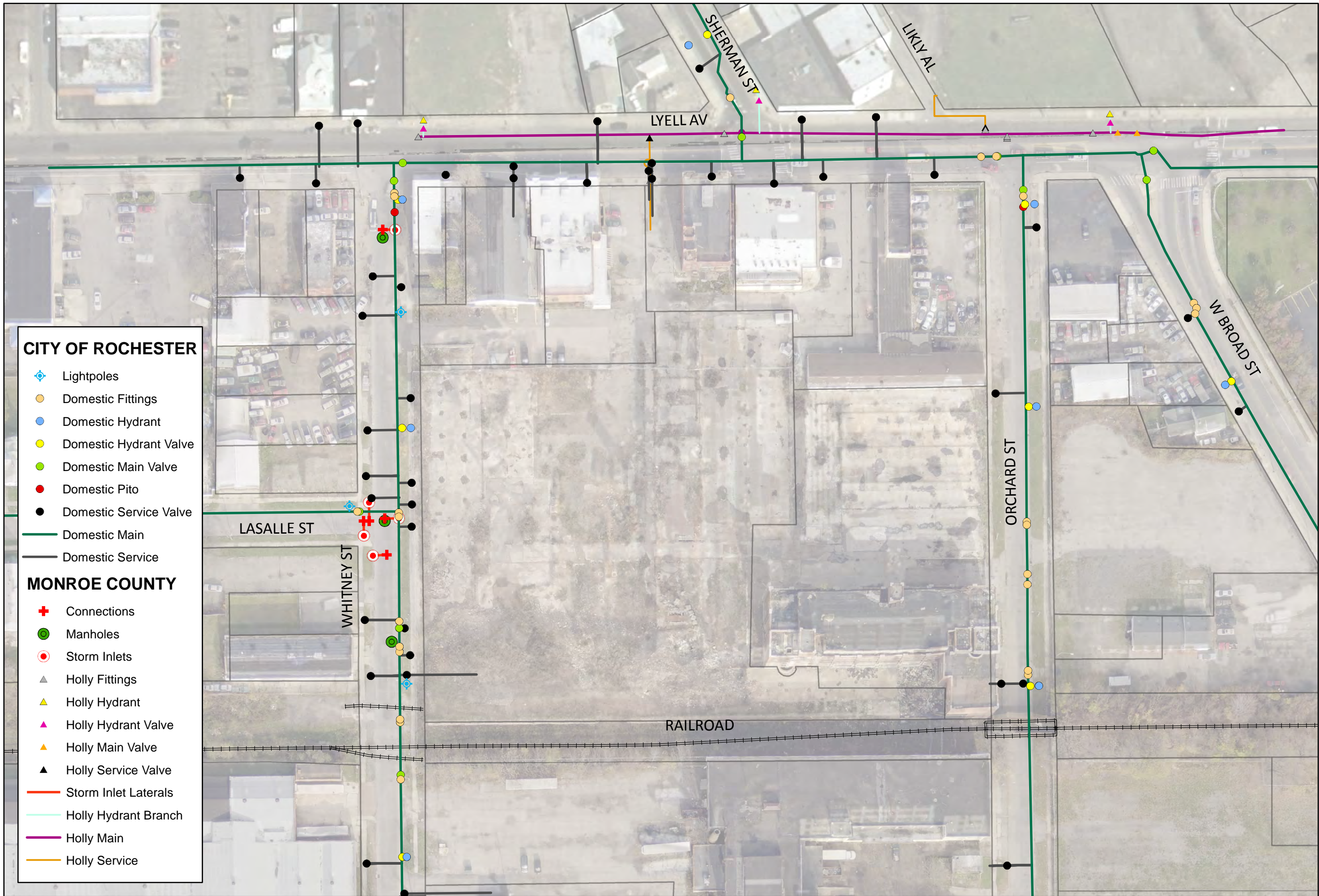
Vertical exaggeration: 5 --- Vertical scale approximately 1 inch = 6 feet --- Horizontal scale approximately 1 inch = 30 feet

DATE: SEPTEMBER 2013
 SCALE: as noted
 DRAWN/CHECKED: GLA/SMK
 DATA SOURCE:



FIGURE 7.3
 GEOLOGIC CROSS SECTION B-B'
 ORCHARD WHITNEY PREDEVELOPMENT STUDY
 415 ORCHARD STREET/354 WHITNEY STREET
 ROCHESTER, NY





CITY OF ROCHESTER

- Lightpoles
- Domestic Fittings
- Domestic Hydrant
- Domestic Hydrant Valve
- Domestic Main Valve
- Domestic Pito
- Domestic Service Valve
- Domestic Main
- Domestic Service

MONROE COUNTY

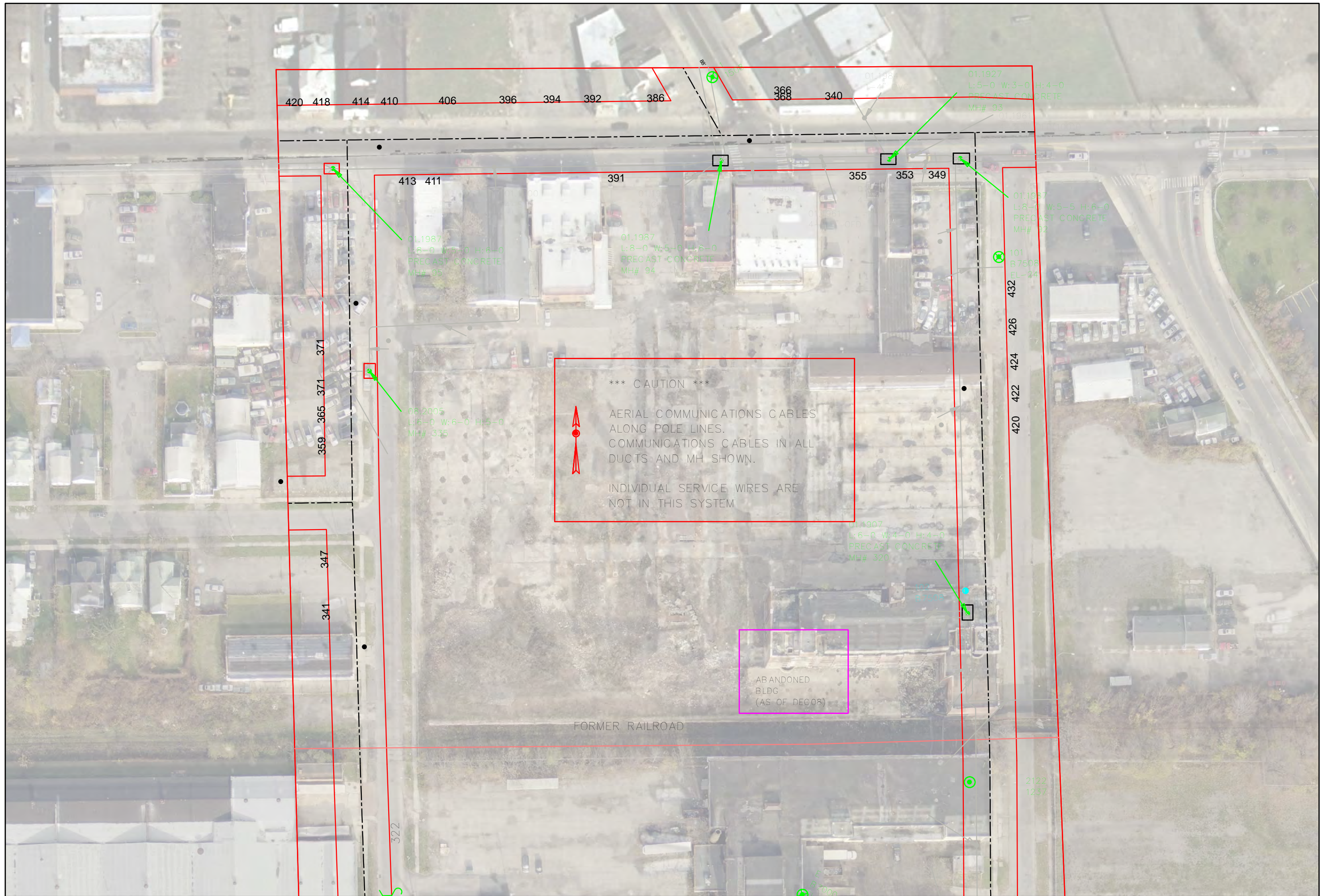
- Connections
- Manholes
- Storm Inlets
- Holly Fittings
- Holly Hydrant
- Holly Hydrant Valve
- Holly Main Valve
- Holly Service Valve
- Storm Inlet Laterals
- Holly Hydrant Branch
- Holly Main
- Holly Service

DATE: SEPTEMBER 2013
 SCALE: 1 inch = 80 Feet
 DRAWN/CHECKED: GLA/SMK
 DATA SOURCE: PICTOMETRY



FIGURE 8
 MONROE COUNTY AND CITY OF ROCHESTER UTILITIES
 ORCHARD WHITNEY PREDEVELOPMENT STUDY
 415 ORCHARD STREET/354 WHITNEY STREET
 ROCHESTER, NY





*** CAUTION ***

AERIAL COMMUNICATIONS CABLES
ALONG POLE LINES.
COMMUNICATIONS CABLES IN ALL
DUCTS AND MH SHOWN.

INDIVIDUAL SERVICE WIRES ARE
NOT IN THIS SYSTEM

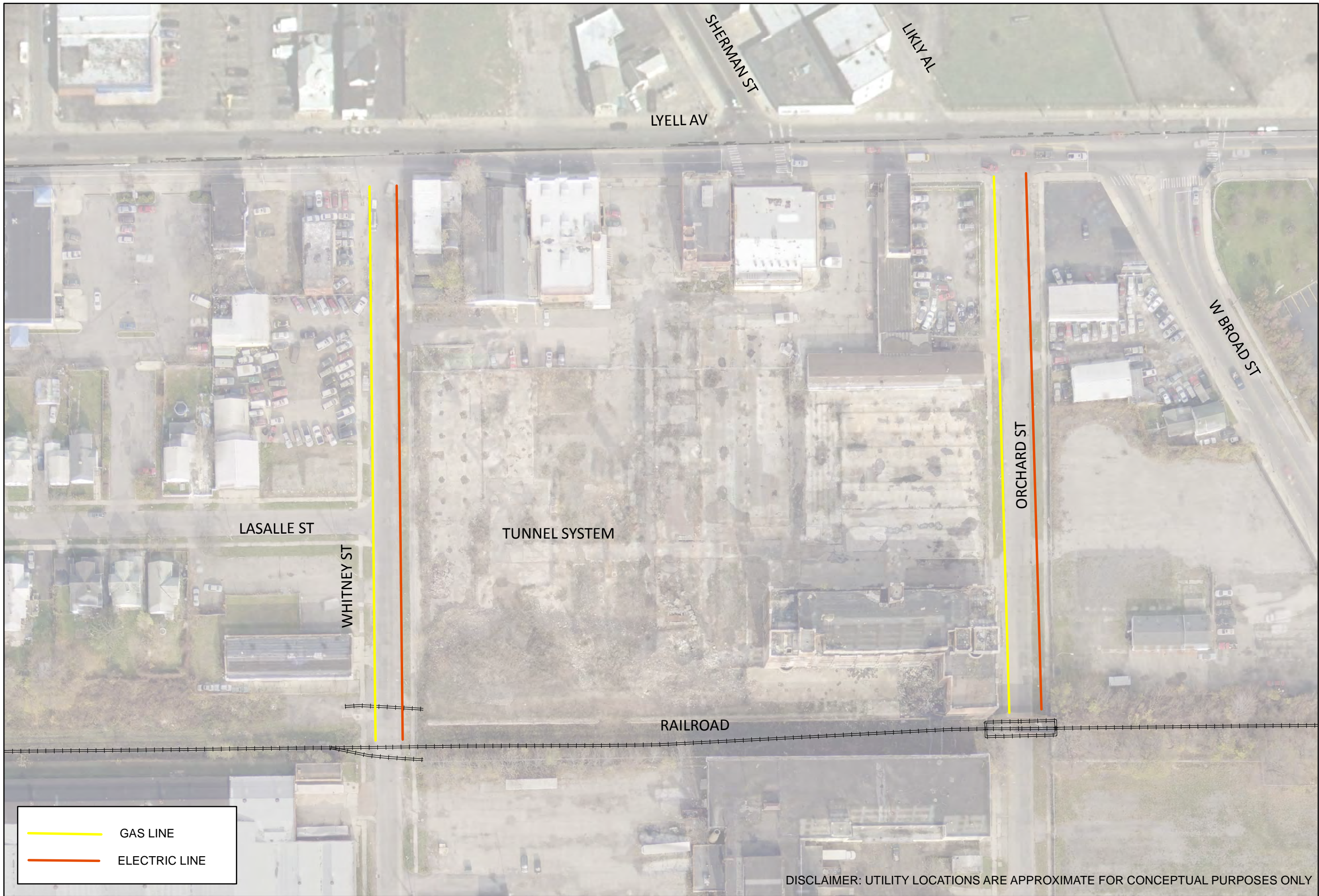
ABANDONED
BLDG
(AS OF DEC08)

DATE: SEPTEMBER 2013
SCALE: 1 Inch = 80 Feet
DRAWN/CHECKED: GLA/SMK
DATA SOURCE:
PICTOMETRY



FIGURE 9
FRONTIER UTILITIES
ORCHARD WHITNEY PREDEVELOPMENT STUDY
415 ORCHARD STREET/354 WHITNEY STREET
ROCHESTER, NY





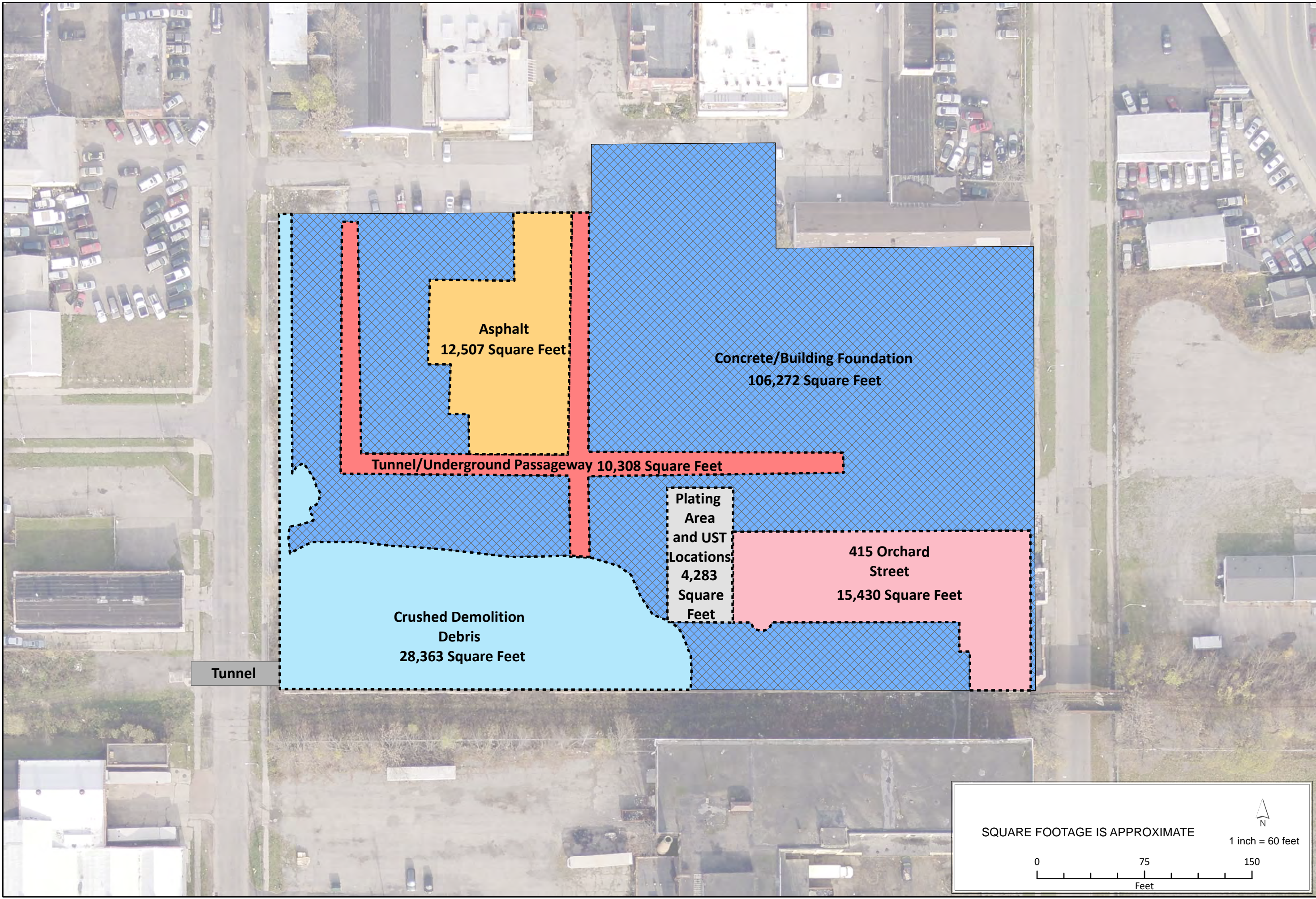
DISCLAIMER: UTILITY LOCATIONS ARE APPROXIMATE FOR CONCEPTUAL PURPOSES ONLY



FIGURE 10
 GAS AND ELECTRIC SERVICE
 ORCHARD WHITNEY PREDEVELOPMENT STUDY
 415 ORCHARD STREET/354 WHITNEY STREET
 ROCHESTER, NY



DATE: SEPTEMBER 2013
 SCALE: 1 Inch = 80 Feet
 DRAWN/CHECKED: GLA/SMK
 DATA SOURCE: PICTOMETRY



Asphalt
12,507 Square Feet

Concrete/Building Foundation
106,272 Square Feet

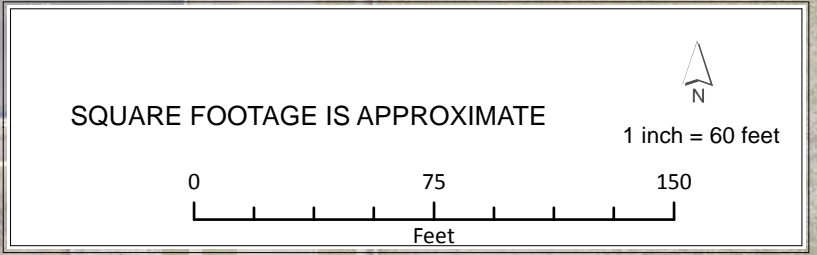
Tunnel/Underground Passageway 10,308 Square Feet

Plating Area and UST Locations
4,283 Square Feet

415 Orchard Street
15,430 Square Feet

Crushed Demolition Debris
28,363 Square Feet

Tunnel



DATE: SEPTEMBER 2013
SCALE: 1 inch = 60 Feet
DRAWN/CHECKED: SMK/GLA
DATA SOURCE: PICTOMETRY



FIGURE 11
SURFACE MATERIAL
ORCHARD WHITNEY PREDEVELOPMENT STUDY
415 ORCHARD STREET/354 WHITNEY STREET
ROCHESTER, NY



Appendix B: Environmental Easement for the Orchard-Whitney Site

**ENVIRONMENTAL EASEMENT GRANTED PURSUANT TO ARTICLE 71, TITLE 36
OF THE NEW YORK STATE ENVIRONMENTAL CONSERVATION LAW**

THIS INDENTURE made this _____ day of _____, 20___, between Owner(s) City of Rochester, having an office at 30 Church Street, Rochester, New York 14614-1290, County of Monroe, State of New York (the "Grantor"), and The People of the State of New York (the "Grantee."), acting through their Commissioner of the Department of Environmental Conservation (the "Commissioner", or "NYSDEC" or "Department" as the context requires) with its headquarters located at 625 Broadway, Albany, New York 12233,

WHEREAS, the Legislature of the State of New York has declared that it is in the public interest to encourage the remediation of abandoned and likely contaminated properties ("sites") that threaten the health and vitality of the communities they burden while at the same time ensuring the protection of public health and the environment; and

WHEREAS, the Legislature of the State of New York has declared that it is in the public interest to establish within the Department a statutory environmental remediation program that includes the use of Environmental Easements as an enforceable means of ensuring the performance of operation, maintenance, and/or monitoring requirements and the restriction of future uses of the land, when an environmental remediation project leaves residual contamination at levels that have been determined to be safe for a specific use, but not all uses, or which includes engineered structures that must be maintained or protected against damage to perform properly and be effective, or which requires groundwater use or soil management restrictions; and

WHEREAS, the Legislature of the State of New York has declared that Environmental Easement shall mean an interest in real property, created under and subject to the provisions of Article 71, Title 36 of the New York State Environmental Conservation Law ("ECL") which contains a use restriction and/or a prohibition on the use of land in a manner inconsistent with engineering controls which are intended to ensure the long term effectiveness of a site remedial program or eliminate potential exposure pathways to hazardous waste or petroleum; and

WHEREAS, Grantor, is the owner of real property located at the address of 354 Whitney Street in the City of Rochester, County of Monroe and State of New York, known and designated on the tax map of the County Clerk of Monroe as tax map parcel numbers: Section 105.66 Block 3 Lot 24, being the same as that property conveyed to Grantor by deed dated August 15, 2006 and recorded in the Monroe County Clerk's Office in Liber and Page 10342/568. The property subject to this Environmental Easement (the "Controlled Property") comprises approximately 2.771 +/- acres, and is hereinafter more fully described in the Land Title Survey dated December 22, 2015 and last revised August 2, 2016 prepared by Daniel J. MacDonald, P.L.S., which will be attached to the Site Management Plan. The Controlled Property description is set forth in and attached hereto as Schedule A, and is identified as Parcel A;

WHEREAS, Grantor, is the owner of real property located at the address of 415 Orchard Street in the City of Rochester, County of Monroe and State of New York, known and designated on the tax map of the County Clerk of Monroe as tax map parcel numbers: Section 105.66 Block

3 Lot 23, being the same as that property conveyed to Grantor by deed dated December 29, 2008 and recorded in the Monroe County Clerk's Office in Liber and Page 10705/335. The property subject to this Environmental Easement (the "Controlled Property") comprises approximately 1.302 +/- acres, and is hereinafter more fully described in the Land Title Survey dated December 22, 2015 and last revised August 2, 2016 prepared by Daniel J. MacDonald, P.L.S., which will be attached to the Site Management Plan. The Controlled Property description is set forth in and attached hereto as Schedule A, and is identified as Parcel B; and

WHEREAS, the Department accepts this Environmental Easement in order to ensure the protection of public health and the environment and to achieve the requirements for remediation established for the Controlled Property until such time as this Environmental Easement is extinguished pursuant to ECL Article 71, Title 36; and

NOW THEREFORE, in consideration of the mutual covenants contained herein and the terms and conditions of State Assistance Contract Number: C303000, Grantor conveys to Grantee a permanent Environmental Easement pursuant to ECL Article 71, Title 36 in, on, over, under, and upon the Controlled Property as more fully described herein ("Environmental Easement").

1. Purposes. Grantor and Grantee acknowledge that the Purposes of this Environmental Easement are: to convey to Grantee real property rights and interests that will run with the land in perpetuity in order to provide an effective and enforceable means of encouraging the reuse and redevelopment of this Controlled Property at a level that has been determined to be safe for a specific use while ensuring the performance of operation, maintenance, and/or monitoring requirements; and to ensure the restriction of future uses of the land that are inconsistent with the above-stated purpose.

2. Institutional and Engineering Controls. The controls and requirements listed in the Department approved Site Management Plan ("SMP") including any and all Department approved amendments to the SMP are incorporated into and made part of this Environmental Easement. These controls and requirements apply to the use of the Controlled Property, run with the land, are binding on the Grantor and the Grantor's successors and assigns, and are enforceable in law or equity against any owner of the Controlled Property, any lessees and any person using the Controlled Property.

A. (1) The Controlled Property may be used for:

Commercial as described in 6 NYCRR Part 375-1.8(g)(2)(iii) and Industrial as described in 6 NYCRR Part 375-1.8(g)(2)(iv)

(2) All Engineering Controls must be operated and maintained as specified in the Site Management Plan (SMP);

(3) All Engineering Controls must be inspected at a frequency and in a manner defined in the SMP;

(4) The use of groundwater underlying the property is prohibited without necessary water quality treatment as determined by the NYSDOH or the Monroe County Department of Health to render it safe for use as drinking water or for industrial purposes, and

the user must first notify and obtain written approval to do so from the Department;

(5) Groundwater and other environmental or public health monitoring must be performed as defined in the SMP;

(6) Data and information pertinent to Site Management of the Controlled Property must be reported at the frequency and in a manner defined in the SMP;

(7) All future activities on the property that will disturb remaining contaminated material must be conducted in accordance with the SMP;

(8) Monitoring to assess the performance and effectiveness of the remedy must be performed as defined in the SMP;

(9) Operation, maintenance, monitoring, inspection, and reporting of any mechanical or physical components of the remedy shall be performed as defined in the SMP;

(10) Access to the site must be provided to agents, employees or other representatives of the State of New York with reasonable prior notice to the property owner to assure compliance with the restrictions identified by this Environmental Easement.

B. The Controlled Property shall not be used for Residential or Restricted Residential purposes as defined in 6NYCRR 375-1.8(g)(2)(i) and (ii), and the above-stated engineering controls may not be discontinued without an amendment or extinguishment of this Environmental Easement.

C. The SMP describes obligations that the Grantor assumes on behalf of Grantor, its successors and assigns. The Grantor's assumption of the obligations contained in the SMP which may include sampling, monitoring, and/or operating a treatment system, and providing certified reports to the NYSDEC, is and remains a fundamental element of the Department's determination that the Controlled Property is safe for a specific use, but not all uses. The SMP may be modified in accordance with the Department's statutory and regulatory authority. The Grantor and all successors and assigns, assume the burden of complying with the SMP and obtaining an up-to-date version of the SMP from:

Site Control Section
Division of Environmental Remediation
NYSDEC
625 Broadway
Albany, New York 12233
Phone: (518) 402-9553

D. Grantor must provide all persons who acquire any interest in the Controlled Property a true and complete copy of the SMP that the Department approves for the Controlled Property and all Department-approved amendments to that SMP.

E. Grantor covenants and agrees that until such time as the Environmental Easement is extinguished in accordance with the requirements of ECL Article 71, Title 36 of the ECL, the

property deed and all subsequent instruments of conveyance relating to the Controlled Property shall state in at least fifteen-point bold-faced type:

This property is subject to an Environmental Easement held by the New York State Department of Environmental Conservation pursuant to Title 36 of Article 71 of the Environmental Conservation Law.

F. Grantor covenants and agrees that this Environmental Easement shall be incorporated in full or by reference in any leases, licenses, or other instruments granting a right to use the Controlled Property.

G. Grantor covenants and agrees that it shall, at such time as NYSDEC may require, submit to NYSDEC a written statement by an expert the NYSDEC may find acceptable certifying under penalty of perjury, in such form and manner as the Department may require, that:

(1) the inspection of the site to confirm the effectiveness of the institutional and engineering controls required by the remedial program was performed under the direction of the individual set forth at 6 NYCRR Part 375-1.8(h)(3).

(2) the institutional controls and/or engineering controls employed at such site:
(i) are in-place;
(ii) are unchanged from the previous certification, or that any identified changes to the controls employed were approved by the NYSDEC and that all controls are in the Department-approved format; and

(iii) that nothing has occurred that would impair the ability of such control to protect the public health and environment;

(3) the owner will continue to allow access to such real property to evaluate the continued maintenance of such controls;

(4) nothing has occurred that would constitute a violation or failure to comply with any site management plan for such controls;

(5) the report and all attachments were prepared under the direction of, and reviewed by, the party making the certification;

(6) to the best of his/her knowledge and belief, the work and conclusions described in this certification are in accordance with the requirements of the site remedial program, and generally accepted engineering practices; and

(7) the information presented is accurate and complete.

3. Right to Enter and Inspect. Grantee, its agents, employees, or other representatives of the State may enter and inspect the Controlled Property in a reasonable manner and at reasonable times to assure compliance with the above-stated restrictions.

4. Reserved Grantor's Rights. Grantor reserves for itself, its assigns, representatives, and successors in interest with respect to the Property, all rights as fee owner of the Property, including:

Division of Environmental Remediation
NYSDEC
625 Broadway
Albany, NY 12233

All notices and correspondence shall be delivered by hand, by registered mail or by Certified mail and return receipt requested. The Parties may provide for other means of receiving and communicating notices and responses to requests for approval.

7. Recordation. Grantor shall record this instrument, within thirty (30) days of execution of this instrument by the Commissioner or her/his authorized representative in the office of the recording officer for the county or counties where the Property is situated in the manner prescribed by Article 9 of the Real Property Law.

8. Amendment. Any amendment to this Environmental Easement may only be executed by the Commissioner of the New York State Department of Environmental Conservation or the Commissioner's Designee, and filed with the office of the recording officer for the county or counties where the Property is situated in the manner prescribed by Article 9 of the Real Property Law.

9. Extinguishment. This Environmental Easement may be extinguished only by a release by the Commissioner of the New York State Department of Environmental Conservation, or the Commissioner's Designee, and filed with the office of the recording officer for the county or counties where the Property is situated in the manner prescribed by Article 9 of the Real Property Law.

10. Joint Obligation. If there are two or more parties identified as Grantor herein, the obligations imposed by this instrument upon them shall be joint and several.

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SCHEDULE "A" PROPERTY DESCRIPTION

PARCEL A (354 WHITNEY STREET)

ALL THAT TRACT OR PARCEL OF LAND SITUATE IN THE CITY OF ROCHESTER, COUNTY OF MONROE, STATE OF NEW YORK, BEING PART OF TOWN LOT 62, 20,000 ACRE TRACT, TOWNSHIP 1, SHORT RANGE, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN IRON PIN IN THE EASTERLY LINE OF WHITNEY STREET WHICH IRON PIN IS LOCATED 499.44 FEET SOUTH OF THE INTERSECTION OF THE EASTERLY LINE OF WHITNEY STREET WITH THE SOUTH LINE OF LYELL AVENUE; THENCE

- 1) NORTHERLY ALONG THE EASTERLY LINE OF EASTERLY LINE OF WHITNEY STREET A DISTANCE OF 332.28 FEET TO A POINT; THENCE
- 2) EASTERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 89°55'44" A DISTANCE OF 218.98 FEET TO A POINT; THENCE
- 3) NORTHERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 270°04'00" A DISTANCE OF 48.43 FEET TO A POINT; THENCE
- 4) EASTERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 90°01'10" A DISTANCE OF 128.51 FEET TO A POINT; THENCE
- 5) SOUTHERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 90°00'00" A DISTANCE OF 200.20 FEET TO A POINT; THENCE
- 6) WESTERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 90°00'20" A DISTANCE OF 40.20 FEET TO A POINT; THENCE
- 7) SOUTHERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 270°00'40" A DISTANCE 132.45 FEET TO A POINT; THENCE
- 8) EASTERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 269°57'00" A DISTANCE OF 26.08 FEET TO A POINT; THENCE
- 9) SOUTHEASTERLY ON A CURVE TO THE LEFT, HAVING A RADIUS OF 7.44 FEET, A DISTANCE OF 18.46 FEET TO A POINT, SAID POINT BEING 14 FEET FROM THE END OF COURSE #8 EXTENDED; THENCE
- 10) EASTERLY ON THE LINE OF COURSE #8 EXTENDED, A DISTANCE OF 20.43 FEET TO A POINT; THENCE
- 11) SOUTHERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 90°00'00" A DISTANCE OF 20.58 FEET TO A POINT; THENCE
- 12) EASTERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 270°00'00" A DISTANCE OF 118.06 FEET TO A POINT; THENCE
- 13) SOUTHERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 89°43'50" A DISTANCE OF 28.18 FEET TO A POINT; THENCE
- 14) WESTERLY AND MAKING AN INTERIOR ANGLE WITH THE LAST DESCRIBED COURSE OF 90°10'10" A DISTANCE OF 485.84 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING AN AREA OF APPROXIMATELY 120,697 SQUARE FEET OR 2.771 ACRES MORE OR LESS.

PARCEL B (415 ORCHARD STREET)

ALL THAT TRACT OR PARCEL OF LAND SITUATE IN THE CITY OF ROCHESTER, COUNTY OF MONROE, STATE OF NEW YORK, BEING PART OF TOWN LOT 62, 20,000 ACRE TRACT, TOWNSHIP 1, SHORT RANGE, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WEST LINE OF ORCHARD STREET 192.42 FEET DISTANT SOUTH OF THE INTERSECTION OF THE INTERSECTION OF LYELL AVENUE WITH THE WEST LINE OF ORCHARD STREET; RUNNING THENCE THE FOLLOWING BEARINGS AND DISTANCES: THENCE

- 1) SOUTH ALONG THE WEST LINE OF ORCHARD STREET A DISTANCE OF 308.22 FEET TO ITS INTERSECTION WITH THE NORTH LINE OF LANDS NOW OR FORMERLY OF THE NEW YORK CENTRAL RAILROAD; THENCE
- 2) WEST AT AN INTERIOR ANGLE WITH COURSE No. 1 OF 89°53'50" AND ALONG THE NORTH LINE OF SAID NEW YORK CENTRAL RAILROAD LANDS A DISTANCE OF 42.49 FEET TO A POINT; THENCE
- 3) NORTH AT AN INTERIOR ANGLE WITH COURSE No. 2 OF 89°49'35" A DISTANCE OF 28.18 FEET; THENCE
- 4) WEST AT AN INTERIOR ANGLE WITH COURSE No. 3 OF 270°16'10" A DISTANCE OF 118.06 FEET; THENCE
- 5) NORTH AT AN INTERIOR ANGLE WITH COURSE No. 4 OF 90°00'00" A DISTANCE OF 20.58 FEET; THENCE
- 6) WEST AT AN INTERIOR ANGLE WITH COURSE No. 5 OF 270°00'00" A DISTANCE OF 20.43 FEET; THENCE
- 7) NORTHWESTERLY ON A CURVE TO THE RIGHT, A DISTANCE OF 18.23 FEET ON A CURVE HAVING A RADIUS OF 7.44 FEET; THENCE
- 8) WEST AND A CONTINUATION OF COURSE No. 6 A DISTANCE OF 26.08 FEET; THENCE
- 9) NORTH AT AN INTERIOR ANGLE WITH COURSE No. 8 OF 90°03'00" A DISTANCE OF 132.45 FEET; THENCE
- 10) EAST AT AN INTERIOR ANGLE WITH COURSE No. 9 OF 89°59'20" A DISTANCE OF 40.20; THENCE
- 11) NORTH AT AN INTERIOR ANGLE WITH COURSE No. 10 OF 269°59'40" A DISTANCE OF 126.20 FEET; THENCE
- 12) EAST AT AN INTERIOR ANGLE WITH COURSE No. 11 OF 90°11'30" A DISTANCE OF 180.86 FEET TO THE PLACE OF THE BEGINNING. THE LAST COURSE MAKING AN INTERIOR ANGLE WITH THE FIRST COURSE OF 89°46'51" TO THE POINT OR PLACE OF BEGINNING.

CONTAINING AN AREA OF APPROXIMATELY 56,702 SQUARE FEET OR 1.302 ACRES MORE OR LESS.

Appendix C: Geotechnical Report for the Orchard-Whitney Site

ORCHARD-WHITNEY PROPERTY

Geotechnical Testing Summary Report

City of Rochester
Monroe County, New York

Prepared for:

City of Rochester



Prepared by:

Barton & Loguidice, D.P.C.



October 2016



ORCHARD-WHITNEY PROPERTY
CONSTRAINTS ANALYSIS

<u>SECTION</u>		<u>PAGE</u>
1.0	Introduction and Background	1
2.0	Initial Findings	2
3.0	Additional Investigation Results.....	3
4.0	Opportunities and Constraints.....	5

APPENDICES:

Appendix A	Geophysical Investigation
Appendix B	Concrete Core Report
Appendix C	Site Photographic Documentation
Appendix D	Supporting Documentation



1.0 INTRODUCTION & BACKGROUND

The City of Rochester has identified the marketing and development of prime industrial and commercial opportunities as a priority in the larger economic development strategy for the LYLAKS Brownfield Opportunity Area (BOA). Specifically, the development of a vacant portion of land on the former Delco Appliance Division of General Motors site in the City has become a high priority due to its central location in the JOSANA neighborhood and its proximity to downtown Rochester.

The Site is a 3.9-acre site located at 415 Orchard Street and 354 Whitney Street in the City of Rochester. The Site includes mixed commercial and industrial uses. A seven-story structure was the last remaining building to be demolished at 415 Orchard Street. Structures previously occupying 354 Whitney Street were demolished due to the unsafe condition of the buildings.

Currently, the Site is a fenced vacant lot primarily covered with concrete slabs and building demolition debris. A large berm comprised of brick, concrete, and other demolition debris is located on the southern and western edge of the Site adjacent to the existing railbed to the south. The Site is bordered by Orchard Street to the east, a former railroad right-of-way to the south (currently planned as the JOSANA Rail Trail), Whitney Street to the west, and commercial buildings to the north.

B&L's geotechnical investigation of the Orchard-Whitney site was conducted using a two-part process. The initial evaluation of existing plans, reports, and environmental records outlined a series of unknowns that were still present at the site. A further site investigation provided clarification as to the design parameters for future development. The objective of this document is to clearly summarize findings associated with the evaluation of the geotechnical constraints for prospective purchasers whom are interested in developing the site for industrial, commercial, or secondary purposes.



2.0 INITIAL FINDINGS

The Orchard-Whitney site consists generally of a fill layer and native soil layer overlaying rock. Through most of the site the rock is between 8 and 16 feet below the surface. The fill and native material is generally poorly consolidated and can resist low to moderate loadings (2500-3500 psf). The rock is competent bedrock that can accommodate a bearing pressure of 24 ksf. The site has numerous foundations and tunnels still in place from previous development at the site. These foundations have the potential to present a significant constraint to future development. After the initial review of record information, the configuration and condition of these foundations was unknown. As such, it was determined that further investigating the foundations was warranted in order to provide additional information to potential developers in an effort to remove some of the uncertainties that currently exist.

The foundations consist of slab foundations presumably on piles to rock. The foundations consist of the first floor slabs after the remaining floors of the buildings have been demolished. A portion of the debris from the building demolitions is spread over the entire site with a large stock pile along the southern border of the site. Without further investigation, the existing capacity of the foundations cannot be determined. Given that the existing foundations cover a majority of the site, a further investigation was pursued by the City.



3.0 ADDITIONAL INVESTIGATION RESULTS

In order to reduce the uncertainties at the site, additional invasive investigation was performed. There were two elements that required further investigation; the building foundations, and the tunnels. The approach to each element is described below.

Building Foundations

B&L utilized a three pronged approach to obtain as much information as possible regarding the foundations.

- i. The first task was to core the concrete of the slabs at each foundation and perform compression tests on the samples. This provided the relative concrete strength of the floor slabs.
- ii. The second task was to utilize Ground Penetrating Radar (GPR) on representative samples of the slab to determine reinforcement layout and slab thickness.
- iii. The final component was to remove 2 foot by 2 foot test panels of the slab. The GPR can determine the reinforcement spacing, but cannot accurately determine the size of the rebar. The test panels allowed us to verify concrete thickness, reinforcement size, and reinforcement spacing.

Tunnels

B&L performed exploratory digs to determine the location of the tunnels. As part of these digs, GPR was performed at two locations to determine slab thickness and reinforcement spacing.

The results of the testing allowed better definition of the capacity of the existing foundations. The capacity of the existing foundations is as follows:

Building Foundations

4"-10" thick

Rebar: minimal or none at all

f'c: 2300psi minimum

Allowable Load: 0 psf to 250 psf

Tunnels

Slab: 6" thick minimum

Rebar: Unknown dia. With 1.5" cover and 6" spacing. Assume #6 bar (Assume $f_y = 36\text{ksi}$)

f'c: 2300psi (Untested location, assume minimum strength of tested samples)

Allowable Load: 330psf or 23.1kip point load



The surface of all of the slabs is weathered and distressed. A new concrete slab is recommended in all locations as part of development. The new concrete slab would consist of a 6" thick slab with a single reinforcement mat (#6 @ 12" in each direction) to allow all of the foundations to be utilized for proposed heavy manufacturing use equivalent to 250 psf. The tunnels can support an H-15 wheel load, but would require additional reinforcement to handle tractor trailer traffic. Proposed buildings can be built over the tunnels by utilizing an 8" thick slab with reinforcement. Piles would be placed either side of the tunnel, where necessary to carry the proposed load to bedrock.





4.0 OPPORTUNITIES AND CONSTRAINTS

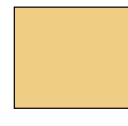
The Orchard-Whitney property has been evaluated to determine the geotechnical opportunities and constraints. The City of Rochester has performed additional investigation to clarify the subsurface conditions to better provide the constraints for a proposed development. The existing slabs can be reused, but would require a new 6" thick slab to be placed over them to add capacity as well as provide the desired finished surface. In areas where no slab exists, piles will be driven to rock and a new 8" thick slab poured. The existing tunnels on the site can facilitate moderate traffic without reinforcement and can be bridged over with building slabs to maximize use of the site. All of this can be performed at comparable costs as developing the foundation on a previously undeveloped site. There is one location on the site along the south property line where there are unknown subsurface conditions as well as contaminated materials present. This portion of the site should be avoided.

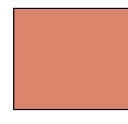
The attached figure shows the location of the existing tunnels and slabs.


DEVELOPABLE:
Approximately 3.55 Acres

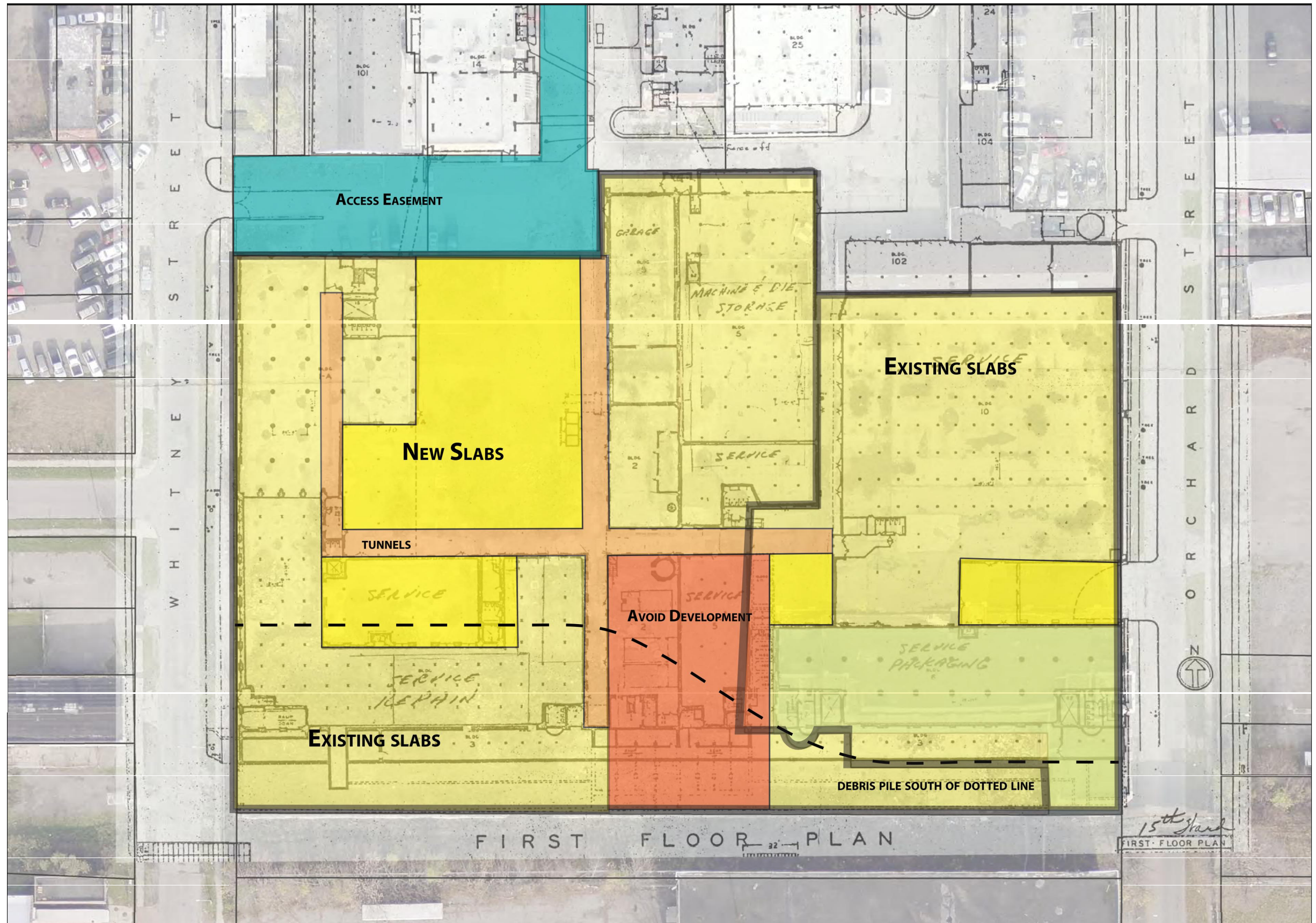
 **Existing slabs** require 6" +/- slab
Note: Existing first floor slabs shown in drawing are present at the site.

 **New slabs** require 8" +/- slab with short piles to rock

 **Tunnels**
Can accommodate H15 axle loading
Buildings require 8" +/- slab to span tunnels

 **Avoid Development**
Approximately .35 acres
Unknown subsurface conditions with contaminated materials

 **Access Easement**
Permanent Easement from Whitney Street



ORCHARD WHITNEY SITE REDEVELOPMENT
City of Rochester • Monroe County • New York

FIGURE •
April 2016



Appendix A

Geophysical Investigation

**415 ORCHARD STREET
ROCHESTER, NEW YORK**

GEOPHYSICAL INVESTIGATION

Prepared for:

Barton & Loguidice, DPC
443 Electronics Pkwy,
Liverpool, NY 13088

Prepared by:

Spectra Subsurface Imaging Group, LLC
19 British American Boulevard
Latham, New York 12110

August, 2016

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1.0	INTRODUCTION.....	1
2.0	GEOPHYSICAL SURVEY PROCEDURE	2
2.1	GEOPHYSICAL INVESTIGATION INSTRUMENTATION	2
2.2	DATA COLLECTION METHODOLOGY	4
3.0	DATA INTERPRETATION.....	4
3.1	GENERAL DISCUSSION	4
4.0	CONCLUSIONS	5

FIGURES

FIGURE 1	DATA COLLECTION – POINT TARGET (IN TEXT)
FIGURE 2	DATA COLLECTION – LAYERED SYSTEM (IN TEXT)
FIGURE 3	GPR INVESTIGATION AREAS

1.0 INTRODUCTION

At the request of Barton & Loguidice, DPC, Spectra Subsurface Imaging Group, LLC (SPECTRA) performed a geophysical investigation on August 9, 2016 at 415 Orchard Street, New York. The purpose of this survey was to non-intrusively investigate several floor slabs for reinforcement and slab thickness. Six representative areas were chosen for investigation by a Barton & Loguidice representative. Five of the investigation areas were 10 ft. x 10 ft. and one of the areas was 6 ft. x 8 ft.

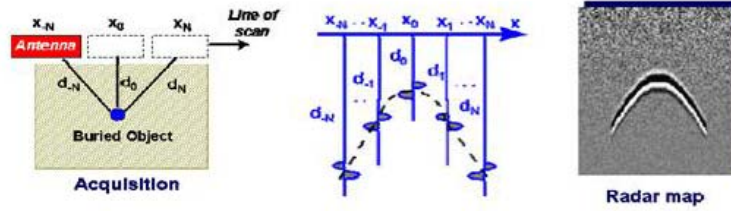
2.0 GEOPHYSICAL SURVEY PROCEDURE

2.1 GEOPHYSICAL INVESTIGATION INSTRUMENTATION

To investigate the areas, SPECTRA used 1600 MHz and 400 MHz, single channel ground penetrating radar (GPR) antennae. These GPR antennae produce two dimensional (length and depth) cross sections. Maximum depth penetration of the 400 MHz antenna is approximately 8 feet depending on subsurface conditions. Maximum penetration depth of the 1600 MHz antenna is approximately 1.0 to 1.5 feet depending on subsurface conditions.

GPR utilizes high frequency electromagnetic waves that are directed into the ground by a transmitting antenna. Radar reflections are produced in the subsurface at material boundaries that have differing electrical properties. These subsurface reflections return back to the surface and are detected by a receiving antenna. Figure 1 illustrates a schematic radar signature that is commonly observed in recorded profiles and illustrates the reflection response that is characteristic of a small subsurface object such as a round reinforcement bar. Since the subsurface object in this example has a curved surface, radar reflections will be received from the top of the object and from both sides as the antenna passes over the feature. As a result, the radar signature is parabolic in nature and is commonly referred to as a ‘diffraction hyperbola’. Figure 2 shows the reflection response typical of a layered system. Generally horizontal features such as a flat structure may produce a radar response similar to Figure 2. This is the expected type of response that would represent the subsurface interface at the base of a concrete slab.

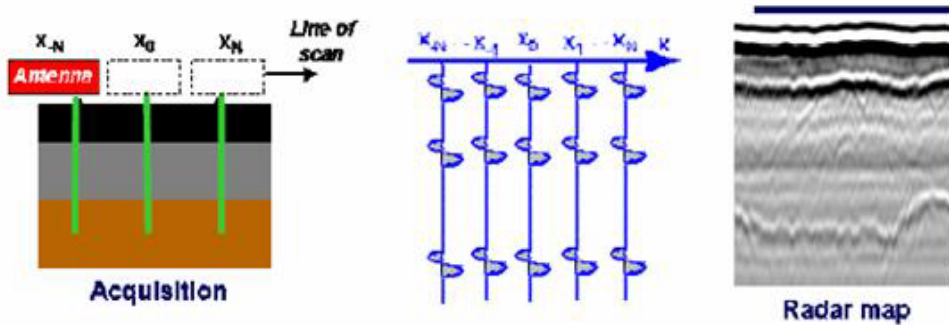
Figure 1 – Data Collection – Point Target



The transmitter generates a radar wave. Reflected energy is captured by a receiving antenna. Data captured by the receiver is processed into images and the output is displayed on a computer monitor.

Figure 1 illustrates how a point target creates a diffraction hyperbola. Because the radar signal is emitted in a cone shape, the antenna unit begins to detect the subsurface object before it is directly beneath the antenna and continues to detect the object after it has passed. The oblique segments travel a longer path compared to those from directly over the target, and thus the object appears deeper, forming the “legs” of the hyperbola.

Figure 2 – Data Collection – Layered System



- The reflection of radar waves occurs at layers due to the change in material and electrical properties.
- Position and depth information is determined by the distance traveled along the line of scan and the travel time of the reflection.

2.2 DATA COLLECTION METHODOLOGY

All geophysical investigation data were collected on August 9, 2016 in areas designated by B&L representatives in Rochester, New York. B&L personnel identified the areas of interest. GPR data were collected in an approximately 10 ft. x 10 ft grids. The six areas were unevenly spaced around the property and their general locations are shown in Figure 3. A reference point was marked in the northeast corner of each grid in the field using a pink dot with a circle and an 'x'. Six GPR transects were collected with the 1600 MHz antenna in each area. These transects were established in a perpendicular grid, three in each direction. In addition, two perpendicular transects were also collected with the 400 MHz antenna in each area. The GPR data was recorded in the field for later processing and interpretation in the office.

3.0 DATA INTERPRETATION

3.1 GENERAL DISCUSSION

Radar signatures from the GPR survey transects were reviewed for reflections that could indicate the location of potential reinforcement and slab thickness. Prior to interpretation, the GPR data were processed using RADAN (a commercially available program developed by Geophysical Survey Systems, Inc.). Data processing steps included enhancing the radar signature of the targets by adjusting the signal amplitude and removing background noise. Since the radar reflections are recorded by their travel time into and back from the subsurface, depths were estimated based upon derived electrical properties (dielectric constant) of the subsurface. The dielectric constants used for this survey were determined using the "migration" processing procedure. The data from the 1600 MHz antenna was excellent. Data quality was generally good with the 400 MHz antenna, although dense reinforcement in some areas reduced signal quality.

Analysis of GPR data revealed a variety of subsurface conditions in each representative location. An overview of the investigation locations can be seen in Figure 3. Information regarding slab thickness, characteristics of reinforcement, and other useful information in each area is compiled in Table 1.

Table 1: Results of GPR investigation.

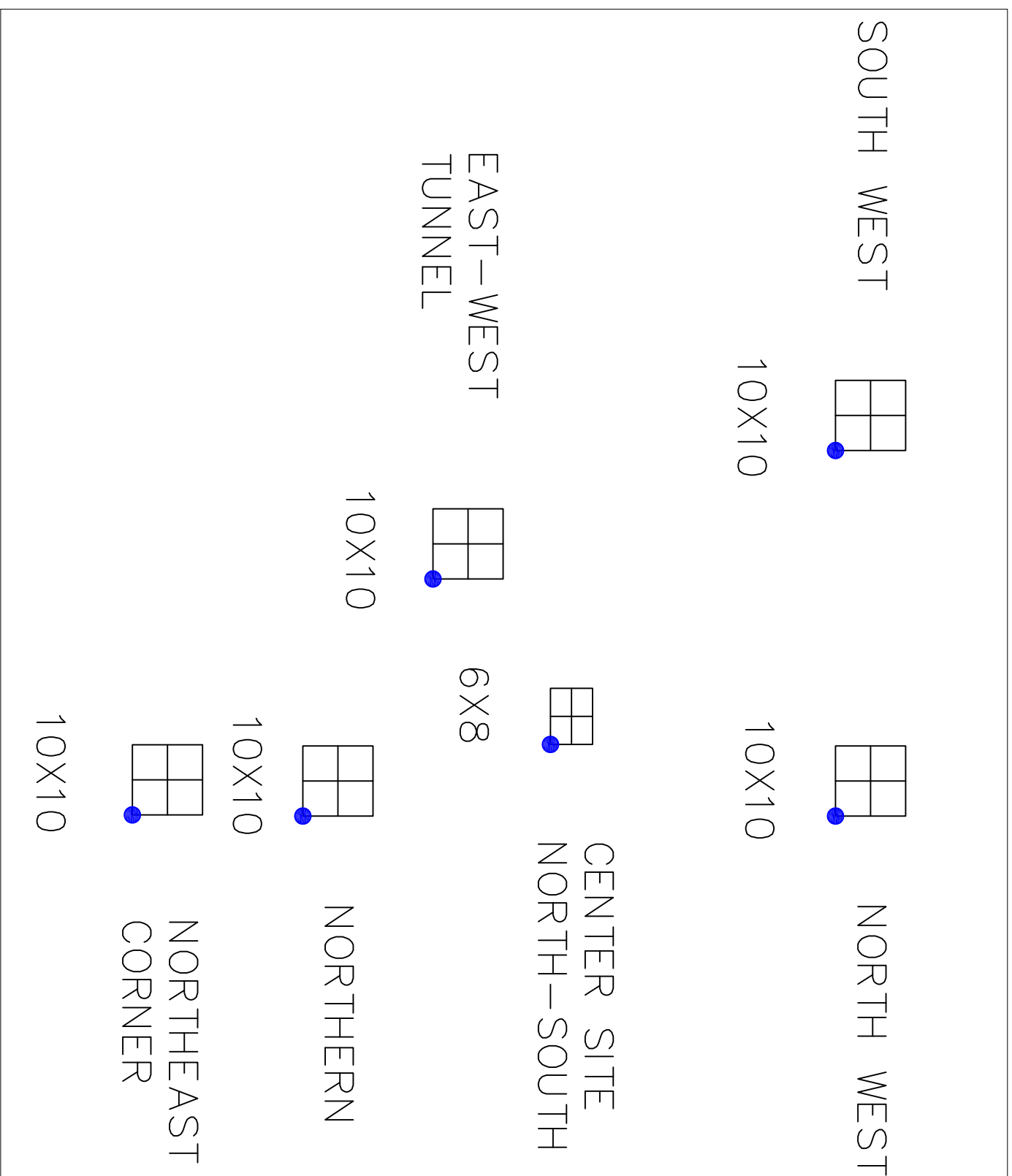
Investigation area	Slab Thickness			Reinforcement	Notes
	Range	Typical	Interpretation Confidence		
NE Corner	0.35 ft. - 0.5 ft.	0.4 ft.	High	No Rebar	Possible Basement - Well defined Slab bottom
Northern	0.7 ft. - 0.85 ft.	0.8 ft.	Medium	Heavily Reinforced	3 layers of perpendicular rebar at depths 0.2 ft, 0.4 ft, and 0.65 ft. Spacing 0.5 ft.
E-W Tunnel	0.6 ft. - 0.7 ft.	0.6 ft.	Low	One Perpendicular Rebar Layer	1 layer of rebar at depths 0.3 ft. - 0.5 ft. Spacing 0.5 ft.
Center Site N-S	----	1.8 ft.	Medium	One Perpendicular Rebar layer	1 layer of perpendicular rebar at depths 0.1 ft. - 0.25 ft. with Spacing of 0.4 ft.; and depth 0.25 ft. with Spacing of 1.0 ft.
NW	0.5 ft. - 0.6 ft.	0.5 ft.	High	No Rebar	Well defined floor slab
SW	North side: 0.5 ft. - 0.6 ft. South Side: 0.7 ft. - 1.0 ft.	----	Low	No Rebar	Inside of slab looks irregular - may be fractured or in poor condition towards the base

4.0 CONCLUSIONS

SPECTRA performed a geophysical survey at 415 Orchard Street in Rochester, New York on August 9, 2016. The primary purpose of the survey was to investigate the physical characteristics of several foundation slabs. GPR data quality was generally good to excellent. Reinforcement characteristics and slab thickness were determined in each location.

SPECTRA performed this survey with standard geophysical equipment (approved by the FCC) and trained professionals. However, these techniques are non-intrusive and may not fully detect all subsurface features depending upon site-specific conditions.

FIGURES



NOTES:

1. GPR IS A NON-INVASIVE INVESTIGATION TECHNIQUE THAT MAY NOT FULLY RESOLVE ALL SUBSURFACE CONDITIONS DUE TO LOCAL VARIATIONS IN SOIL PROPERTIES AND THE PHYSICAL NATURE OF THE UNDERGROUND FEATURES.
2. LOCATION OF INVESTIGATION AREAS IS APPROXIMATE.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

NO.	DATE	RECORD OF WORK	DRN	CKD	APPR

PROJECT

PROJ. ENGR.: JDC
 PROJ. NO.: 16168
 PREPARED BY: APC
 DRAFTED BY: APC
 CHECKED BY: JDC
 APPROVED BY: _____
 DATUM: _____
 CONTOUR INTERVAL: _____

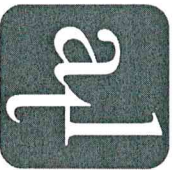
415 ORCHARD STREET
 AUGUST 2016 GEOPHYSICAL INVESTIGATION
GPR INVESTIGATION AREAS
 ROCHESTER NEW YORK

SPECTRA SUBSURFACE IMAGING
 19 British American Blvd.
 Latham, NY 12110

DATE: 8/22/16 SCALE: 1" = 20' DWG: 16168 FIGURE 3

Appendix B

Concrete Core Report



ATLANTIC TESTING LABORATORIES

WBE certified company

DRILLED CONCRETE CORE REPORT NUMBER RT1430C-01-08-16 ASTM C 42

CLIENT: C. P. Ward, Inc.
PROJECT: B & L Orchard Street – USA
CONTRACTOR: Not Provided
PLACEMENT LOCATION: Not Provided
DISPATCH NO.: N/A

CONCRETE PLACEMENT DATE(S): Not Provided
DAILY CONCRETE REPORT NUMBER(S): N/A
CONCRETE CORING DRILLING DATE: August, 2016
CONCRETE CORES REQUESTED BY: C. P. Ward Inc.
CONCRETE CORES OBTAINED BY: C. P. Ward Inc.

LABORATORY DATA (ASTM C 39, C 42, and C 617)

Core I.D.	Date of Test	Age (days)	Drilled Core Length (in.)	Depth of Core Tested* (in.)	Uncapped Core Length (in.)	Capped Core Length (in.)	Average Core Diameter (in.)	Length to Diameter Ratio	Core Area (in. ²)	Calculated Density (pcf)	Total Load (lbs.)	Strength Correction Factor	Unit Load (psi)	Notes
C-1	---	*	4.8	N/A	---	---	---	---	---	---	---	---	---	Mesh, fracture approximately 2.5 inches below top.
C-2	8-19-16	*	7.5	3.3-7	4.0	4.28	3.71	1.15	10.80	142	77,260	0.90	6440	Overlay with Mesh at 2 inches depth, substrate with mesh at 6 inches depth.
C-3	8-19-16	*	6.5	0.5-6	4.6	5.08	3.71	1.37	10.80	131	26,770	0.95	2350	Porous, round aggregate poorly bonded. Labeled SW.
C-4	8-19-16	*	5.5	0.3-4.8	4.5	4.89	3.71	1.32	10.80	141	91,820	0.94	7990	Labeled NW.

REMARKS

*The age of the concrete represented by the cores was not provided.
No defects were noted in any of the caps. Core C-1 was fractured in the horizontal plane at approximately 2.5 inches depth. Core C-2 consisted of an overlay over substrate, which had delaminated.
Core C-1 did not meet the minimum length to diameter requirement of 1:1 specified in ASTM C42, and was not tested.
The nominal maximum aggregate size of the coarse aggregate noted was 1/2 inch for cores C-1, C-2, and C-4, and 1 inch for core C-3.
The cores were tested as received.
Coring was performed in the vertical direction.

Reviewed by:

Date:

8/24/16

APPENDIX C

Site Photographic Documentation



















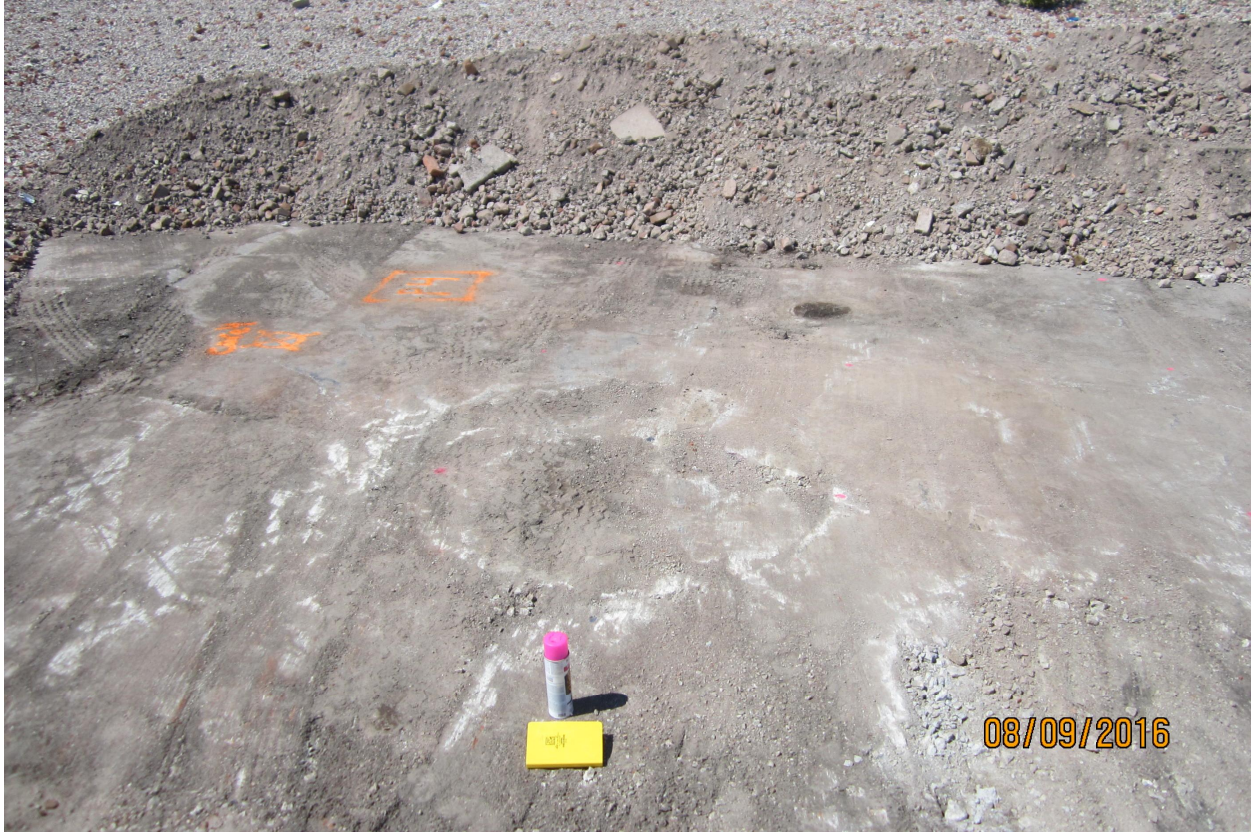




























08/09/2016

APPENDIX D

Supporting Documentation

**DEVELOPABLE:
Approximately 3.55 Acres**

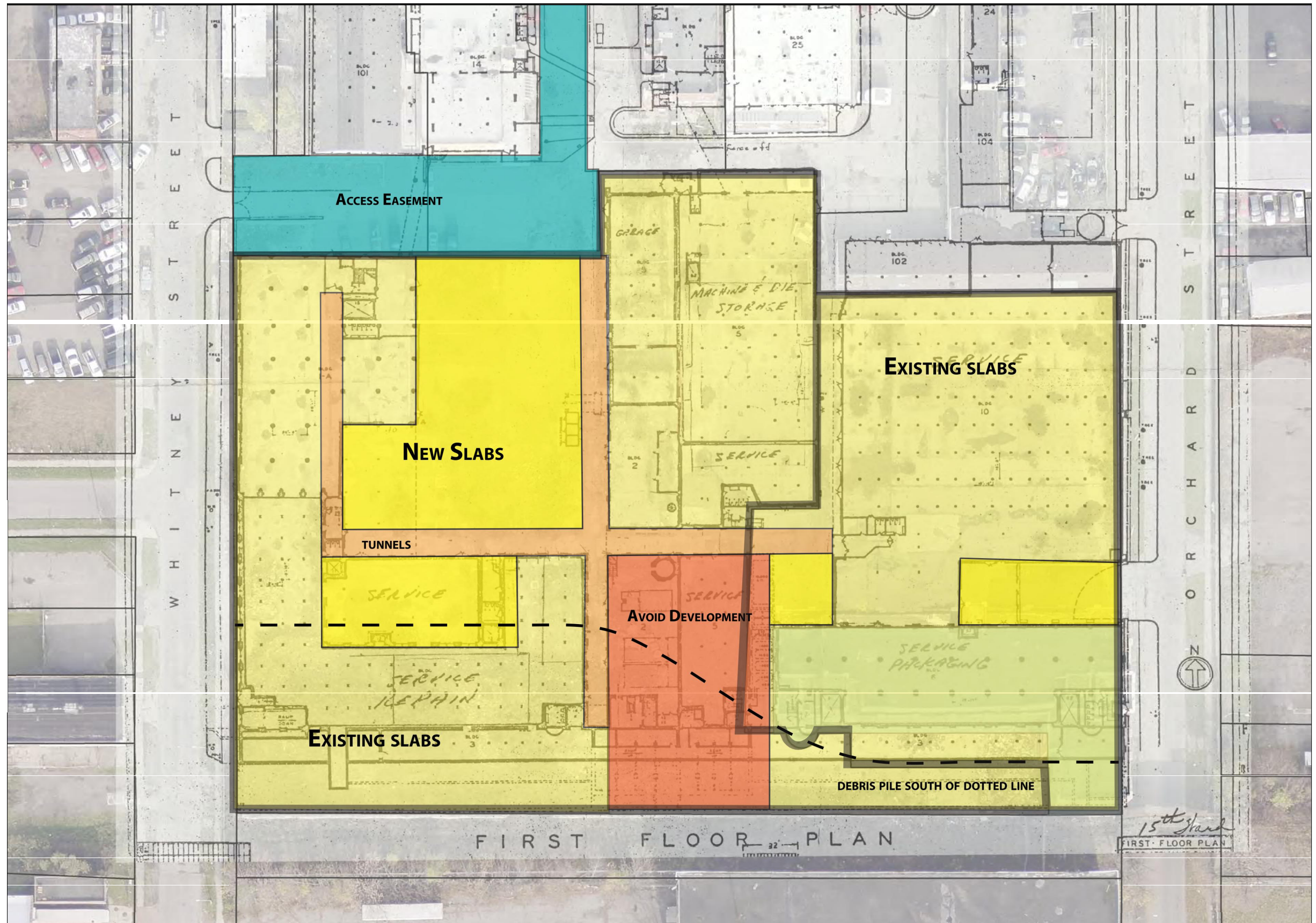
Existing slabs require 6" +/- slab
Note: Existing first floor slabs shown in drawing are present at the site.

New slabs require 8" +/- slab with short piles to rock

Tunnels
Can accommodate H15 axle loading
Buildings require 8" +/- slab to span tunnels

Avoid Development
Approximately .35 acres
Unknown subsurface conditions with contaminated materials

Access Easement
Permanent Easement from Whitney Street



ORCHARD WHITNEY SITE REDEVELOPMENT
City of Rochester • Monroe County • New York

FIGURE •
April 2016



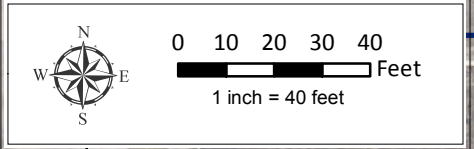
Lasalle
Whitney

Orchard

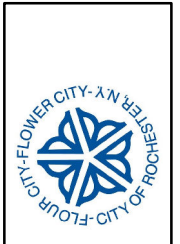
Dig in several locations to verify location and perform visual of condition.

Excavate to remove steel plates, observe and replace plates.

77 38'7.834" W
43 9'48.972" N



DATE: AUGUST 2016
 SCALE: AS NOTED
 DRAWN/CHECKED: SMK/GLA
 DATA SOURCE:
 PICTOMETRY



415 ORCHARD STREET
 PLATE COVER LOCATION MAP
 ERP SITE #E828123
 ROCHESTER, NY



Site access off Orchard Street

Steel Panels to be placed over test panels when complete \Rightarrow Not needed

- 1 Test Panel per Foundation
- 1 Core per Foundation
- 1 GPR 10'x10' per foundation
- 1 GPR 10'x10' @ E/W Tunnel
- 1 GPR 10'x10' @ Center N/S Tunnel

Day 1: CP Ward on site @ 7:15, off site @ 1:30 (1 operator)
 Spectra (GPR) on site @ 10:30, off site @ 1:00

- Foundations cleared
- Tunnels located and cleared
- GPR
- Back Filling as necessary
- Panel and core layout

Day 2 CP Ward on site @ 8:5, off site @ 3:00 (2 laborers)

- Test panels: 1st @ 10:30, 2nd @ 12:30, 3rd @ 1:00, 4th @ 2:30
- Cores: 1st @ 11:00, 2nd @ 12:30, 3rd @ 1:30, 4th @ 2:45

Foundation 1: (NE)

First core split along plane of mesh reinf., completed 2nd core with same result

Mesh Reinf.: $\frac{1}{8}$ " smooth mesh @ 3" depth and 2" spacing (lat., long.), Slab: 4" on soil

Foundation 2: (N Center)

First core split @ 2 $\frac{1}{2}$ " depth

Mesh Reinf.: $\frac{1}{8}$ " smooth mesh @ 5 $\frac{1}{2}$ " depth and 6" spacing, Slab: 8" on soil

Foundation 3: (NW)

No core split

Mesh Reinf.: None, Slab: 6" on soil

Foundation 4: (SW)

No core split

Mesh Reinf.: None, Slab: 5" on soil

Appendix D: Rochester's Largest Employers (2014) ²⁸

Employer Name	Number of Employees
University of Rochester/UR Medicine	22,500
Wegmans	13,528
Rochester General Health System	8,200
Xerox	6,300
Rochester City School District	5,574
Unity Health System	5,500
Monroe County Government	4,549
Paychex	3,877
Lifetime Healthcare Cos	3,587
RIT	3,274
Sutherland Global Services Inc.,	3,009
City of Rochester Government	2,715
Eastman Kodak	2,300
Greece Central School District	2,232
Harris RF Communications	2,200
YMCA of Greater Rochester	2,078
Heritage Christian Services	1,650
Frontier Communications Corp.	1,400
Webster Central School District	1,328
Finger Lakes Health	1,305
Monroe #1 BOCES	1,285
St. Ann's of Greater Rochester	1,244
Verizon Wireless	1,200
Rush-Henrietta School District	1,123
Ortho-Clinical Diagnostics	1,100
Exelis Geospatial Systems	1,100
General Motors Co.,	1,100
CooperVision Inc	1,100
Carestream Health Inc.,	1,075
The College at Brockport	993
Hillside Family of Agencies	982
JP Morgan Chase & Co.,	975
Center for Disability Rights	937
Monroe Community College	925
Bausch + Lomb	900

²⁸ "Meet Rochester's largest employers," Democratic & Chronicle, June 28th, 2014.

Appendix E: Examples of Available Properties in Area

1 1450 Lyell Ave

Rochester, NY 14606 - Greater Rochester Submarket



TENANT

Tenant Name: **Maven Technologies**
 Industry: **Personal Services**

LEASE

SF Leased: **12,600 SF**
 Sign Date: **Jan 2016**
 Space Use: **Industrial**
 Lease Type: **Direct**
 Floor: **1st Floor**

RENTS

Asking Rent: **\$4.25/MG**
 Starting Rent: **\$4.25/MG**
 Effective Rent: **\$4.25/MG**

CONCESSIONS AND BUILDOUT

Asking Discount: **0.00%**

LEASE TERM

Start Date: **Jul 2016**
 Expiration Date: **Jun 2021**
 Lease Term: **5 Years**

PROPERTY EXPENSES

Taxes: **\$0.10/SF (2015)**

TIME ON MARKET

Date On Market: **Jan 2014**
 Date Off Market: **Jan 2016**
 Months on Market: **24 Mos**

TIME VACANT

Date Vacated: **Jan 2014**
 Date Occupied: **Jul 2016**
 Months Vacant: **30 Months**

MARKET AT LEASE

Vacancy Rate	2016 Q1	YOY
Current Building	5.8%	↔ 0.0%
Submarket 1-3 Star	9.7%	▼ 0.8%
Metro Overall	7.0%	▼ 1.3%

Asking Rent Per SF	2016 Q1	YOY
Current Building	\$4.25	-
Submarket 1-3 Star	\$3.61	▼ 6.9%
Metro Overall	\$4.27	▲ 4.8%

Submarket Leasing Activity	2016 Q1	YOY
12 Mo. Leased SF	265,719	▼ 7.3%
Months On Market	31.5	▲ 2.8

LEASING REP

Buckingham Properties
 259 Alexander St
 Rochester, NY 14607
 Tom Latta (585) 295-9500 X305

PROPERTY

Property Type: **Industrial**
 Status: **Built 1958**
 Tenancy: **Multi**
 Class: **C**
 Construction: **Masonry**
 Parking: **200 Surface Spaces ...**

Rentable Area: **215,452 SF**
 Stories: **1**
 Floor Size: **215,452 SF**
 Ceiling Height: **15'-18'**
 Vacancy at Lease: **5.8%**
 Land Acres: **13.00**

2 1680-1700 Lyell Ave
Rochester, NY 14606 - Greater Rochester Submarket



TENANT

Tenant Name: **Flower City Communications**
Industry: **Business Services**

LEASE

SF Leased: **1,200 SF**
Sign Date: **Dec 2015**
Space Use: **Industrial**
Lease Type: **Direct**
Floor: **1st Floor**

RENTS

Asking Rent: **\$5.50/NNN**

PROPERTY EXPENSES

Taxes: **\$0.10/SF (2015)**

LEASE TERM

Start Date: **Jan 2016**
Expiration Date: **Dec 2016**
Lease Term: **1 Year**

TIME ON MARKET

Date On Market: **Jul 2014**
Date Off Market: **Jan 2016**
Months on Market: **18 Mos**

TIME VACANT

Date Vacated: **Jun 2014**
Date Occupied: **Jan 2016**
Months Vacant: **19 Months**

MARKET AT LEASE

Vacancy Rate	2015 Q4	YOY
Current Building	6.9%	↔ 0.0%
Submarket 2-4 Star	10.1%	▼ 0.4%
Metro Overall	7.1%	▼ 1.0%

Asking Rent Per SF	2015 Q4	YOY
Current Building	\$3.56	-
Submarket 2-4 Star	\$3.79	▲ 4.6%
Metro Overall	\$4.29	▲ 7.5%

Submarket Leasing Activity	2015 Q4	YOY
12 Mo. Leased SF	238,408	▼ 10.3%
Months On Market	30.9	▲ 1.5

LEASING REP

Buckingham Properties
259 Alexander St
Rochester, NY 14607
Tom Latta (585) 295-9500 X305

PROPERTY

Property Type: **Industrial**
Status: **Built 1962**
Tenancy: **Multi**
Class: **B**
Construction: **Reinforced Concrete**
Parking: **500 free Surface Spa...**

Rentable Area: **620,000 SF**
Stories: **2**
Floor Size: **310,000 SF**
Ceiling Height: **22'**
Vacancy at Lease: **6.9%**
Land Acres: **9.00**

Lease Comparables

Lease Comps Report

3 **961 Lyell Ave - Building 1**
Rochester, NY 14606 - Greater Rochester Submarket



LEASE

SF Leased:	3,200 SF
Sign Date:	Oct 2015
Space Use:	Industrial
Lease Type:	Direct
Floor:	1st Floor

LEASE TERM

Start Date:	Nov 2015
Expiration Date:	Nov 2016
Lease Term:	1 Year

TIME ON MARKET

Date On Market:	Jul 2014
Date Off Market:	Jan 2016
Months on Market:	18 Mos

LEASING REP

Buckingham Properties
259 Alexander St
Rochester, NY 14607
Tom Latta (585) 295-9500 X305

PROPERTY

Property Type:	Industrial
Status:	Built 1905
Tenancy:	Multi
Class:	C
Construction:	Masonry
Parking:	60 free Surface Space...

RENTS

Asking Rent:	\$4.00
Starting Rent:	\$4.37
Effective Rent:	\$4.37

CONCESSIONS AND BUILDOUT

Asking Discount:	-9.25%
------------------	---------------

PROPERTY EXPENSES

Total Exp.:	\$0.66/SF (2014)
-------------	-------------------------

TIME VACANT

Date Vacated:	Aug 2014
Date Occupied:	Nov 2015
Months Vacant:	15 Months

MARKET AT LEASE

Vacancy Rate	2015 Q4	YOY
Current Building	8.9%	▼ 3.2%
Submarket 1-3 Star	9.8%	▼ 0.3%
Metro Overall	7.1%	▼ 1.0%

Asking Rent Per SF	2015 Q4	YOY
Current Building	\$4.00	-
Submarket 1-3 Star	\$3.89	▲ 5.3%
Metro Overall	\$4.29	▲ 7.5%

Submarket Leasing Activity	2015 Q4	YOY
12 Mo. Leased SF	238,408	▼ 10.3%
Months On Market	30.9	▲ 1.5

4 **190 Murray St**
 Rochester, NY 14606 - Greater Rochester Submarket



TENANT

Tenant Name: **Grant At Play**
 Industry: **Agri/Mining/Utilities**

LEASE

SF Leased: **4,500 SF**
 Sign Date: **Jun 2015**
 Space Use: **Industrial**
 Lease Type: **Direct**
 Floor: **1st Floor**

RENTS

Asking Rent: **\$2.00-\$6.00/NNN**

PROPERTY EXPENSES

Taxes: **\$0.05/SF (2014)**

LEASE TERM

Start Date: **Jul 2015**

TIME ON MARKET

Date On Market: **May 2012**
 Date Off Market: **Aug 2015**
 Months on Market: **39 Mos**

TIME VACANT

Date Occupied: **Jul 2015**

MARKET AT LEASE

Vacancy Rate	2015 Q2	YOY
Current Building	33.7%	▼ 8.4%
Submarket 1-3 Star	10.6%	▲ 0.3%
Metro Overall	7.9%	▼ 0.6%

Asking Rent Per SF	2015 Q2	YOY
Current Building	\$4.00	-
Submarket 1-3 Star	\$3.84	▲ 3.1%
Metro Overall	\$4.18	▲ 5.5%

Submarket Leasing Activity	2015 Q2	YOY
12 Mo. Leased SF	224,006	▼ 16.2%
Months On Market	28.5	▲ 2.7

LEASING REP

190 Murray St Associates
 190 Murray St
 Rochester, NY 14606
 Michelle Loewke (585) 370-5148

PROPERTY

Property Type: **Industrial**
 Status: **Built 1926**
 Tenancy: **Multi**
 Class: **B**
 Construction: **Masonry**
 Parking: **60 free Surface Space...**

Rentable Area: **79,000 SF**
 Stories: **3**
 Floor Size: **26,333 SF**
 Ceiling Height: **10'-12'**
 Vacancy at Lease: **33.7%**
 Land Acres: **0.88**

Lease Comparables

5 515 Lee Rd

Rochester, NY 14606 - Greater Rochester Submarket



TENANT

Tenant Name: **Syntec Technologies, Inc.**
 Industry: **Manufacturing**
 NAICS: **Crude Petroleum and Natural Gas Extraction - 211111**

LEASE

SF Leased: **65,772 SF**
 Sign Date: **Mar 2015**
 Space Use: **Industrial**
 Lease Type: **Direct**
 Floor: **1st Floor**

RENTS

Asking Rent: **\$4.00/NNN**

PROPERTY EXPENSES

Taxes: **\$0.29/SF (2014)**

LEASE TERM

Start Date: **Aug 2015**

TIME ON MARKET

Date On Market: **Apr 2014**
 Date Off Market: **Oct 2015**
 Months on Market: **18 Mos**

TIME VACANT

Date Vacated: **Apr 2014**
 Date Occupied: **Aug 2015**
 Months Vacant: **16 Months**

MARKET AT LEASE

Vacancy Rate	2015 Q1	YOY
Current Building	100%	▲ 100%
Submarket 2-4 Star	10.8%	▲ 1.4%
Metro Overall	8.2%	▲ 0.3%

Asking Rent Per SF	2015 Q1	YOY
Current Building	\$4.00	-
Submarket 2-4 Star	\$3.79	▲ 3.6%
Metro Overall	\$4.08	▲ 2.0%

Submarket Leasing Activity	2015 Q1	YOY
12 Mo. Leased SF	286,530	▲ 100.9%
Months On Market	28.7	▲ 2.6

LEASING REP

Moore Corporate Real Estate, Inc.
 1892 Winton Rd S
 Rochester, NY 14618-3951
 Bob Moore (585) 546-4170 X225

PROPERTY

Property Type: **Industrial**
 Status: **Built 1978**
 Tenancy: **Single**
 Class: **B**
 Construction: **Masonry**
 Parking: **100 free Surface Spa...**

Rentable Area: **65,772 SF**
 Stories: **1**
 Floor Size: **65,772 SF**
 Vacancy at Lease: **100%**
 Land Acres: **7.14**

6 595 Hague St
Rochester, NY 14606 - Greater Rochester Submarket



TENANT

Tenant Name:	VJ Stanley
Industry:	Engineers/Architects

LEASE

SF Leased:	40,662 SF
Sign Date:	Feb 2015
Space Use:	Industrial
Lease Type:	Direct
Floor:	1st Floor

RENTS

Asking Rent:	\$3.25/NNN
Starting Rent:	\$3.00/NNN
Effective Rent:	\$3.00/NNN

CONCESSIONS AND BUILDOUT

Asking Discount:	7.69%
Buildout Status:	Full Build-Out

LEASE TERM

Start Date:	Jul 2015
Expiration Date:	Jun 2030
Lease Term:	15 Years

PROPERTY EXPENSES

Taxes:	\$0.59/SF (2009)
--------	-------------------------

TIME ON MARKET

Date On Market:	Aug 2013
Date Off Market:	Jan 2016
Months on Market:	29 Mos

TIME VACANT

Date Occupied:	Jul 2015
----------------	-----------------

MARKET AT LEASE

Vacancy Rate	2015 Q1	YOY
Current Building	0.0%	↔ 0.0%
Submarket 2-4 Star	10.8%	▲ 1.4%
Metro Overall	8.2%	▲ 0.3%

Asking Rent Per SF	2015 Q1	YOY
Current Building	\$3.25	-
Submarket 2-4 Star	\$3.79	▲ 3.6%
Metro Overall	\$4.08	▲ 2.0%

Submarket Leasing Activity	2015 Q1	YOY
12 Mo. Leased SF	286,530	▲ 100.9%
Months On Market	28.7	▲ 2.6

LEASING REP

Buckingham Properties
259 Alexander St
Rochester, NY 14607
Tom Latta (585) 295-9500 X305
Joseph F. Rowley, Jr. (585) 697-0901

PROPERTY

Property Type:	Industrial	Rentable Area:	40,662 SF
Status:	Built 1968	Stories:	1
Tenancy:	Single	Floor Size:	40,662 SF
Class:	C	Ceiling Height:	75'
Construction:	Metal	Vacancy at Lease:	0.0%
Parking:	10 free Surface Space...	Land Acres:	8.23

Lease Comparables

7 1999 Mount Read Blvd
Rochester, NY 14615 - Northwest Submarket



TENANT

Tenant Name:	Torvec, Inc.
Industry:	Manufacturing
NAICS:	All Other Motor Vehicle Parts Manufacturing - 336399

LEASE

SF Leased:	13,650 SF
Sign Date:	Oct 2014
Space Use:	Industrial
Lease Type:	Direct
Floor:	3rd Floor

RENTS

Starting Rent:	\$5.00
Effective Rent:	\$5.00

PROPERTY EXPENSES

Taxes:	\$0.17/SF (2015)
Operating Exp.:	\$0.41/SF (2006-Est)

LEASE TERM

Start Date:	Oct 2014
Expiration Date:	May 2018

OPTIONS

(3) 3 Year Renewal Options; The lease agreement has a three-year renewal option with a 9% rate increase at the subsequent renewal period.

MARKET AT LEASE

Vacancy Rate	2014 Q4	YOY
Current Building	2.6%	↔ 0.0%
Submarket 2-4 Star	5.1%	▼ 1.7%
Metro Overall	8.1%	▲ 0.2%

Asking Rent Per SF	2014 Q4	YOY
Current Building	-	-
Submarket 2-4 Star	\$3.00	▲ 8.7%
Metro Overall	\$3.98	▲ 1.3%

Submarket Leasing Activity	2014 Q4	YOY
12 Mo. Leased SF	442,816	▲ 31.5%
Months On Market	40.0	▲ 12.1

TIME ON MARKET

Date On Market:	Feb 2006
Date Off Market:	Oct 2007
Months on Market:	20 Mos

TIME VACANT

Date Vacated:	Feb 2006
Date Occupied:	Oct 2014
Months Vacant:	104 Months

PROPERTY

Property Type:	Industrial	Rentable Area:	250,000 SF
Status:	Built 1965	Stories:	2
Tenancy:	Multi	Floor Size:	125,000 SF
Class:	B	Vacancy at Lease:	2.6%
Construction:	Masonry	Land Acres:	55.30
Parking:	220 free Surface Spa...		

8 **1128 Lexington Ave - Building #5**
Rochester, NY 14606 - Northwest Submarket



TENANT

Tenant Name: **Evolution**
Industry: **Retailers/Wholesalers**

LEASE

SF Leased: **8,800 SF**
Sign Date: **Apr 2014**
Space Use: **Industrial**
Lease Type: **Direct**
Floor: **1st Floor**

RENTS

Asking Rent: **\$5.25/NNN**

CONCESSIONS AND BUILDOUT

Buildout Status: **Full Build-Out**

LEASE TERM

Start Date: **Jun 2014**

PROPERTY EXPENSES

Taxes: **\$0.80/SF (2011-Est)**
Operating Exp.: **\$0.31/SF (2011-Est); ...**
Total Exp.: **\$1.12/SF (2011-Est)**

TIME ON MARKET

Date On Market: **Dec 2013**
Date Off Market: **May 2014**
Months on Market: **5 Mos**

TIME VACANT

Date Vacated: **Dec 2013**
Date Occupied: **Jun 2014**
Months Vacant: **6 Months**

MARKET AT LEASE

Vacancy Rate	2014 Q2	YOY
Current Building	30.7%	↔ 0.0%
Submarket 1-3 Star	4.4%	▼ 0.1%
Metro Overall	8.6%	▲ 0.3%

Asking Rent Per SF	2014 Q2	YOY
Current Building	\$5.25	-
Submarket 1-3 Star	\$3.06	▲ 11.8%
Metro Overall	\$3.96	▲ 5.1%

Submarket Leasing Activity	2014 Q2	YOY
12 Mo. Leased SF	214,126	▼ 44.3%
Months On Market	33.9	▲ 5.3

LEASING REP

Gallina Development
1890 S Winton Rd S
Rochester, NY 14618-3951
Kurt Sertl (585) 654-6650 X105

PROPERTY

Property Type: **Industrial**
Status: **Built 1970**
Tenancy: **Multi**
Class: **B**
Construction: **Masonry**
Parking: **25 free Surface Space...**

Rentable Area: **16,300 SF**
Stories: **1**
Floor Size: **16,300 SF**
Vacancy at Lease: **30.7%**
Land Acres: **0.55**

Appendix F: Access Easement

MONROE COUNTY CLERK'S OFFICE

ROCHESTER, NY

THIS IS NOT A BILL. THIS IS YOUR RECEIPT

Receipt # 460774

Index DEEDS

Book 10947 Page 586

No. Pages : 3

Instrument DEED OTHER

Date : 12/02/2010

Time : 04:14:00PM

Control # 201012020764

TT # TT0000005575

Ref 1 #

Employee : NeseB

Return To:
BOX 250

GREENSPAN, JOSHUA

BRATIC & PIEPER PROPERTIES LLC

COUNTY FEE NUMBER PAGES	\$	9.00
COUNTY FEE RECORDING	\$	8.00
COUNTY FEE TP584	\$	5.00
MISCELLANEOUS COUNTY FEE	\$	0.00
RP5217 COUNTY FEE	\$	9.00
RP5217 STATE EQUAL ADDIT FEE \$		241.00
STATE FEE CULTURAL EDUCATION \$		14.25
STATE FEE RECORDS MANAGEMENT \$		4.75
STATE FEE TRANSFER TAX	\$	200.00

[105.00-03-19]

391 LYELL AVE

Total \$ 491.00

State of New York

MONROE COUNTY CLERK'S OFFICE

WARNING - THIS SHEET CONSTITUTES THE CLERKS
ENDORSEMENT, REQUIRED BY SECTION 317-a(5) &
SECTION 319 OF THE REAL PROPERTY LAW OF THE
STATE OF NEW YORK. DO NOT DETACH OR REMOVE.

TRANSFER AMT

TRANSFER AMT \$50,000.00

TRANSFER TAX \$200.00

CHERYL DINOLFO

MONROE COUNTY CLERK



WARRANTY DEED

THIS INDENTURE, made the 24th day of November, 2010, Between

JOSHUA GREENSPAN, residing at 141 Rimini Way, North Venice, Florida, 34275, party of the first part, and

BRATIC & PIEPER PROPERTIES LLC, a New York limited liability company located at 321 Mendon Center Road, Pittsford, New York 14534, party of the second part.

WITNESSETH, that the party of the first part, in consideration of ten dollars and valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, its heirs or successors and assigns of the party of the second part forever.

ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Rochester, County of Monroe and State of New York being a part of Lot #62, 20,000 Acre Tract, Township 1, Short Range, more particularly bounded and described as follows:

Beginning at a point in the south line of Lyell Avenue 103.67 feet east of the intersection of the east line of Whitney Street with the south line of Lyell Avenue; running thence (1) South at an interior angle of 89° 32' 45" with the south line of Lyell Avenue a distance of 47.75 feet to a point; thence (2) East at an interior angle of 90° 03' 47" with the last mentioned course a distance of 4.16 feet to a point thence (3) South at an exterior angle of 89° 30' 36" with the last mentioned course a distance of 12.48 feet to a point; thence (4) East at an interior angle of 89° 20' 50" with the last mentioned course a distance of 7.96 feet to a point; thence (5) South at an exterior angle of 89° 33' 31" with the last mentioned course a distance of 107.18 feet to a point in the north line of land conveyed to 351 Whitney Inc. by deed recorded in Monroe County Clerk's Office on April 28, 1972 in Liber 4245 of Deeds, at page 108; thence (6) East at an interior angle of 90° 12' 00" with the last mentioned course and along the north line of land so conveyed to 351 Whitney Inc. a distance of 102.58 feet to a corner in said land; thence (7) North at an interior angle of 89° 56' 00" with the last mentioned course and along a west line of land so conveyed to 351 Whitney Inc. a distance of 48.43 feet to another corner in said land; thence (8) West at an interior angle of 89° 58' 50" with the last mentioned course a distance of 8.60 feet to a point; thence (9) North at an exterior angle of 90° 02' 35" with the last mentioned course a distance of 119.03 feet to a point in the south line of Lyell Avenue; thence (10) West at an interior angle of 90° 02' 30" with the last mentioned course and along the south line of Lyell Avenue a distance of 106.60 feet to the point of beginning.

describes 391 Lyell Ave

EXCEPTING AND RESERVING THEREFROM, an easement for ingress and egress across any driveway and blacktop area constituting a portion of said premises for the benefit of all adjacent property owners, their agents, servants, employees, guests and others including grantor and reserving to grantor the right to convey an interest in such easement for ingress and egress to his successors and assigns.

THIS CONVEYANCE is subject to all easements, covenants and restrictions of record affecting said premises if any, and to the rights of others if any, in an overhead passage way connecting to the building located on said premises, and to a party wall agreement recorded March 29, 1976.

BOX 250 (WPF)

RECORDED
2010 DEC - 24 4:15
MONROE COUNTY CLERK

Being the same premises conveyed to the party of the first part by Deed dated March 29, 1976 and recorded on March 29, 1976 in the Monroe County Clerk's Office in Liber 4996 of Deeds at page 213.

Tax Map No.: 105.66-3-19
Property Address: 391 Lyell Avenue, Rochester, New York 14606
Tax Mailing Address: 321 Mandon Center Rd Pittsford, NY 14534

Together with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

To have and to hold the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

And the party of the first part covenants as follows:

FIRST, that the party of the second part shall quietly enjoy the said premises;

SECOND, that the party of the first part will forever Warrant the title to said premises.

THIRD, the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this Indenture so requires.

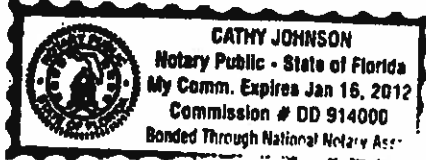
In Witness Whereof, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

Joshua Greenspan
Joshua Greenspan

STATE OF FLORIDA)
COUNTY OF Sevier) ss.

On the 24 day of Nov in the year 2010 before me, the undersigned, personally appeared Joshua Greenspan, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose names are subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument, and that such individual made such appearance before the undersigned in the NO KENNIS (insert the city or other political subdivision and the state or country or other place the acknowledgment was taken).



Cathy Johnson
Notary Public

(3)

LIBER 4996 PAGE 209

RECORDED

PARTY WALL AGREEMENT

APR 16 1976 2:41 PM

AGREEMENT made the 29th day of March, 1976, between NEIL MORRY, as Trustee for Sheli Ronnen under a Trust Agreement dated September 30, 1974, residing at 111 Ajax Road, City of Rochester, Monroe County, New York, party of the first part, and JOSH GREENSPAN, residing at 108 Amsden Drive, City of Rochester, Monroe County, New York, party of the second part.

WITNESSETH:

WHEREAS, the party of the second part is the owner of the premises located and described as follows:

ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Rochester, County of Monroe and State of New York, being a part of Lot #62, 20,000 Acre Tract, Township 1, Short Range, more particularly bounded and described as follows:

16329

Beginning at a point in the south line of Lyell Avenue 103.67 feet east of the intersection of the east line of Whitney Street with the south line of Lyell Avenue; running thence (1) South at an angle of 89° 32' 45" with the south line of Lyell Avenue a distance of 47.75 feet to a point; thence (2) East at an interior angle of 90° 03' 47" with the last mentioned course a distance of 4.16 feet to a point; thence (3) South at an exterior angle of 89° 30' 36" with the last mentioned course a distance of 12.48 feet to a point; thence (4) East at an interior angle of 89° 20' 50" with the last mentioned course a distance of 7.96 feet to a point; thence (5) South at an exterior angle of 89° 33' 31" with the last mentioned course a distance of 107.18 feet to a point in the north line of land conveyed to 351 Whitney Inc. by deed recorded in the Monroe County Clerk's Office on April 28, 1972, in Liber 4245 of Deeds, page 108; thence (6) East at an interior angle of 90° 12' 00" with the last mentioned course and along the north line of land so conveyed to 351 Whitney Inc. a distance of 102.58 feet to a corner in said land; thence (7) North at an interior angle of 89° 56' 00" with the last mentioned course and along a west line of land so conveyed to 351 Whitney Inc. a distance of 48.43 feet to another corner in said land; thence (8) West at an interior angle of 89° 58' 50" with the last mentioned course a distance of 8.60 feet to a point; thence (9) North at an exterior angle of 90° 02' 35" with the last mentioned course a distance of 119.03 feet to a point

[BETWEEN 391 / 405 LYELL AVE]

in the south line of Lyell Avenue; thence (10) West at an interior angle of $90^{\circ} 02' 30''$ with the last mentioned course and along the south line of Lyell Avenue a distance of 106.60 feet to the point of beginning.

and

WHEREAS, the party of the first part is the owner of the premises described as follows:

ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Rochester, County of Monroe and State of New York, being a part of Lot #62, 20,000 Acre Tract, Township 1, Short Range, more particularly bounded and described as follows:

Beginning at a point in the south line of Lyell Avenue 103.67 feet east of the intersection of the east line of Whitney Street with the south line of Lyell Avenue; running thence (1) South at an angle of $89^{\circ} 32' 45''$ with the south line of Lyell Avenue a distance of 47.75 feet to a point; thence (2) East at an interior angle of $90^{\circ} 03' 47''$ with the last mentioned course a distance of 4.16 feet to a point; thence (3) South at an exterior angle of $89^{\circ} 30' 36''$ with the last mentioned course a distance of 12.48 feet to a point; thence (4) East at an interior angle of $89^{\circ} 20' 50''$ with the last mentioned course a distance of 7.96 feet to a point; thence (5) South at an exterior angle of $89^{\circ} 33' 31''$ with the last mentioned course a distance of 107.18 feet to a point in the north line of land conveyed to 351 Whitney Inc. by deed recorded in the Monroe County Clerk's Office on April 28, 1972, in Liber 4245 of Deeds, page 108; thence (6) West at an interior angle of $89^{\circ} 48' 00''$ the last mentioned course a distance of 116.40 feet to a point in the east line of Whitney Street; thence (7) North at an interior angle of $90^{\circ} 04' 20''$ with the last mentioned course along the east line of Whitney Street a distance of 57.13 feet to a point; thence (8) East at an interior angle of $90^{\circ} 00' 55''$ with the last mentioned course a distance of 44.0 feet to a point; thence (9) North at an exterior angle of $90^{\circ} 00' 55''$ with the last mentioned course a distance of 110.0 feet to a point in the south line of Lyell Avenue; thence (10) East at an interior angle of $90^{\circ} 00' 55''$ with the last mentioned course a distance of 59.67 feet to the point of beginning.

which said premises adjoin the aforesaid premises of the party of the second part; and

WHEREAS, there is presently in existence a common wall located on the dividing line between the said premises of the parties, which said wall is a party wall and is constructed one-half of its thickness on each side of the line dividing said premises of each party,

NOW, THEREFORE, in consideration of ONE DOLLAR (\$1.00) and other good and valuable consideration, and the mutual covenants herein, the parties mutually covenant and agree for themselves, their respective heirs, distributees and assigns, as follows:

FIRST: That the said wall shall be used and maintained as a party wall forever.

SECOND: Each party shall have full right to use the said party wall for the insertion of beams or otherwise up to the point where it has been built.

THIRD: If the said wall is at any time extended, the cost of such extension shall be paid by the party making such extension.

FOURTH: If it shall become necessary to repair or rebuild the wall or any portion of the wall as constructed or extended, the cost of such repairing and/or such rebuilding, as to such portions of the wall at the time used by both parties, shall be borne equally by both parties; as to the remaining portions such repairing and/or rebuilding shall be wholly at the expense of the party who shall exclusively use that portion.

FIFTH: If and when the said wall is rebuilt, it shall stand upon the same place and be of the same or similar materials and of the same proportions as the wall which presently exists, unless otherwise agreed to in writing by the owners of the respective premises.

SIXTH: This agreement shall be perpetual and shall be a covenant running with the land, provided, however, that nothing herein shall be construed as a conveyance by either party of his respective rights in the fee of the land upon which the said party wall stands.

IN WITNESS WHEREOF, the parties hereto have signed and sealed this Agreement the day and year first above written.

Neil Norry
 NEIL NORRY, as Trustee for Shell
 Ronnen

Josh Greenpan
 JOSH GREENSPAN

STATE OF NEW YORK)
COUNTY OF MONROE) SS:
CITY OF ROCHESTER)

On this 27 day of March 1976, before me personally appeared NEIL NORRY to me known and known to me to be the person described in and who executed the foregoing instrument; and he duly acknowledged to me that he executed the same.

Ben J. Mueselmann
Notary Public My Comm. Expires
Monroe County New York State
New York State 30, 1977

STATE OF NEW YORK)
COUNTY OF MONROE) SS:
CITY OF ROCHESTER)

On this 29th day of March, 1976, before me personally appeared JOSH GREENSPAN to me known and known to me to be the person described in and who executed the foregoing instrument; and he duly acknowledged to me that he executed the same.

Robert A. Shapiro
Notary Public My Comm. Expires
Monroe County New York State
New York State March 30, 1977

State of New York
Monroe County, ss.
Recorded on the 29th day
of March 1976 at
2:41 P.M. in Book
4996 of Deeds
at page 209 and examined.

J. J. Jones
MONROE COUNTY CLERK

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