



(Apr 2023)

SELF-SERVE PERMITTING INSTRUCTIONS

DECKS

HELPFUL INFORMATION: If a deck is less than 18" from grade, then a Building Permit is not required, however, the following Zoning regulations still apply:

- A detached deck must be located in a rear yard
- Attached decks are permitted in a side or rear yard as long setback requirements can be met. Call the Zoning office at (585) 428-7043 for setback requirements
- Decks are prohibited in front yard

MINIMUM SUBMISSION REQUIREMENTS:

- ✓ Complete permit application (attached)
- ✓ Instrument Survey Map showing proposed location (example attached)
- ✓ Construction plans of proposed deck (example attached)
- ✓ Insurance Certificates (see attached)

HOW TO SUBMIT: Your completed permit application package can be submitted by:

- Email: zoning@cityofrochester.gov
- In person Monday, Wednesday, Friday 9am - 4pm only
- **Closed to walk-ins Tuesdays and Thursdays**
- Drop box provided at City Hall A Building lobby
- Mail: The Bureau of Buildings & Compliance
30 Church Street, Room 121B
Rochester, NY 14614

If you have questions, email: zoning@cityofrochester.gov or call (585) 428-7043 for additional instructions. **Incomplete application submissions will be returned.**
Thank you.





City of Rochester

Neighborhood and Business Development
City Hall Room 121B, 30 Church Street
Rochester, New York 14614-1290
www.cityofrochester.gov

The Bureau of
Buildings &
Compliance

BUILDING PERMIT APPLICATION and ZONING COMPLIANCE REQUEST

PROPERTY ADDRESS: _____

USE: RESIDENTIAL (1 or 2 Family) COMMERCIAL MIXED USE

APPLICANT INFORMATION:

YOUR NAME: _____ **YOUR PHONE NUMBER:** _____
(not a company name)

YOUR EMAIL ADDRESS: _____

YOUR MAILING ADDRESS: _____

PROPERTY OWNER:

Check if same as applicant above

Name: _____

Address: _____
(Cannot be a PO Box) (include City or Town)

Zip: _____ Phone: _____

Email: _____

CONTRACTOR: (check if same as:)

Owner Applicant (check both if applicable)

Name: _____

Address: _____
(Cannot be a PO Box) (include City or Town)

Zip: _____ Phone: _____

Email: _____

ARCHITECT: _____
OR ENGINEER

PERMIT REQUEST:

DESCRIPTION: _____

ADDITION/NEW CONSTRUCTION INTERIOR RENOVATIONS EXTERIOR RENOVATIONS

CHANGE/ESTABLISH USE DECK POOL/HOT TUB SHED/GARAGE/CARPORT

HVAC/MECHANICAL/ELECTRICAL SYSTEMS OTHER: _____

PROJECT COST ESTIMATE: (excluding plumbing & electrical) \$ _____

YOUR SIGNATURE: _____ **DATE:** _____

Deck Permits

Drawings/Framing plans

Constructing A Deck – minimum 18 inches above finished grade or ground level

(without pre-made parts)

1. Construction drawing: should include the following and be drawn to scale (1/4" per foot preferred) - Plan view (overhead), Elevations of all sides and Cross section/vertical slice (side view) with dimensions and notes of all materials:
 - a. Include title block with project location (address) & contact phone # on plan
 - b. Footer / Foundation / Pier details & dimensions
 - c. Floor joist framing size & on center spacing
 - d. Post and Beam size and spans
 - e. Fasteners & attachments - label and types (hangers, bolts, lateral & hold down ties) and connections to house rim board
 - f. Steps to grade – location and dimensions of tread & risers and handrails
 - g. Guardrails – locations, dimensions (height & openings between balusters)

Porch Code Requirements:

- Building Permit – for new or replacement deck - two sets of building plans are required as part of the building permit application
- Reference standard for deck construction: <https://www.awc.org/codes-standards/publications/dca6>

Deck Plan Worksheet & Graph Paper

Reference standard for deck construction: <https://www.awc.org/codes-standards/publications/dca6>

Deck Concept

Property address: _____

Deck Width x Length = SF

x =

Decking Wood Type

Decking Size

x

Perpendicular/Diagonal

Deck Height

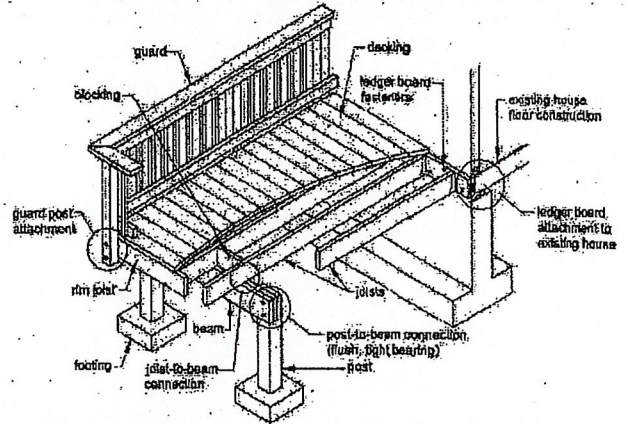
Freestanding Deck

Attached to house

Ledger Board Size

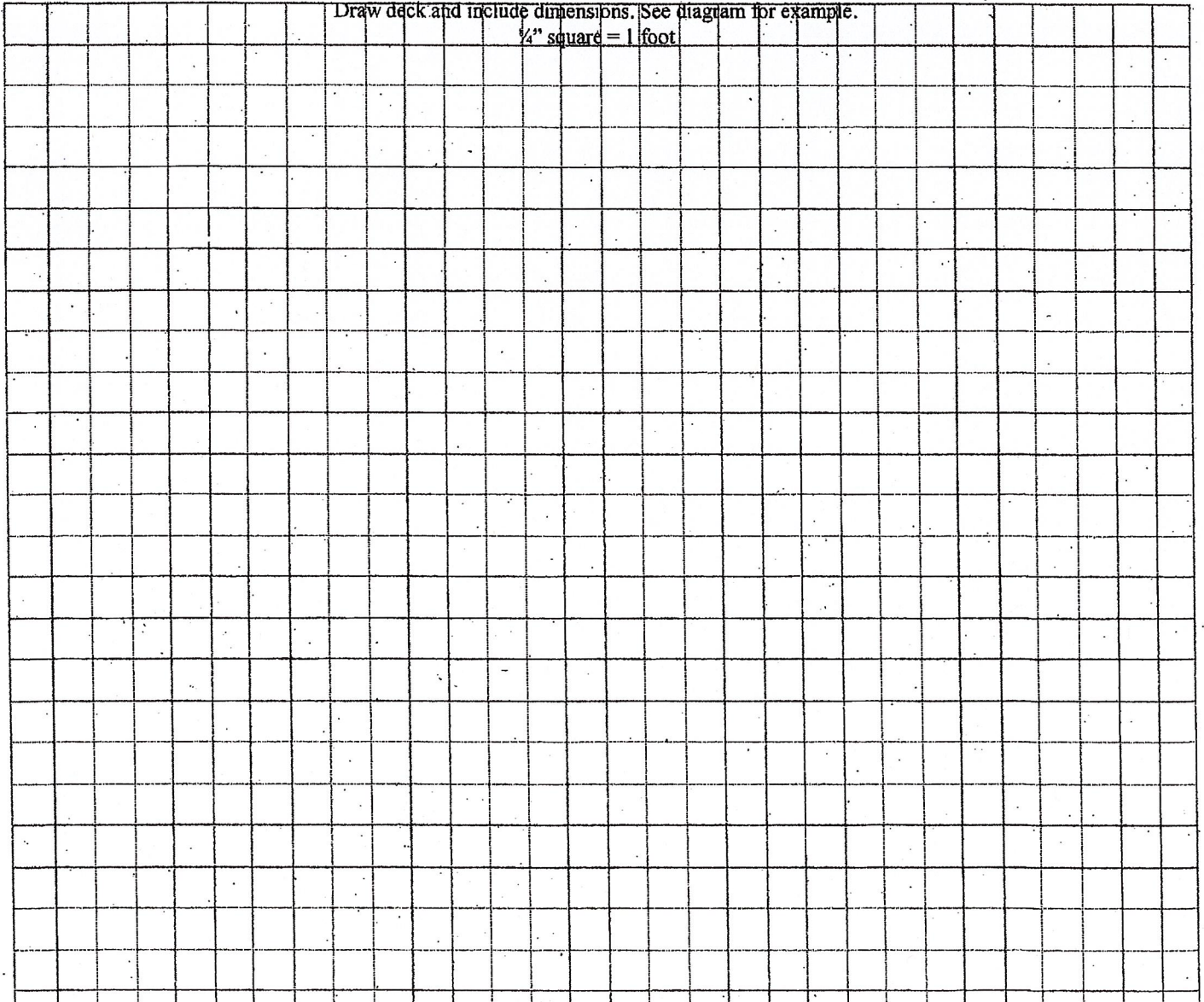
x

Flashing Type



Draw deck and include dimensions. See diagram for example.

¼" square = 1 foot



Deck Framing

Property address: _____

Joist Size

x

On Center Spacing

Max 12" o.c. if Diagonal Decking

Joist Span

/ 4 =

Joist Span divided by 4 = max allowable Joist Cantilever

Double/Triple Beams

Beam Size

x

Beam Span

/ 4 =

Beam Span divided by 4 = max allowable Beam Cantilever

Allowable Joist Span if **NO** Cantilever

	12 o.c.	16 o.c.	24 o.c.
2x6	9' 11/12"	9'	7' 7/12"
2x8	13' 1/12"	11' 10/12"	9' 8/12"
2x10	16' 1/12"	14'	11' 5/12"
2x12	18'	16' 6/12"	13' 6/12"

Allowable Joist Span **WITH** Cantilever

	12 o.c.	16 o.c.	24 o.c.
2x6	6' 8/12"	6' 8/12"	6' 8/12"
2x8	10' 1/12"	10' 1/12"	9' 8/12"
2x10	14' 6/12"	14'	11' 5/12"
2x12	18'	16' 6/12"	13' 6/12"

Allowable Beam Span

Beam Size	6' joist Span	8' joist Span	10' joist Span	12' joist Span	14' joist Span	16' joist Span	18' joist Span
2-2x6'	6' 11/12"	5' 11/12"	5' 4/12"	4' 10/12"	4' 6/12"	4' 3/12"	4'
2-2x8'	8' 9/12"	7' 7/12"	6' 9/12"	6' 2/12"	5' 9/12"	5' 4/12"	5'
2-2x10	10' 4/12"	9'	8'	7' 4/12"	6' 9/12"	6' 4/12"	6'
2-2x12	12' 2/12"	10' 7/12"	9' 5/12"	8' 7/12"	8'	7' 6/12"	7'
3-2x6'	8' 2/12"	7' 5/12"	6' 8/12"	6' 1/12"	5' 8/12"	5' 3/12"	5'
3-2x8'	10' 10/12"	9' 6/12"	8' 6/12"	7' 9/12"	7' 2/12"	6' 8/12"	6' 4/12"
3-2x10	13'	11' 3/12"	10'	9' 2/12"	8' 6/12"	7' 11/12"	7' 6/12"
3-2x12	15' 3/12"	13' 3/12"	11' 10/12"	10' 9/12"	10'	9' 4/12"	8' 10/12"

Please include measurements in drawing.

1. Please show beams and joists and how they are attached to the beam.
2. **Beam Span:** The distance between posts.
3. **Joist Span:** The length of the Joist from one side to the side that connects to the Beam.

Draw deck framing and include dimensions of each section. See table for allowable spans.

1/4" square = 1 foot

WORKERS' COMPENSATION INSURANCE

The State of New York requires that, prior to issuing any permits, the City of Rochester be provided with proof of Workers' Compensation Insurance coverage **or** provide proof of exemption from such coverage.

One of the following certificates must be provided by the applicant with each permit request:

- C105.2 or U-26.2 – Workers' Compensation Insurance (private carrier)
(contractor with employees)
- CE-200 – Exemption Certificate
(contractor with no employees)
- BP-1 – Affidavit of Exemption
(owner occupied 1-4 family & owner is performing work)
- SI12 or GSI-105.2 – Self Insurance coverage

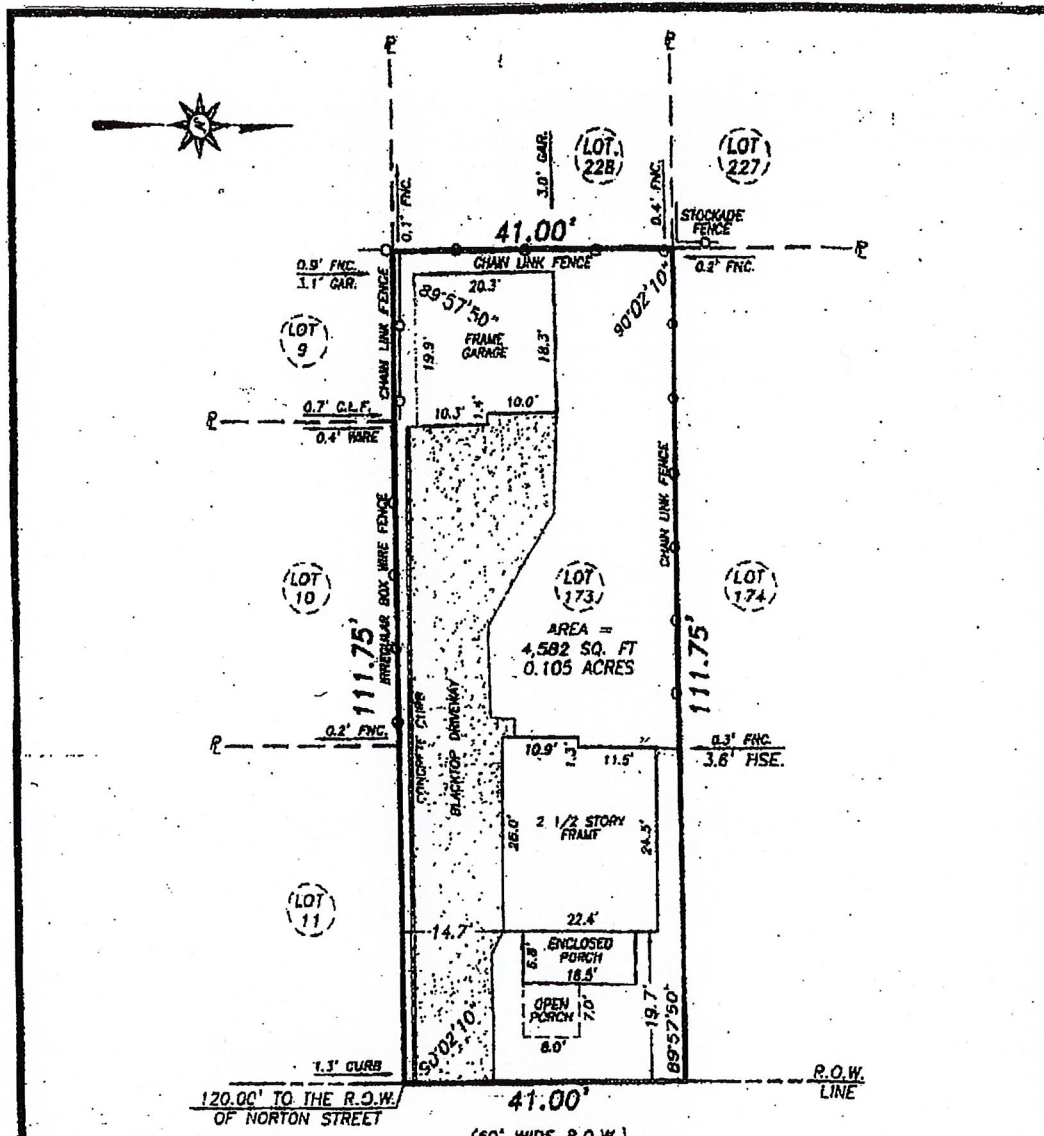
Helpful Hints:

- To obtain a CE 200 Exemption
 - <https://www.businessexpress.ny.gov/>
 - Worker's Compensation Board location at 130 W. Main Street (verify if open by calling 1-877-632-4996)
- Certificates for building permits are job-specific and a separate certificate will be required for each building permit.
- NYS does NOT accept "ACORD" Certificates nor will they accept faxed copies.

SAMPLE INSTRUMENT SURVEY MAP

NOTE:

- This is a sample of an Instrument Survey Map.
- The property owner should have received a copy at their closing.
- If you do not have one, you can check with your mortgage company or the attorney who handled your closing.
- The City does not keep copies of Instrument Survey maps.
- If you need to have a new one made, you need to call a Land Surveyor.



CERTIFICATION:

I, DAVID A. STAUB, HEREBY CERTIFY TO:
 -DESIREE RODRIGUEZ-MENDEZ
 -HARVEY S. BURNS, ESQ.
 -THE BANK OF CASTILE, ITS SUCCESSORS AND/OR ASSIGNS
 -UNDERBERG & KESSLER, LLP
 -THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE

THAT THIS MAP WAS MADE OCTOBER 19, 2017
 FROM NOTES OF AN INSTRUMENT SURVEY
 COMPLETED OCTOBER 3, 2017
 AND REFERENCES LISTED HEREON.

REFERENCES:

- 1.) LIBER 38 OF MAPS, PAGE 5.
- 2.) LIBER 11056 OF DEEDS, PAGE 99.
- 3.) ABSTRACT OF TITLE No. 412329 (FIRST AMERICAN).

NOTES: 1.) PREMISES SUBJECT TO ALL EASEMENTS, RESTRICTIONS & COVENANTS OF RECORD NOT REFERENCED IN ABSTRACT OF TITLE.
 2.) THE USE OF THIS MAP IN CONJUNCTION WITH AN AFFIDAVIT OF NO CHANGES RELEASES THE SURVEYOR OF ALL RESPONSIBILITY.

N.Y.S.P.L.S. No. 50791 DATE

TITLE: **INSTRUMENT SURVEY MAP**
 BEING LOT No. **OF THE RALEIGH SUBDIVISION,**
CITY OF ROCHESTER, COUNTY OF MONROE, STATE OF NEW YORK

Unauthorized alteration or addition to a survey map bearing a Registered Land Surveyor's seal is a violation of Section 7506, sub-section 2, of the New York State Education Law.

Only copies from the original of this survey marked with an original of the land surveyor's red ink seal shall be considered to be valid true copies.

Certifications indicated herein signify that this survey was prepared in accordance with the Recording Code of Professional Land Surveyors established by the New York State Association of Professional Land Surveyors. Such certifications shall not apply to the person for whom the survey is prepared, used on the label to the title company, governmental agency and lending institution (bank, mortgage, etc.) and to the attorney of the lending institution. Certifications are not transferable to additional indications or subsequent owners.

An electronic file of this survey map may be distributed to other parties for any purpose whatsoever.



TRIPLE POINT LAND SURVEYING, LLC.
 18 EAST MAIN STREET SUITE 320
 ROCHESTER, NEW YORK 14614
 PHONE (585) 263-9950
 FAX (585) 263-3581
 TRIPLEPOINTSURVEYING@YAHOO.COM

SCALE: 1" = 20' TAX ACCOUNT: 91.64-1-12 JOB NO.: 1429-17 DATE: OCT 19 2017