



Project Review Committee (PRC)  
Agenda

Date: Wednesday, February 16, 2022  
Time: 4:00 p.m.  
Location: <https://www.youtube.com/c/CityofRochesterVideos>

Case Number:	1
File Number:	SP-016-21-22
Case Type:	Major Site Plan Review
Address:	101-113 Franklin St, 106 Pleasant St, 317, and 325 Andrews St
Zoning:	CCD-B Center City Base District
Quadrant	Southwest
Applicant:	Eugenio Marlin, Ibero-American Development Corporation
Request:	To construct a six-story, 14,800 square foot, mixed-use building with a 36-space parking area. When completed the building will offer 76 dwelling units and 2,810 square feet of commercial space. Work scope includes a new curb cut and the resubdivision of the subject properties.
Review Requirement:	120-191D(3)(c)[2] Applications in the CCD that include major deviations from the design criteria.
Enforcement:	No
SEQR:	Unlisted
Lead Agency:	Manager of Zoning
Contact:	Anna Keller, <a href="mailto:siteplanreview@cityofrochester.gov">siteplanreview@cityofrochester.gov</a>

Case Number:	2
File Number:	SP-012-21-22
Case Type:	Minor Site Plan Review
Address:	242, 246 Ormond St, and 3 Leopold St
Zoning:	M-1 Industrial District
Quadrant	Northeast
Applicant:	John Cooper, Rochester Storage QOZ, LLC
Request:	To establish a self-service storage operation consisting of 130 containers to be used as individual storage units and to be placed on the project site (not within a fully enclosed building). Proposal includes resubdividing the subject properties.
Review Requirement:	120-191D(3)(a)[10]Projects involving or abutting a designated landmark or those involving or abutting a site listed or eligible for listing on the State or National Register of Historic Places.
Enforcement:	No
SEQR:	Unlisted
Lead Agency:	Manager of Zoning
Contact:	Anna Keller, <a href="mailto:siteplanreview@cityofrochester.gov">siteplanreview@cityofrochester.gov</a>





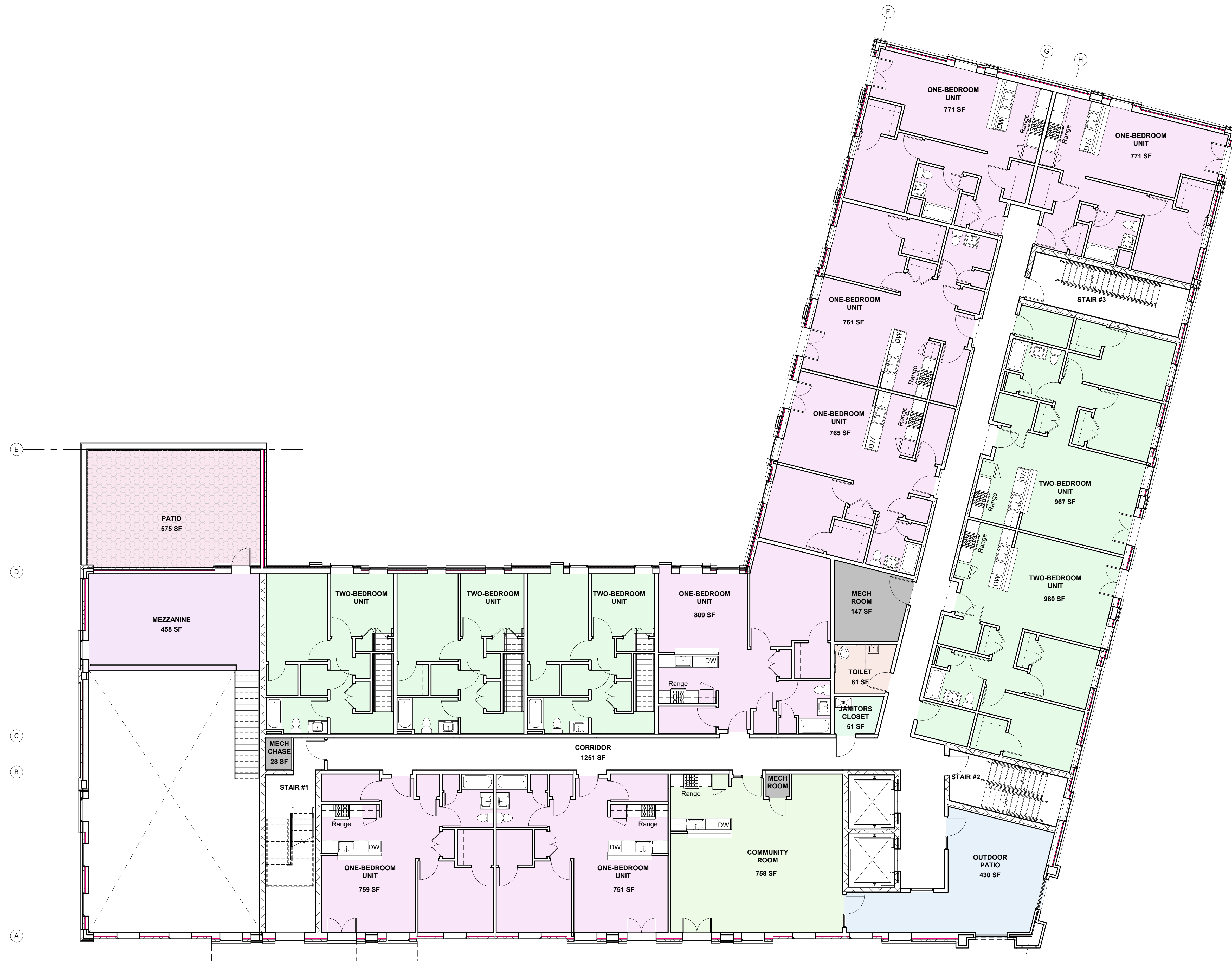




FRANKLIN STREET



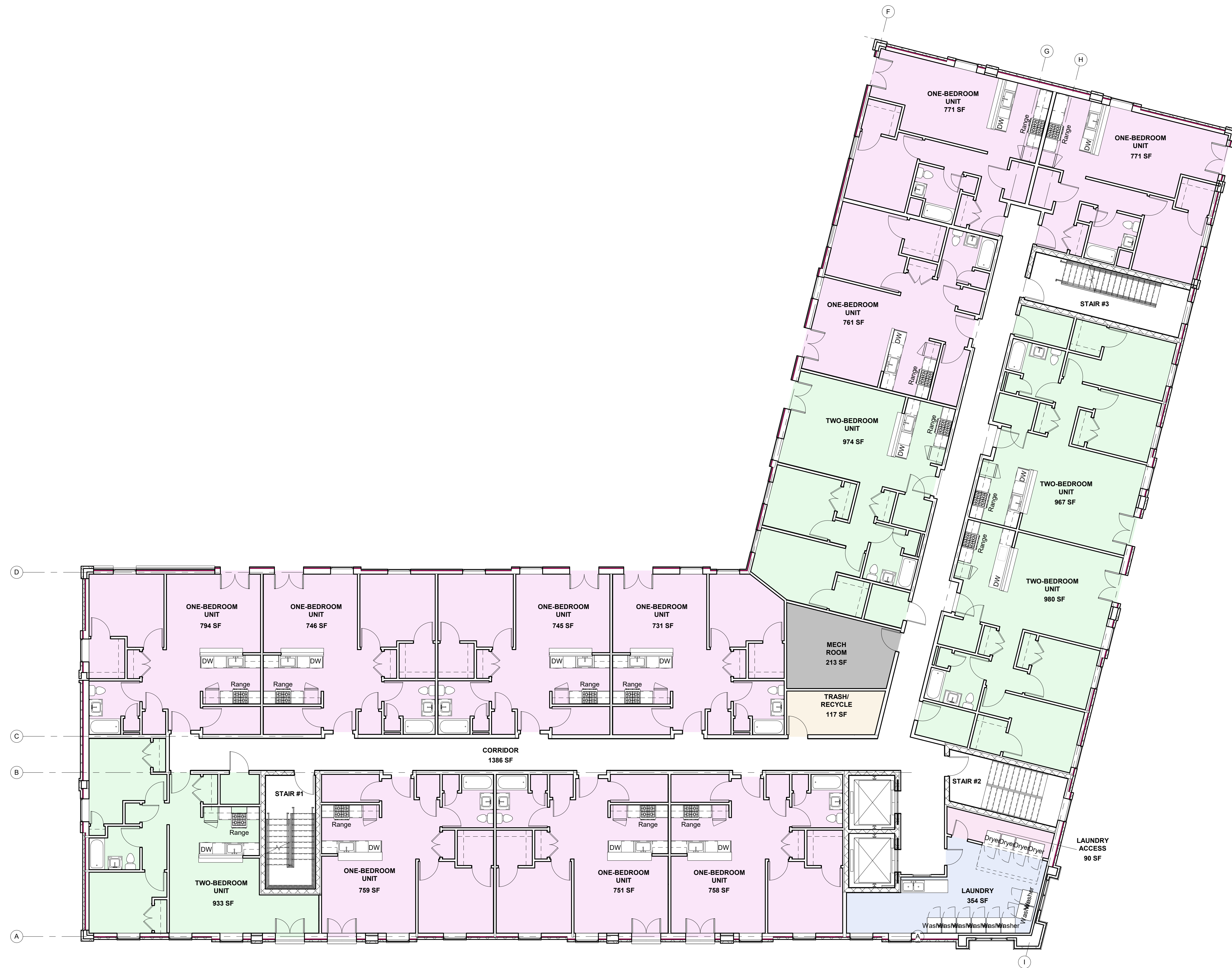




SECOND FLOOR



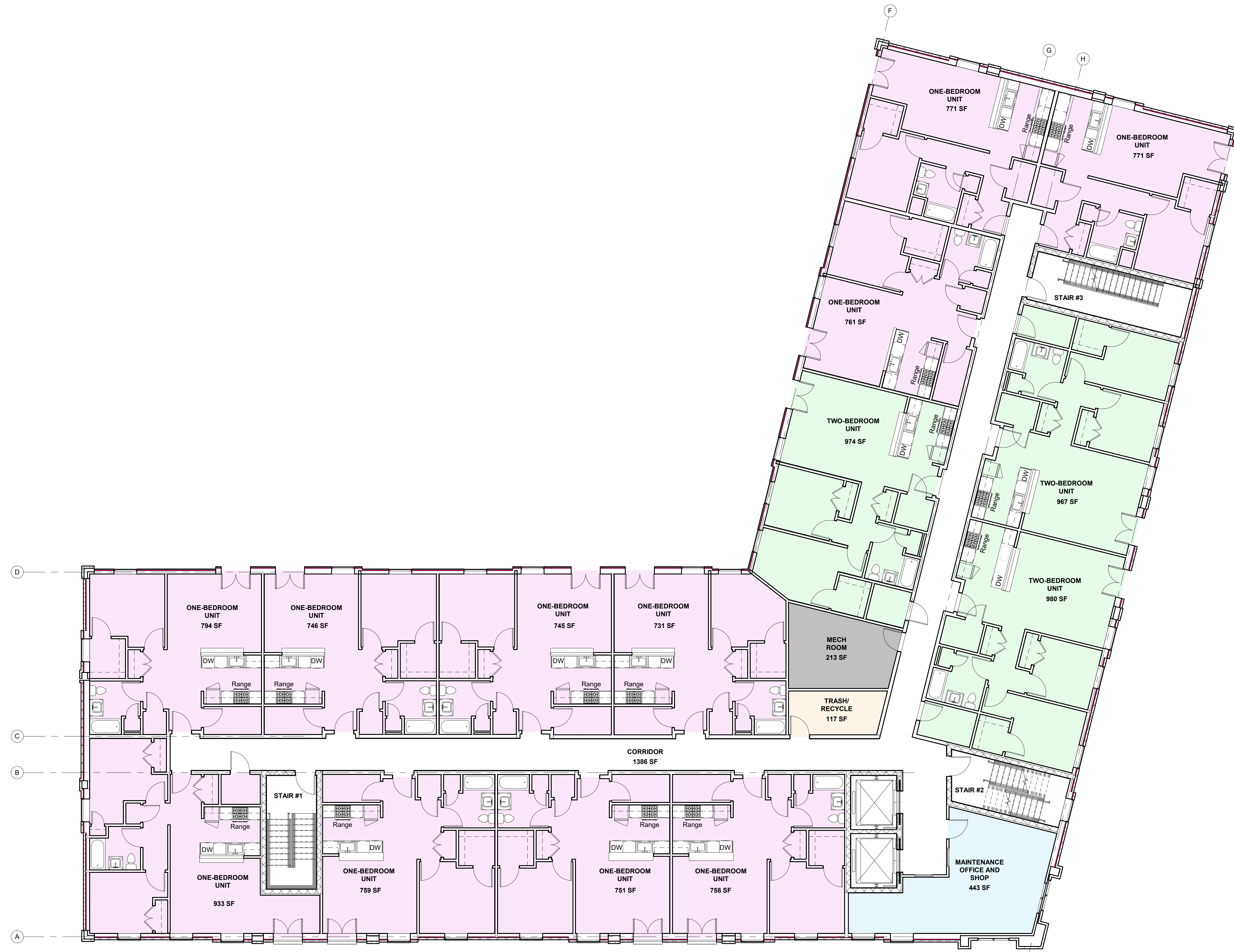




THIRD FLOOR







FOURTH FLOOR







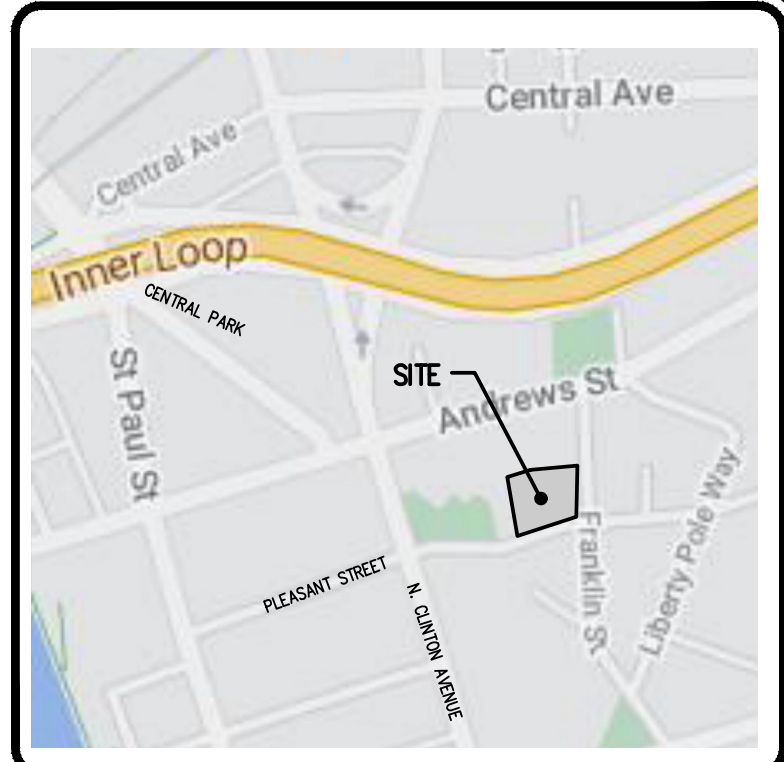
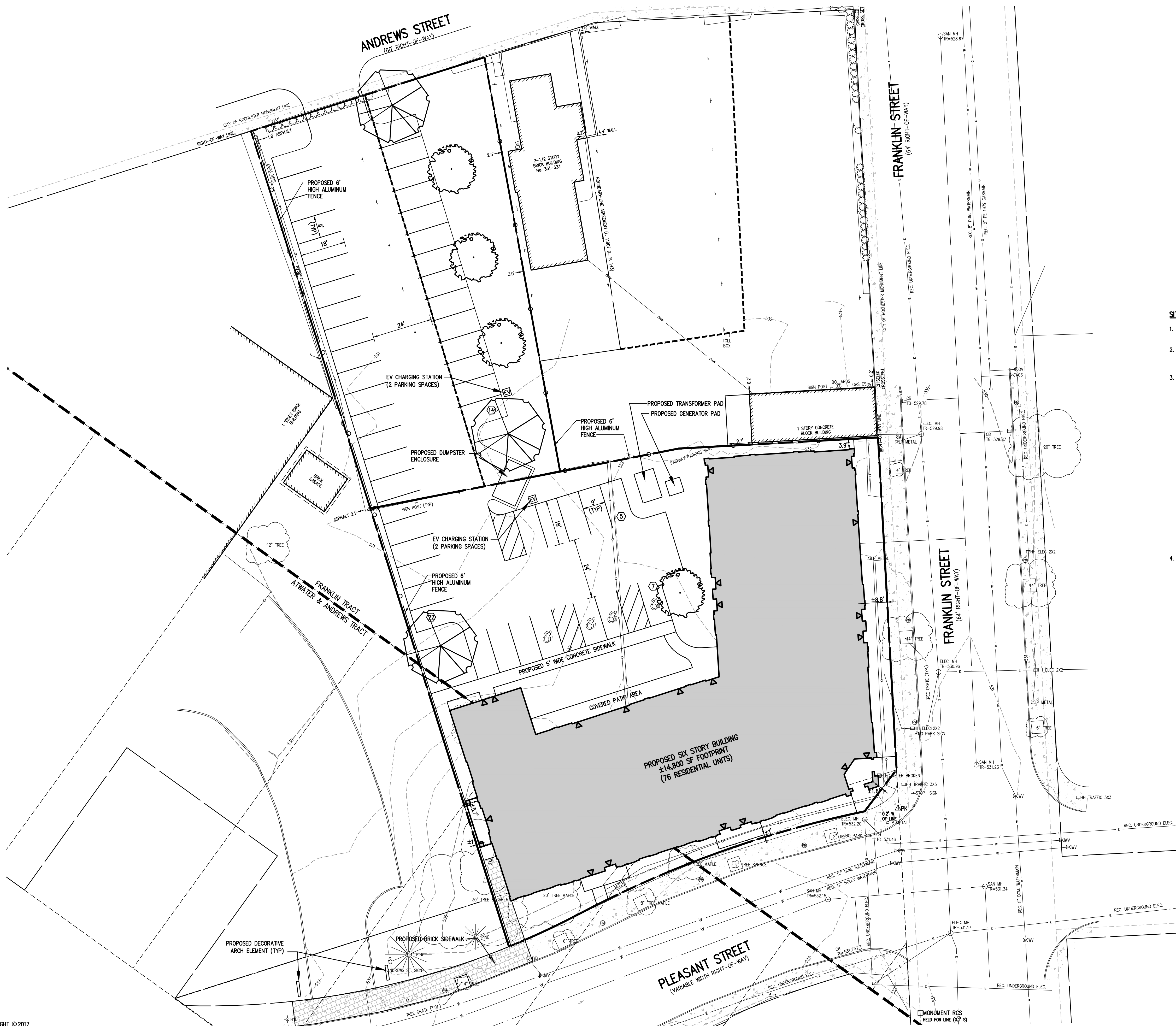
FIFTH FLOOR





SIXTH FLOOR





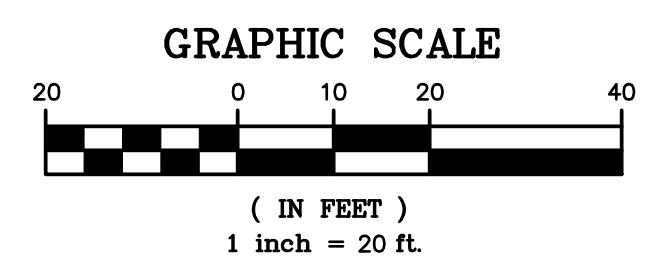
**LOCATION MAP**  
NOT TO SCALE

**SITE NOTES:**

- EXISTING ZONING: (CC)CENTRAL CITY DISTRICT
  - TOTAL LOT AREA : ± 44,201 S.F. (1.01 ACRES)  
PROPOSED USE: MULTI-FAMILY RESIDENTIAL (76 UNITS)
  - LOT DIMENSIONS ARE AS FOLLOWS:
- |                      | CC DISTRICT  | PROPOSED   |
|----------------------|--|------------|
| MIN. LOT AREA        | N/A  | 1.01 ACRES |
| MIN. LOT WIDTH       | 45'  | ±132'      |
| SETBACKS             |  |            |
| FRONT YARD           | WITHIN 2' OF AVERAGE SETBACK OF THREE ADJACENT BUILDINGS MAXIMUM 15' | ±1.5'      |
| SIDE YARD            | N/A  | ±1'        |
| REAR YARD            | N/A  | ±3.9'      |
| MAX. BUILDING HEIGHT | 6 STORIES  | 6 STORIES* |
| MAX. BLDG. COVERAGE  | N/A  | ±51%       |
| MAX. LOT COVERAGE    | N/A  | ±76%       |
| PARKING              | NOT REQUIRED   | 48 SPACES  |
- \*VARIANCES/ WAIVERS MAY BE REQUIRED BASED UPON DETERMINATION OF STREET CLASSIFICATION.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.

**NOT APPROVED**

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



**LEGEND**

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	PROPERTY MARKER FOUND
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE

NO.	DATE	BY
7		
6		
5		
4		
3		
2		
1		

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
PHONE: 565-577-7380  
FAX: 565-577-7389  
10 LIFT BRIDGE LANE EAST  
ROCHESTER, NY 14620  
WWW.BMEPC.COM

**ALTA VISTA**  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK  
BERCO-AMERICAN DEVELOPMENT  
954 GIFFORD AVE.  
ROCHESTER, NY 14621

**CONCEPTUAL SITE PLAN**

PROJECT	DATE
LOCATION	DATE
CLIENT	DATE
DRAWING TITLE	DATE ISSUED
	1"=20'
	SEPT 2021
PROJECT NO.	
	2744
DRAWING NO.	
	01

PHELPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, 3RD DIVISION, FRANKLIN TRACT, T.A. No. 106.80-1-25.001 & ATWATER & ANDREWS TRACT, T.A. No. 106.80-1-44.003



# Project Review Committee (PRC) Referral

<b>Addresses</b>	101-113 Franklin St, 106 Pleasant St, 317, and 325 Andrews St
<b>Reason for Referral</b>	In accordance with 120-181G(1), all major site plans shall be referred to the PRC for review and recommendation.
<b>Next Steps</b>	<ul style="list-style-type: none"> <li>• PRC to review deviations from design requirements and provide recommendation to MOZ.</li> <li>• MOZ to review PRC recommendation and issue a site plan determination accordingly.</li> </ul>

## Definitions

### YARD, FRONT

An open space extending the full width of the lot between a main front building line and the front lot line, unoccupied and unobstructed by buildings or structures from the ground upward, the depth of which shall be the least distance between the front lot line and the front of the main front building line. On corner lots, the front yard shall be any yard that fronts on a street. In the case of uses or parcels without a principal structure, the front yard shall be a line drawn parallel to a front lot line a distance equal to the depth of the required front yard setback.

### LOT, DOUBLE-FRONTAGE

A lot having frontage on two nonintersecting streets.

### LOT LINE, FRONT

in the case of a double-frontage lot, each property line separating the lot from a street shall be considered the "front lot line."

## Major Deviation

Code Section	Requirement	Proposal
120-66D(1)(e)[1][b]	Front yard setback shall be: City street: shall be within two feet of the average setback of three adjacent buildings on either side of the building to a maximum of 15 feet.	Project site is considered a 'double-frontage lot' as it has frontage on two nonintersecting streets (Pleasant St, Franklin St, and Andrews St). The property line separating the project site from Andrews St is considered a front lot line. The building line is approximately 240 feet from the Andrews St front lot line. The maximum front setback requirement for the district is 15 feet.

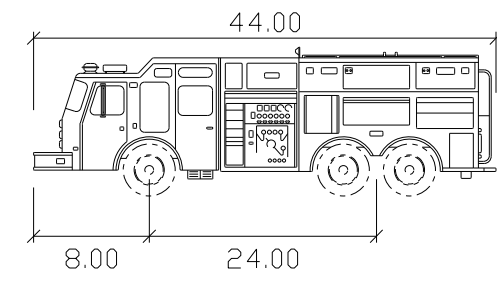
## Minor Deviations

Code Section	Requirement	Proposal
120-66D(1)(a)[1]	Buildings shall exhibit a vertical mass on the street frontage.	Material layout does not reinforce vertical fenestration pattern.
120-66D(2)(b)[1][a]	Window coverage. City and district streets. All first floor building facades shall be a minimum 40% and a maximum 75% window coverage.	See attached window calculation sheet.
120-66D(2)(b)[2]	All other floors on building facades shall be a minimum 25% and a maximum 60% window coverage.	See attached window calculation sheet.
120-66D(2)(b)[3]	All other facades shall be a minimum 20% window coverage.	See attached window calculation sheet.
120-66E(1)(a)[2]	Building parking shall be located in the rear yard and be hard surfaced.	The property line separating the project site from Andrews St is considered a front lot line. The unobstructed space between the building



		and the Andrews St front lot line is considered a front yard. The proposed parking lot is located in the front yard.
120-66E(1)(a)[7]	Parking lots shall have one paved pedestrian walkway to each street frontage sidewalk a minimum six feet and a maximum eight feet wide. Pedestrian walks shall be hard surfaced and equal in material and pattern to the adjacent sidewalk.	A paved pedestrian walkway to the Andrews St frontage is not proposed.

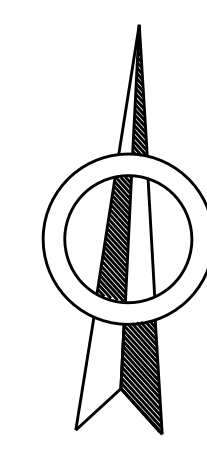
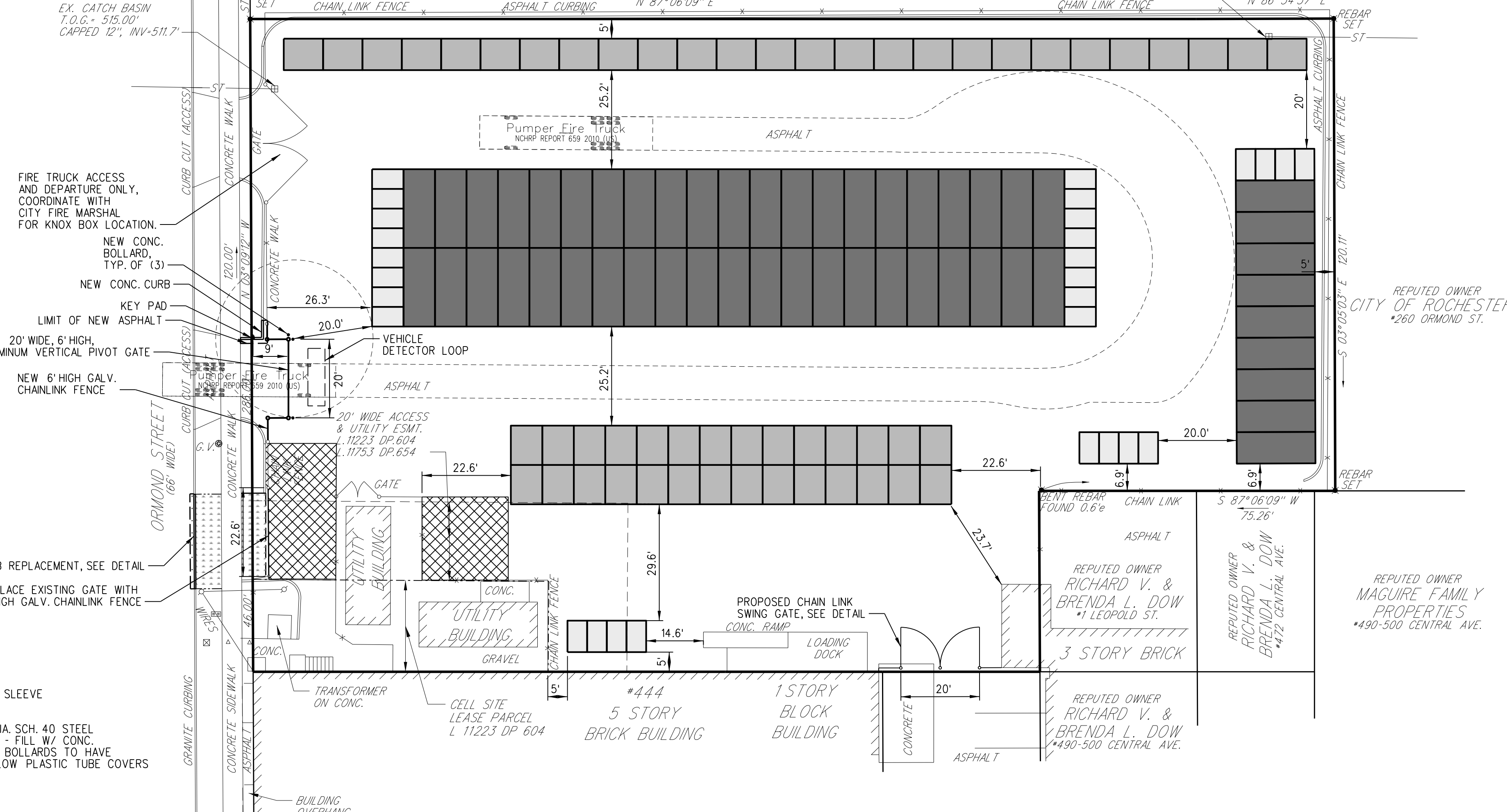




**Pumper Fire Truck**

Feet

- Width : 8.50
- Track : 8.50
- Lock to Lock Time : 6.0
- Steering Angle : 37.8

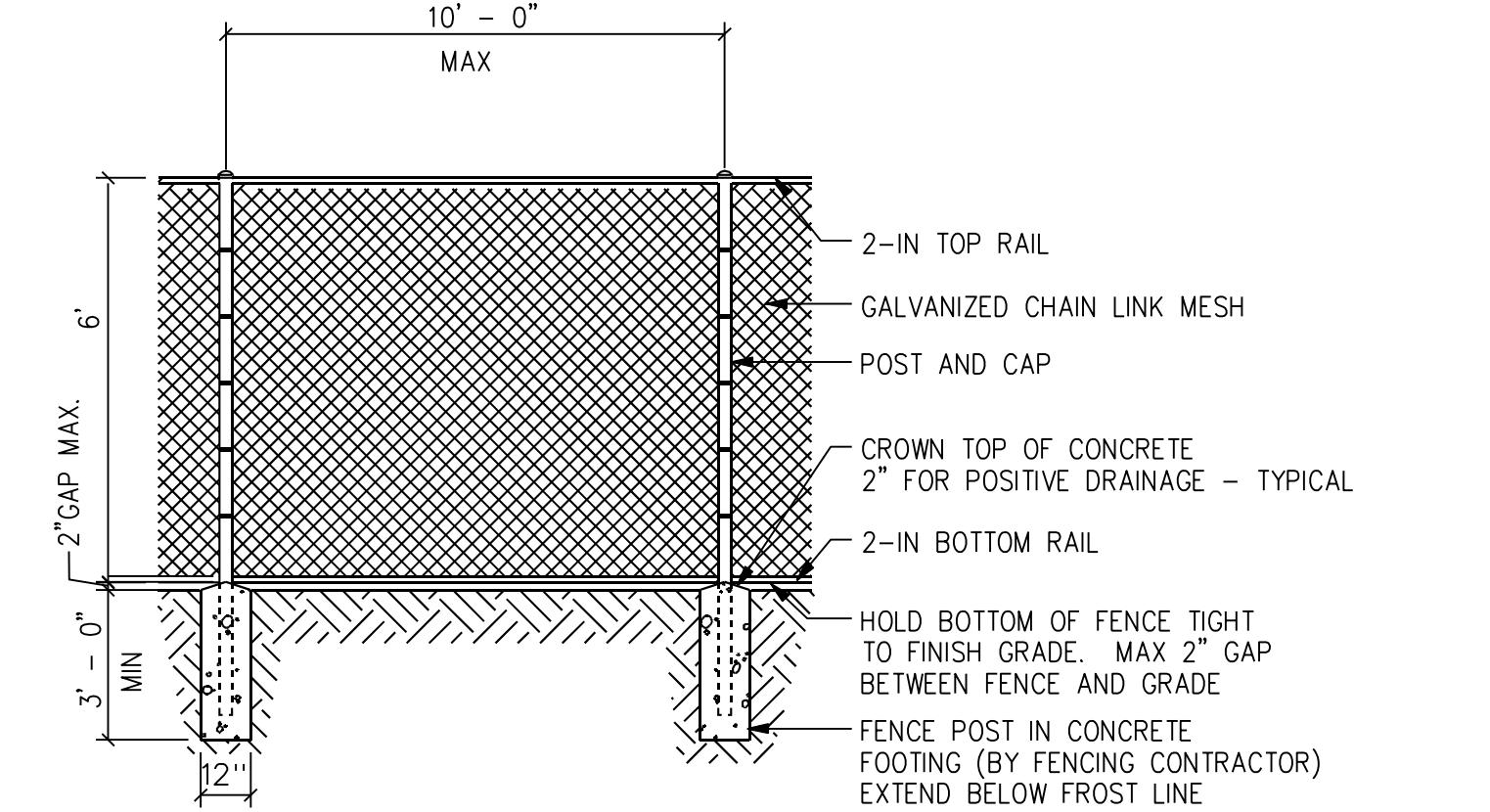


- SITE NOTES:**
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
  - THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC IN THE CONSTRUCTION AREA, IN AN ADEQUATE AND SATISFACTORY MANNER.
  - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREAS OF CONSTRUCTION
  - THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER'S AND CITY OF ROCHESTER'S STANDARD SITEWORK SPECIFICATIONS.
  - REFERENCES TO NYS DOT STANDARDS SHALL MEAN THE "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, OFFICE OF ENGINEERING, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, SEPTEMBER 2021, WITH ALL CURRENT ADDENDUMS.

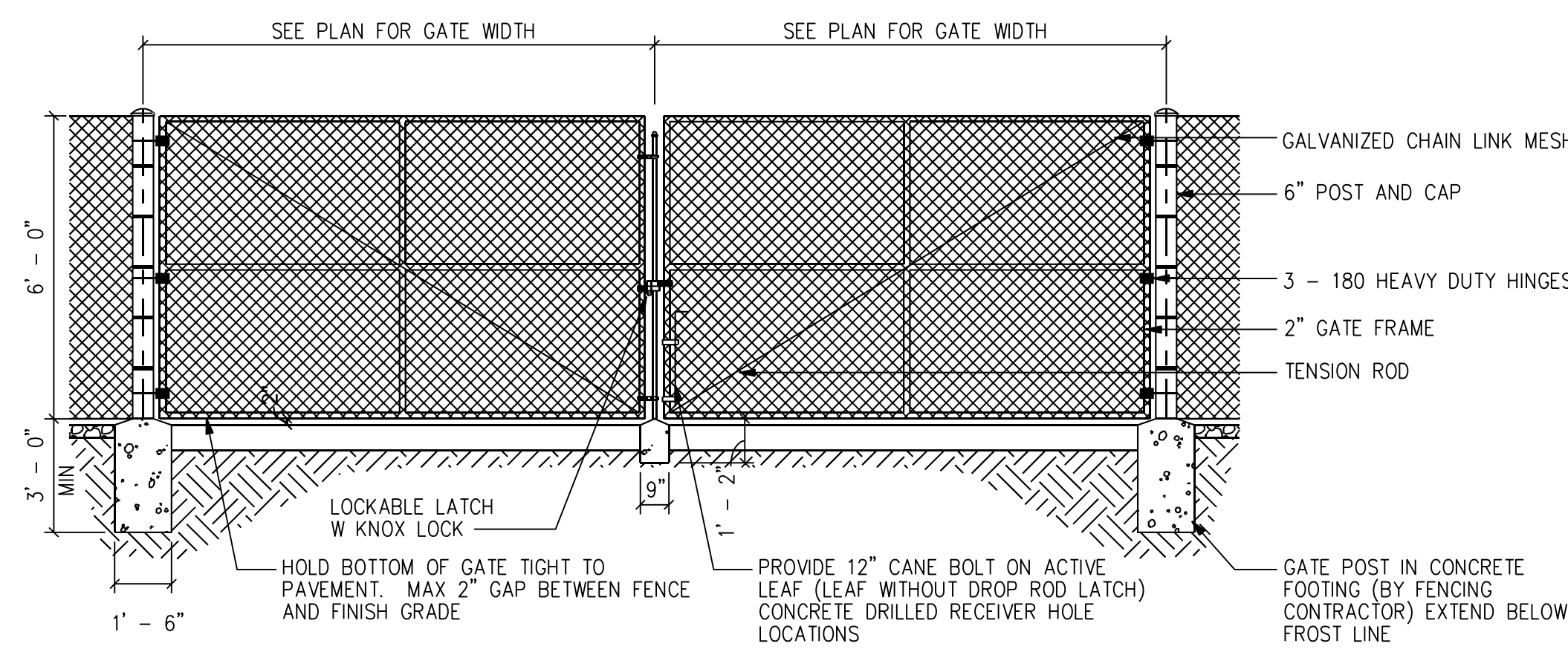
- LEGEND**
- LIMIT OF ASPHALT SAWCUT
  - [Pattern] NEW ASPHALT PAVEMENT
  - [Pattern] NEW LAWN/LANDSCAPE AREA
  - [Pattern] SNOW STORAGE AREA
  - [Pattern] 5'x8' STORAGE UNIT (40 SQ. FT.)
  - [Pattern] 8'x10' STORAGE UNIT (80 SQ. FT.)
  - [Pattern] 8'x20' STORAGE UNIT (160 SQ. FT.)

**UNIT SUMMARY**

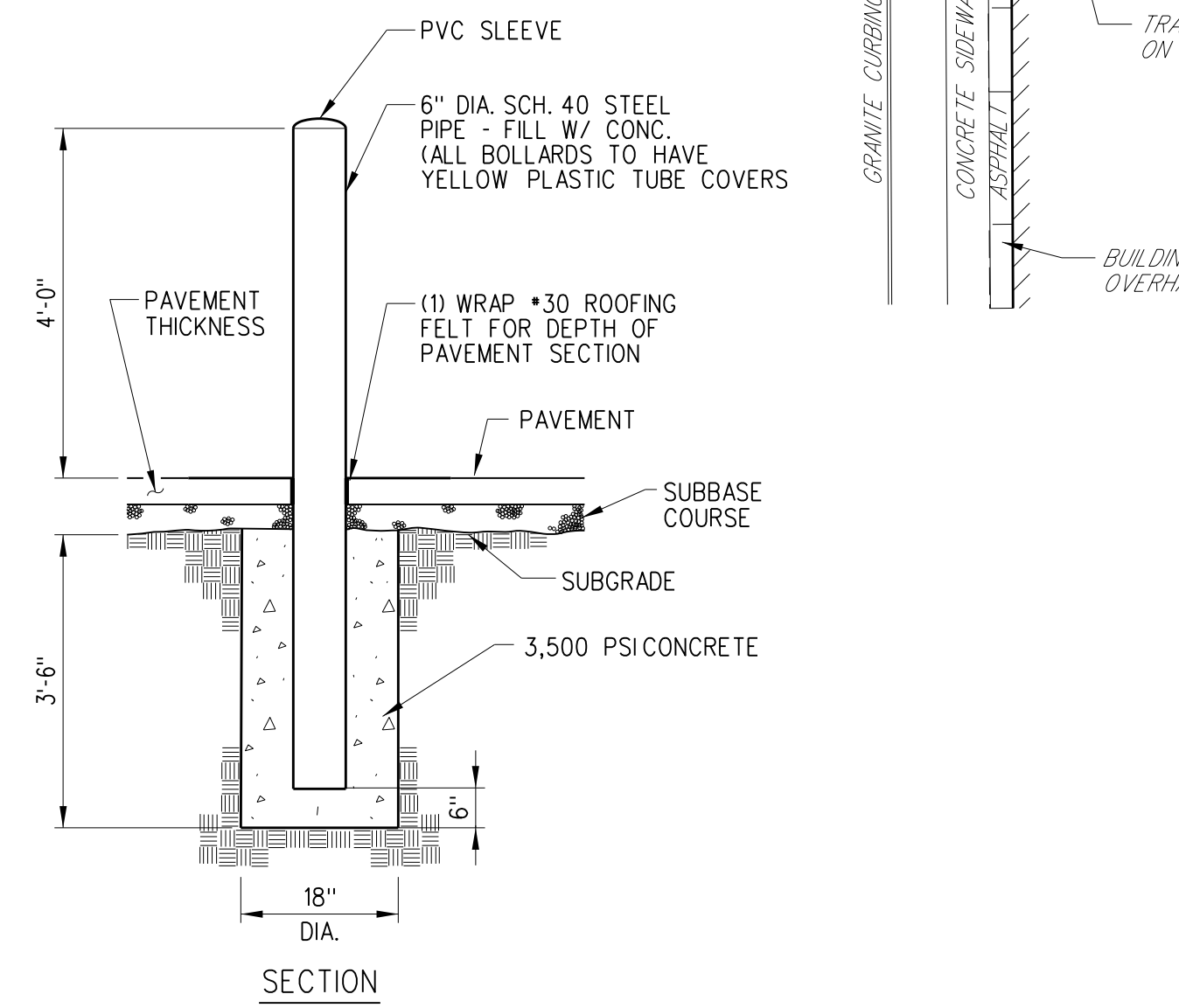
5'x8' STORAGE UNIT - 28 UNITS (08/2) = 1,120 SQ. FT.  
 8'x10' STORAGE UNIT - 54 UNITS (32/2) = 4,320 SQ. FT.  
 8'x20' STORAGE UNIT - 51 UNITS (60/2) = 8,160 SQ. FT.  
**TOTAL STORAGE UNITS - 133 UNITS = 13,600 SQ. FT.**



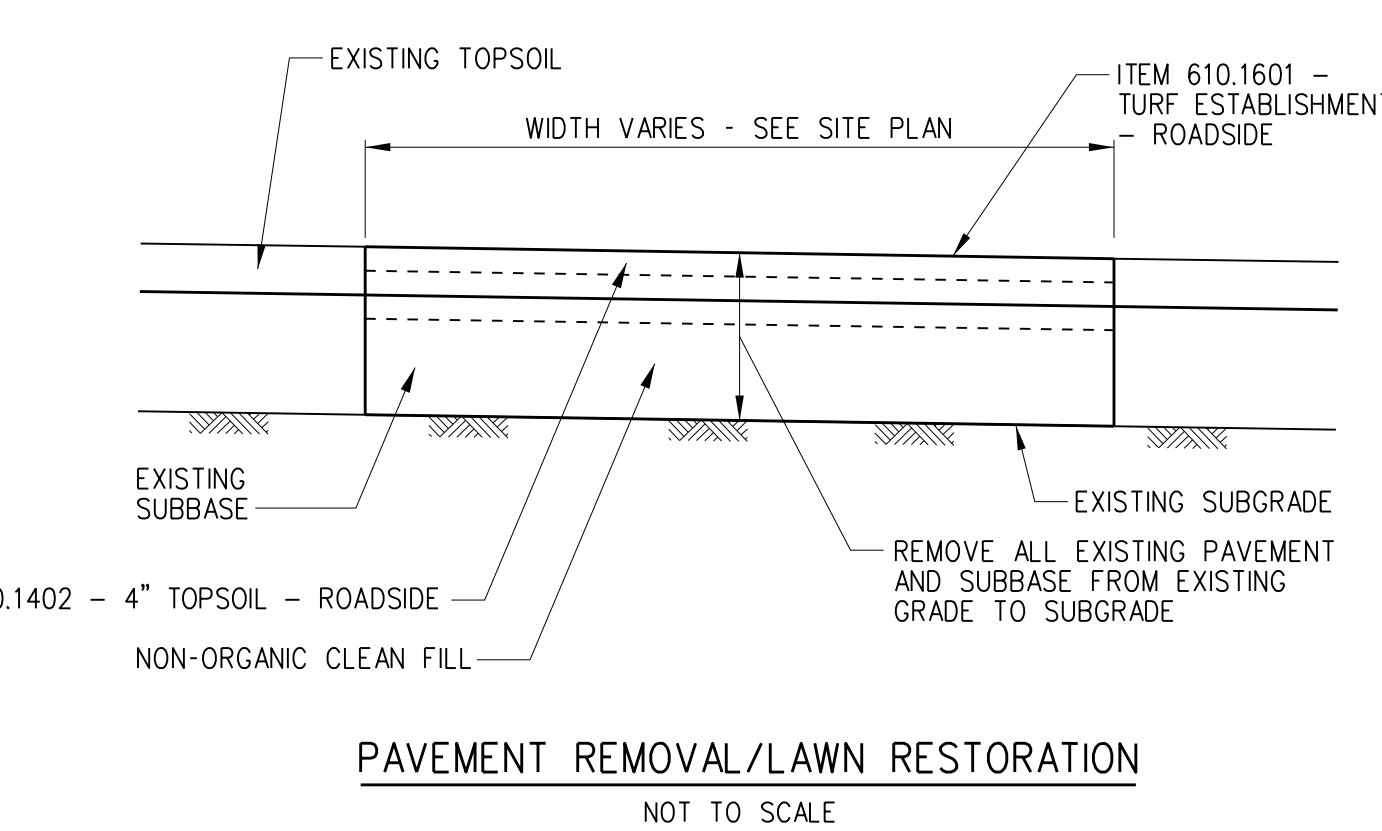
**CHAINLINK FENCE**  
NOT TO SCALE



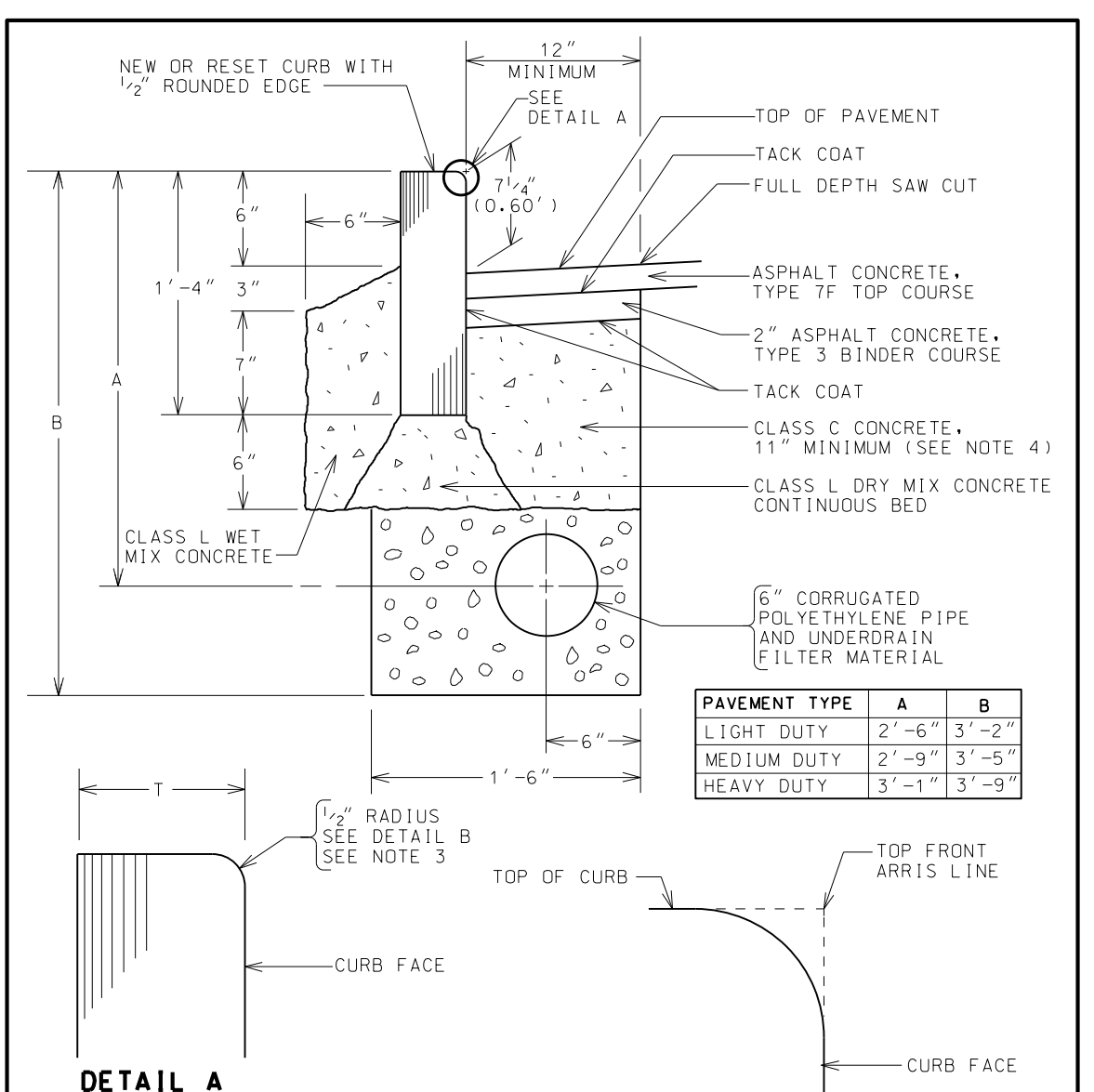
**SWING GATE**  
NOT TO SCALE



**BOLLARD**  
NOT TO SCALE



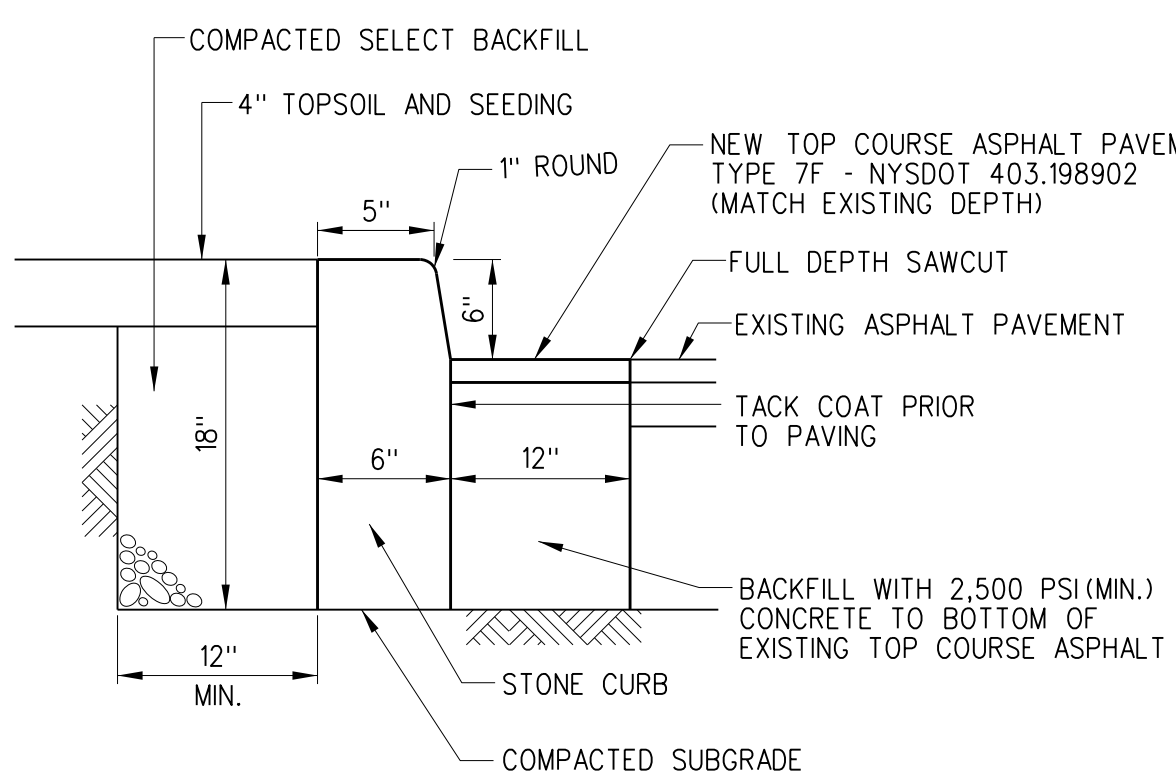
**PAVEMENT REMOVAL/LAWN RESTORATION**  
NOT TO SCALE



- NOTES:**
- CURB THICKNESS T IS TO BE 5" AND CURB REVEAL 7/4" OR AS INDICATED ON THE DRAWINGS.
  - PROVIDE 0" CURB REVEAL FOR HEADER CURB AT SIDEWALK RAMPS AND 1/2" FOR HEADER CURB AT DRIVEWAYS.
  - HEADER CURB TO BE USED FOR SIDEWALK ACCESS RAMPS IS NOT TO HAVE RADIUS.
  - THE TOP OF THE NEW CLASS C CONCRETE IS TO BE EVEN WITH OR LOWER THAN THE TOP OF THE EXISTING BASE, IN ORDER TO PROVIDE MINIMUM THICKNESS ASPHALT TOP AND BINDER.

**DETAIL B**

PAVEMENT TYPE	A	B
LIGHT DUTY	2'-6"	3'-2"
MEDIUM DUTY	2'-9"	3'-5"
HEAVY DUTY	3'-1"	3'-9"



**STONE CURB INSTALLATION WITHIN EXISTING ASPHALT AREA**  
NOT TO SCALE

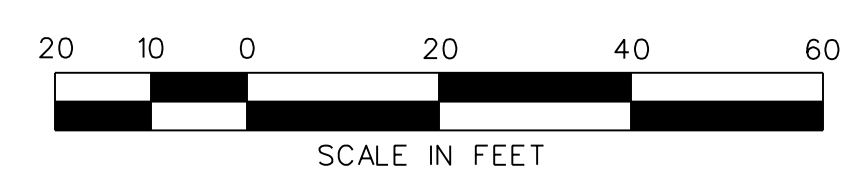
**PLANS ISSUED FOR**

<input type="checkbox"/> PRELIMINARY	DATE: _____
<input type="checkbox"/> ADVANCED	DATE: _____
<input type="checkbox"/> OWNER APPROVAL	DATE: _____
<input type="checkbox"/> PERMIT	DATE: _____
<input type="checkbox"/> REVISIONS	DATE: _____
<input type="checkbox"/> RECORD DRAWINGS	DATE: _____
<input type="checkbox"/> CONSTRUCTION	DATE: _____

**EXHIBIT B**

**Dig Safely. New York**  
 800-962-7962  
 www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care



**REVISIONS**

NO.	DATE	DESCRIPTION

DATE: \_\_\_\_\_

**TYLIN INTERNATIONAL**  
 255 East Avenue  
 Rochester, New York 14604  
 565-512-2000 | 565-687-3449 f

**ORMOND STREET SELF STORAGE**  
 242 & 244 ORMOND STREET, CITY OF ROCHESTER, NY 14605

**ROCHESTER SELF STORAGE QOZ, LLC**  
 7300 NORTH CICERO AVENUE, SUITE 201, LINCOLNWOOD, ILLINOIS

**SITE PLAN**

PROJECT NO: 650308.00	PROJ. MGR. RLB
DATE: 08/16/21	DRWN. BY: WAB
SCALE: 1"=20'	CHKD. BY: JRB
DRAWING NO: C-1	SHEET NO. 1 OF 1





Project Review Committee (PRC) Comments

Date: February 16, 2022  
Time: 4:00 p.m.  
Location: <https://www.youtube.com/c/CityofRochesterVideos>  
Topic: 101-113 Franklin St, 106 Pleasant St and 317 and 325 Andrews St  
Members Present: Dave Beinetti, Architect, President / Principal, SWBR Architects  
Roger Brown, Urban Design Specialist / Architect  
Donna Clements, City Engineer Designee  
Matt Vanderwall, Manager of Code Enforcement Designee  
James Yarrington, Architect, Adjunct Professor, RIT Director of Campus Planning, Design and Construction Services  
Staff: Marcia Barry, Manager of Zoning Designee  
Kate Powers, Senior City Planner  
Action: Held, additional information required

Findings

In accordance with 120-181D, the PRC shall review all major site plans referred to it by the Manager of Zoning and make a recommendation to approve, approve subject to conditions or deny the application. The major site plan review application, SP-016-21-22 at 101-113 Franklin St was reviewed by the PRC at their 2/16/22 meeting.

This project proposes to redevelop four parcels of vacant, City-owned land into a six-story, 14,800 square foot, mixed-use building with a 36-space parking lot. When completed, the building will offer 76 dwelling units and 2,810 square feet of commercial space. The subject properties are located in the Center City Base District (CCD-B). The design intent of the CCD-B district is to preserve the design character of the public realm, maintain and enhance the existing diversity and variety in the public realm, promote street-level activity and uses, and create green streets and mid-block corridors to enhance pedestrian circulation. The project site is both a corner lot and a double frontage lot with frontage on Andrews St, Franklin St, and Pleasant St. The project site is proximate to the proposed redevelopment of the Inner Loop North transformation project.

Comments

Massing

The material layout does not reinforce a vertical fenestration pattern.

Requests:

- 1) Revise building design accordingly.

Transparency

It is necessary for the proposed project to align with the purpose of the zoning district by designing the building and configuring the site with the public realm in mind. The PRC recommends providing



transom windows above current proposed windows and doors on all first floor facades and/or increasing the size of the proposed doors.

**Requests:**

- 1) Transparency requirements for all first floor facades must be met.
- 2) Transparency requirements for all facades facing the landmark site must be met.

### Commercial Entrance

The project site is adjacent to St Joseph's Park, a landmark site. The project plans include a 2,810 square foot commercial, multi-purpose room intended to be used for special events occurring at the adjacent landmark park. The PRC stated that the detailing of the proposed building, specifically the façade that faces the landmark site is important due to the proximity and relationship to the landmark site. Given that a new commercial space is proposed in the CCD-B district pedestrian access is needed to strengthen and maintain street-level activity and pedestrian circulation.

**Requests:**

- 1) Provide renderings that demonstrate how the proposed building, specifically the west façade relates to the adjacent landmark site. Be sure to include any other improvements that strengthen the connection between the two structures.
- 2) Provide an entrance to the commercial space with direct pedestrian access from the street.

### Design

Additional detailing is requested on the tower situated on the Corner of Franklin St and Pleasant St. This tower should serve as a prominent architectural feature of the proposed building.

The PRC is unable to comment on the brick pilasters with the provided renderings and thus requests new renderings in order to determine if their massing is satisfactory or whether a modification or alternative is preferable.



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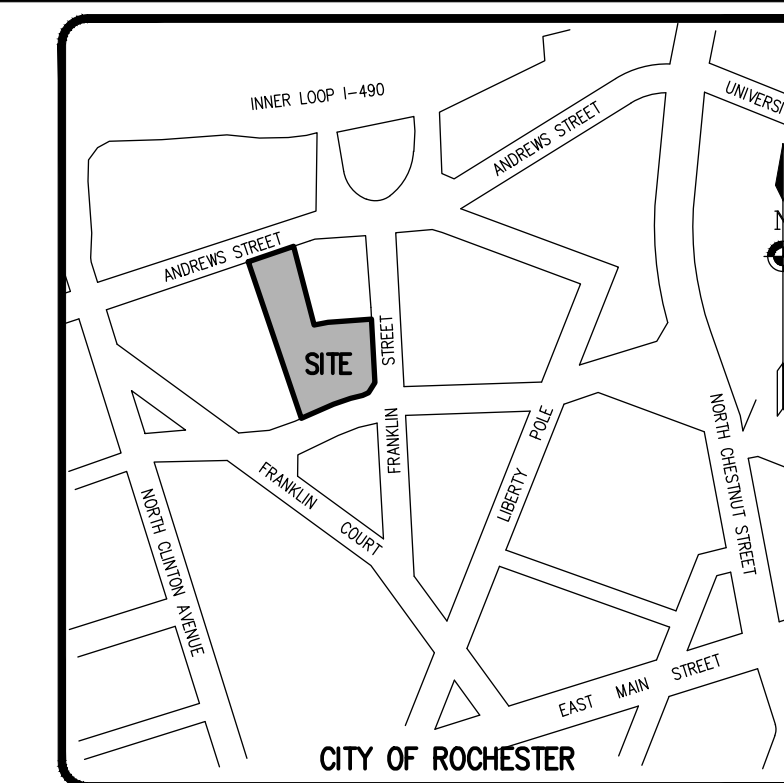
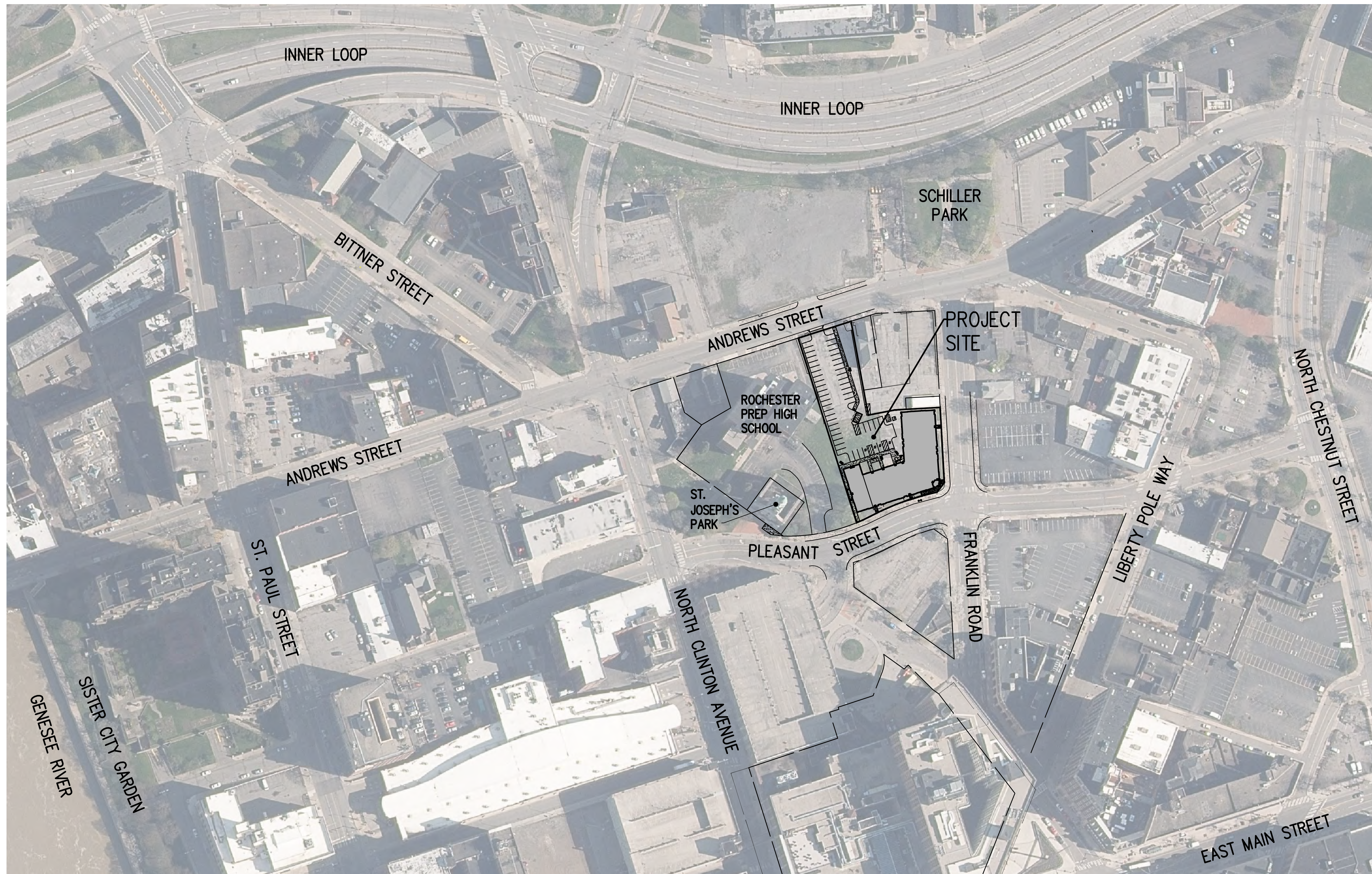
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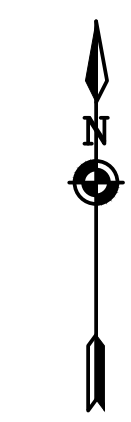
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P:\2744\Drawings\Final\2744\_Cover\_Sheet.dwg



LOCATION MAP  
NOT TO SCALE



# ALTA VISTA AT ST. JOSEPH'S PARK

(317, 325 Andrews Street & 101-113 Franklin Street & 106 Pleasant Street)

CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:  
**ALTA VISTA HOUSING LLC**

954 CLIFFORD AVE.  
ROCHESTER, NY 14621

## FINAL SITE PLANS ALTA VISTA AT ST. JOSEPH'S PARK

DWG. No.	TITLE
2744-03	COVER SHEET
2744-04	SITE PLAN
2744-05	CONSOLIDATION PLAT
2744-06	EXISTING CONDITIONS / DEMOLITION PLAN
2744-07	UTILITY PLAN
2774-08	GRADING PLAN
2274-09	CONSTRUCTION EROSION CONTROL PLAN
2774-10	LANDSCAPE PLAN
2774-11	LIGHTING PLAN
2744-12	DETAIL SHEET (SHEET 1 OF 5)
2744-13	DETAIL SHEET (SHEET 2 OF 5)
2744-14	DETAIL SHEET (SHEET 3 OF 5)
2744-15	DETAIL SHEET (SHEET 4 OF 5)
2744-16	DETAIL SHEET (SHEET 5 OF 5)
2744-17	SIDEWALK DETOUR PLAN

SCALE: 1"=100'

DRAWING NUMBER: 2744\_03  
DATED: DECEMBER 07, 2021  
LAST REVISED: MARCH 4, 2022

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST      PHONE 585-377-7360  
FAIRPORT, NEW YORK 14450      FAX 585-377-7309  
WWW.BMEPC.COM



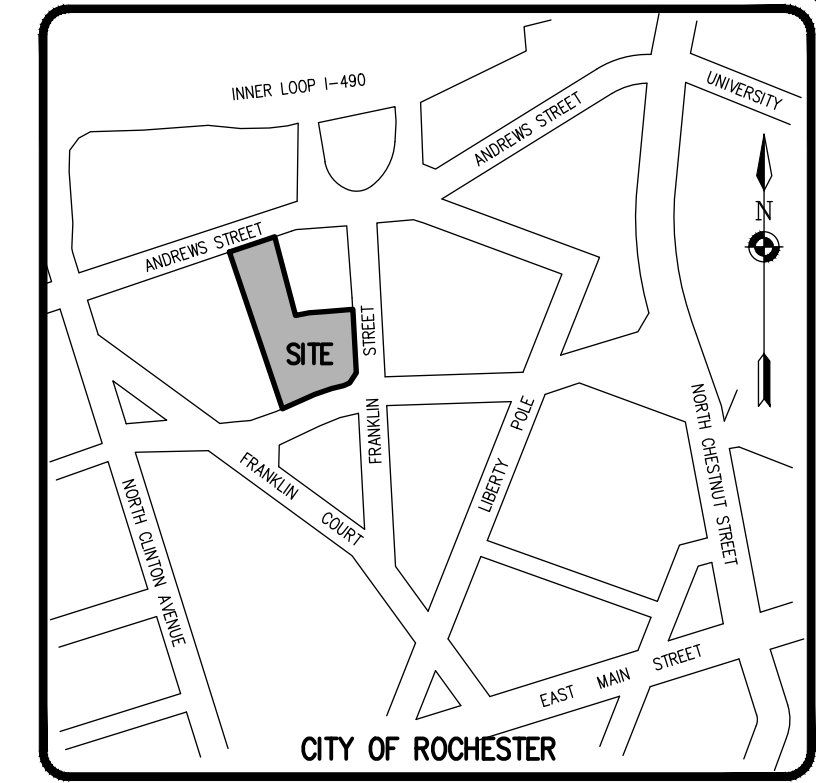
NOTE: ANY WORK IN THE CITY RIGHT-OF-WAY WILL REQUIRE SEPARATE PERMITS FROM THE DES ENGINEERING BUREAU PERMIT OFFICE ROOM 121B

ANDREWS STREET (60' RIGHT-OF-WAY)

FRANKLIN STREET (64' RIGHT-OF-WAY)

PLEASANT STREET (VARIABLE WIDTH RIGHT-OF-WAY)

NOTE: ANY WORK IN THE CITY RIGHT-OF-WAY WILL REQUIRE SEPARATE PERMITS FROM THE DES ENGINEERING BUREAU PERMIT OFFICE ROOM 121B



Drawing Alteration The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing: It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

Table with 4 columns: REVISIONS, COMMENTS, DATE, BY. Contains revision history for the drawing.

BME ASSOCIATES logo and contact information: ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS. 10 LIFT BRIDGE LANE EAST, ROCHESTER, NY 14650.



ALTA VISTA AT ST. JOSEPH'S PARK PROJECT information: CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE. CLIENT: ALTA VISTA HOLDINGS LLC. DRAWING TITLE: FINAL SITE PLAN.

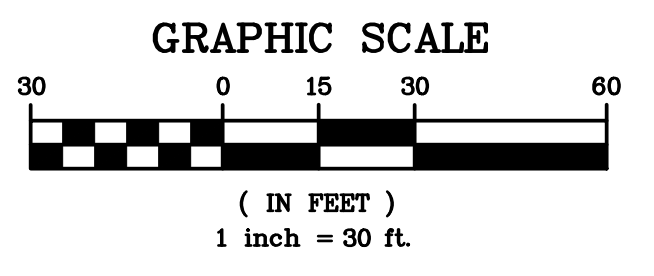
PROJECT MANAGER: J. SWEDROCK. PROJECT ENGINEER: RR. SPURR. DRAWN BY: VJ. SCHLAGETER. SCALE: 1" = 30'. DATE ISSUED: DECEMBER 07, 2021. PROJECT NO.: 2744. DRAWING NO.: 04.

SITE NOTES:

- 1. EXISTING ZONING: CC - (CENTRAL CITY DISTRICT)
2. TOTAL LOT AREA : ± 44,201 S.F. (±1.01 ACRES)
EXISTING PARCELS: TA No., LOT AREA, ADDRESS
EXISTING PARCELS TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO ONE (1) LOT
3. PROPOSED USE: MULTI-FAMILY RESIDENTIAL (76 UNITS)
4. LOT DIMENSIONS ARE AS FOLLOWS: MIN. LOT AREA, MIN. LOT WIDTH, SETBACKS, SIDE YARD, REAR YARD, MAX. BUILDING HEIGHT, MAX. BLDG. COVERAGE, MAX. LOT COVERAGE, PARKING
5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS...
7. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
8. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS TO BE CONSTRUCTED SUCH THAT THE OVERALL AREA IS PEDESTRIAN FRIENDLY...
9. NEW DRIVEWAY OPENINGS ARE TO BE CONSTRUCTED PER THE CITY'S TRANSITION STYLE DRIVEWAY OPENING...
10. SEE DEMOLITION AND UTILITY PLANS FOR EXISTING PAVEMENT AND SIDEWALK REPLACEMENT LIMITS FOR UTILITY INSTALLATIONS.
11. ANY PROJECT SIGNAGE IS TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
12. ANY WORK IN THE CITY PUBLIC RIGHT-OF-WAY WILL REQUIRE SEPARATE PERMITS FROM THE DES ENGINEERING BUREAU PERMIT OFFICE, ROOM 121B.
13. ANY CHANGES OR MODIFICATIONS TO TRAFFIC REGULATION SIGN WITHIN THE RIGHT-OF-WAY REQUIRES APPROVAL FROM THE MONROE COUNTY OFFICE.
14. CONTACT DES PERMIT OFFICE AT 585-428-6848 TO OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY CURB, SIDEWALK, UTILITY CONNECTIONS, TEMPORARY FENCING OR SCAFFOLDING WORK PLACED IN THE PUBLIC RIGHT-OF-WAY.
15. ALL UTILITY TRENCH, PAVEMENT AND CONCRETE SIDEWALK RESTORATION WITHIN THE RIGHT-OF-WAY ARE TO BE DONE USING CITY OF ROCHESTER STANDARDS.
16. CONTACT THE GARAGEPARKINGCITYOFROCHESTER.GOV TO COORDINATE REMOVAL OF PARKING METERS DURING CONSTRUCTION.



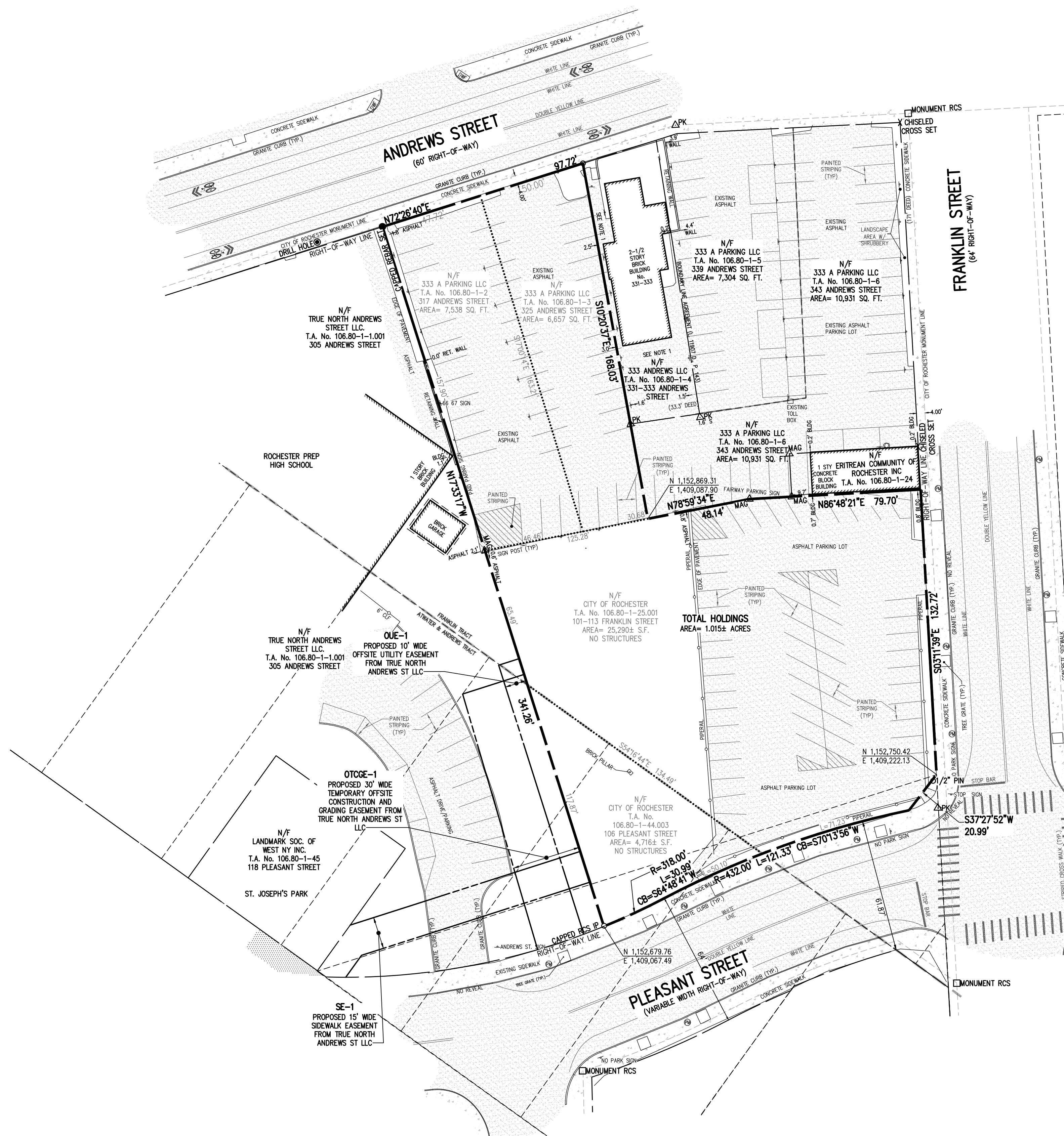
LEGEND: BOUNDARY LINE, PROPOSED LOT LINE, CENTERLINE, ADJOINER LINE, EXISTING EASEMENT LINE, PROPOSED EASEMENT LINE, PROPOSED RESUBDIVISION LINE, PROPERTY MARKER FOUND, CONCRETE HIGHWAY MONUMENT FOUND, CONCRETE HIGHWAY MONUMENT FOUND.



SEE CONSOLIDATION PLAT (BME Drawing No. 2744-05) FOR CONSOLIDATION OF PARCELS, BOUNDARY INFORMATION AND SURVEY NOTES AND REFERENCES.

NOT APPROVED This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.





**SUBDIVISION NOTES:**

- EXISTING ZONING: CC - (CENTRAL CITY DISTRICT)
- TOTAL LOT AREA : ± 44,201 S.F. (±1.01 ACRES)
 

EXISTING PARCELS:	T.A. No.	LOT AREA	ADDRESS
	106.80-1-2	= ± 7,538 SF	317 ANDREWS ST.
	106.80-1-3	= ± 6,657 SF	325 ANDREWS ST.
	106.80-1-25.001	= ± 25,290 SF	101-113 FRANKLIN ST.
	106.80-1-44.003	= ± 4,716 SF	106 PLEASANT ST.
- EXISTING PARCELS TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO ONE (1) LOT
- PROPOSED USE: MULTI-FAMILY RESIDENTIAL (76 UNITS)
- LOT DIMENSIONS ARE AS FOLLOWS:
 

MIN. LOT AREA	CC DISTRICT	PROVIDED
N/A	N/A	±1.01 ACRES
45'	45'	±77'

SETBACKS	WITHIN 2' OF AVERAGE SETBACK OF THREE ADJACENT BUILDINGS MAXIMUM 15'	±1.6'
FRONT YARD	N/A	N/A
SIDE YARD	N/A	±4'
REAR YARD	N/A	N/A
MAX. BUILDING HEIGHT	6 STORIES	6 STORIES
MAX. BLDG. COVERAGE	N/A	±33%
MAX. LOT COVERAGE	N/A	±76%
PARKING	NOT REQUIRED	49 SPACES (4 ADA SPACES)
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS TO BE CONSTRUCTED SUCH THAT THE OVERALL AREA IS PEDESTRIAN FRIENDLY, FULLY ACCESSIBLE FOR PERSONS WITH DISABILITIES, AND FULLY COMPLIANT WITH THE PROPOSED GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROWAG)
- NEW DRIVEWAY OPENINGS ARE TO BE CONSTRUCTED PER THE CITY'S TRANSITION STYLE DRIVEWAY OPENING, USING BOTH TRANSITION AND HEADER CURBS (CITY DETAIL R608-S). THE MAIN SIDEWALK THOROUGHFARE IS TO BE MAINTAINED CONTINUOUS, TRUE TO LINE AND GRADE ACROSS ALL DRIVEWAY OPENINGS.
- SEE DEMOLITION AND UTILITY PLANS FOR EXISTING PAVEMENT AND SIDEWALK REPLACEMENT LIMITS FOR UTILITY INSTALLATIONS.
- ANY PROJECT SIGNAGE IS TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- ANY WORK IN THE CITY PUBLIC RIGHT-OF-WAY WILL REQUIRE SEPARATE PERMITS FROM THE DES ENGINEERING BUREAU PERMIT OFFICE; ROOM 1218.
- ANY CHANGES OR MODIFICATIONS TO TRAFFIC REGULATION SIGN WITHIN THE RIGHT-OF-WAY REQUIRES APPROVAL FROM THE MONROE COUNTY OFFICE.
- CONTACT DES PERMIT OFFICE AT 585-428-6948 TO OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY CURB, SIDEWALK, UTILITY CONNECTIONS, TEMPORARY FENCING OR SCAFFOLDING WORK PLACED IN THE PUBLIC RIGHT-OF-WAY.
- ALL UTILITY TRENCH, PAVEMENT AND CONCRETE SIDEWALK RESTORATION WITHIN THE RIGHT-OF-WAY ARE TO BE DONE USING CITY OF ROCHESTER STANDARDS.
- CONTACT THE GARAGEPARKING@CITYOFROCHESTER.GOV TO COORDINATE REMOVAL OF PARKING METERS DURING CONSTRUCTION.

**REFERENCES:**

- A MAP ENTITLED "MAP OF THE SUBDIVISION OF LOTS 4, 5, 6 & 7 IN THE 3RD DIVISION IN THE ORIGINAL TOWNSHIP No. 13, IN THE 7TH RANGE," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 2 OF MAPS, PAGE 54.
- A MAP ENTITLED "317, 325, 339 & 343 ANDREWS ST., MAP OF A SURVEY," PREPARED BY BME ASSOCIATES, HAVING DRAWING No. 8901-246, DATED APRIL 17, 2020.
- THE FOLLOWING DEEDS RECORDED IN THE MONROE COUNTY CLERK'S OFFICE:
  - LIBER 5779, PAGE 162
  - LIBER 11024, PAGE 376
  - LIBER 11754, PAGE 502
  - LIBER 11759, PAGE 473
- A MAP ENTITLED "STREET STUDY MAP No. 18," PREPARED BY V.W. JUDSON, DATED DECEMBER 1, 1920.
- A MAP ENTITLED "PLAN OF LAND IN ROCHESTER, MONROE COUNTY, NEW YORK, BEING PARTS OF LOTS 79 & 80 OF THE ATWATER & ANDREWS TRACT, T. 13-N-R-7-D-3, SURVEYED FOR SOCONY VACUUM OIL COMPANY, INC.," PREPARED BY GRAY & SMITH, SURVEYORS, DATED FEBRUARY 8, 1936.
- A MAP ENTITLED "317, 325, 339 & 343 ANDREWS ST., MAP OF A SURVEY," PREPARED BY BME ASSOCIATES, HAVING DRAWING No. 8901-246, DATED APRIL 2018.
- CITY OF ROCHESTER DISTRICT MAP (DISTRICT 14, MAP 1).
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

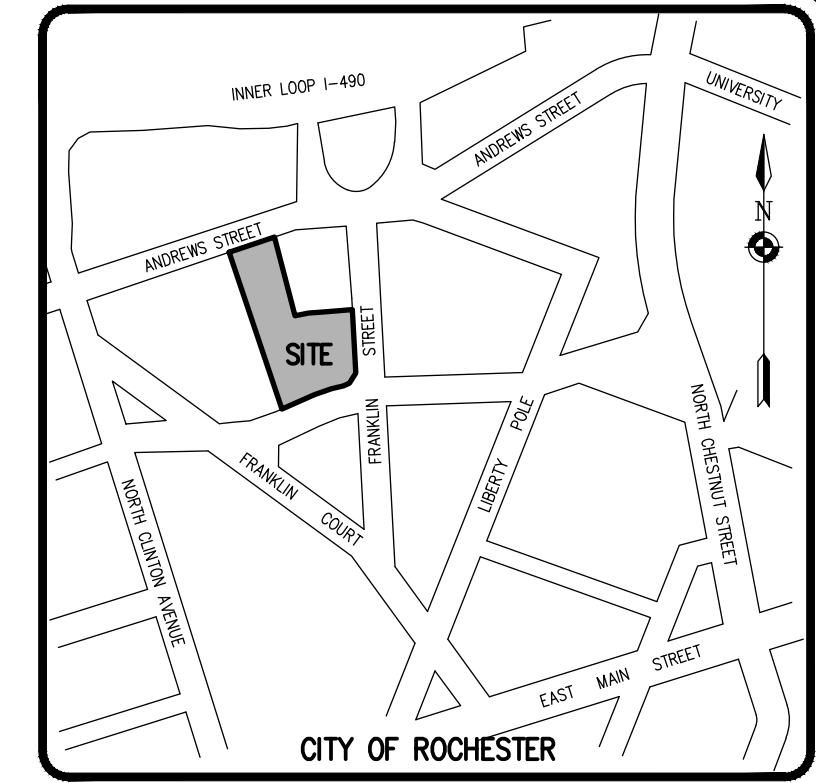
**SURVEY NOTES:**

- PARCEL MAY BE BENEFITED BY THE RIGHT TO USE THE PAVEMENT AREAS SHOWN HEREON.
- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1983, WESTERN ZONE, NAD 83 (2011)(EPOCH 2010) UTILIZING GPS OBSERVATIONS FROM THE NYSOT REFERENCE NETWORK STATION (NYFP 0032). PERIMETER AND/OR TIES TO MONUMENTS WERE MADE USING PROCEDURES NECESSARY TO ACHIEVE A HORIZONTAL ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.
- THE PURPOSE OF THIS PLAT IS TO COMBINE FOUR PARCELS, HAVING TAX ACCOUNT NUMBERS: 106.80-1-25.001, 106.80-1-2, 106.80-1-3 AND 106.80-1-44.003, INTO ONE PARCEL.

WE, BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON OCTOBER 19, 2021 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE GVL5A 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

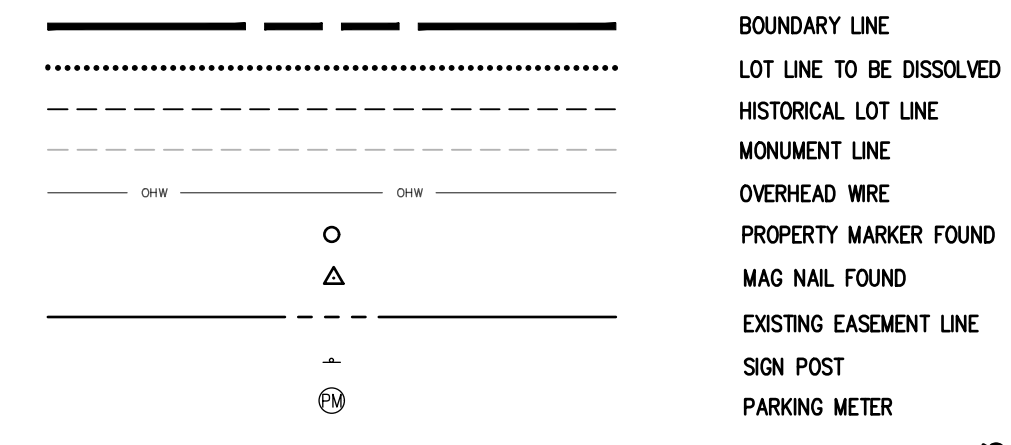
THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

BY: *Gregory D. Bell*  
GREGORY D. BELL, TMSPLS No. 050661

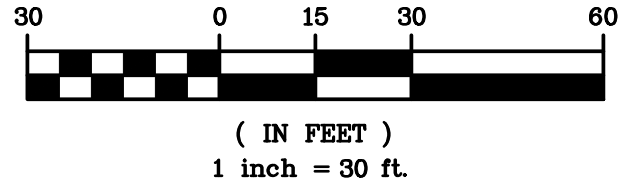


**LOCATION MAP**  
NOT TO SCALE

**LEGEND**



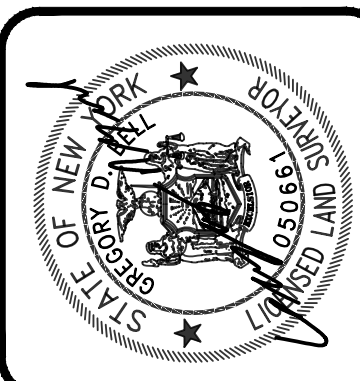
**GRAPHIC SCALE**



Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
10 LIFT BRIDGE LANE EAST  
ROCHESTER, NY 14610  
PHONE: 585-577-7360  
FAX: 585-577-7309  
WWW.BMEI.CC.COM



**CONSOLIDATION PLAT**  
FINAL  
PROJECT MANAGER  
J. SWEDROCK  
PROJECT SURVEYOR  
GO BELL  
DRAWN BY  
JT GILMORE  
SCALE  
1"=30'  
DATE ISSUED  
FEBRUARY 23, 2022  
PROJECT NO.  
2744  
DRAWING NO.  
05

PHELPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, 3RD DIVISION, FRANKLIN TRACT, T.A. No. S 106.80-1-25.001, 106.80-1-2 & 106.80-1-3 & ATWATER & ANDREWS TRACT, T.A. No. 106.80-1-44.003

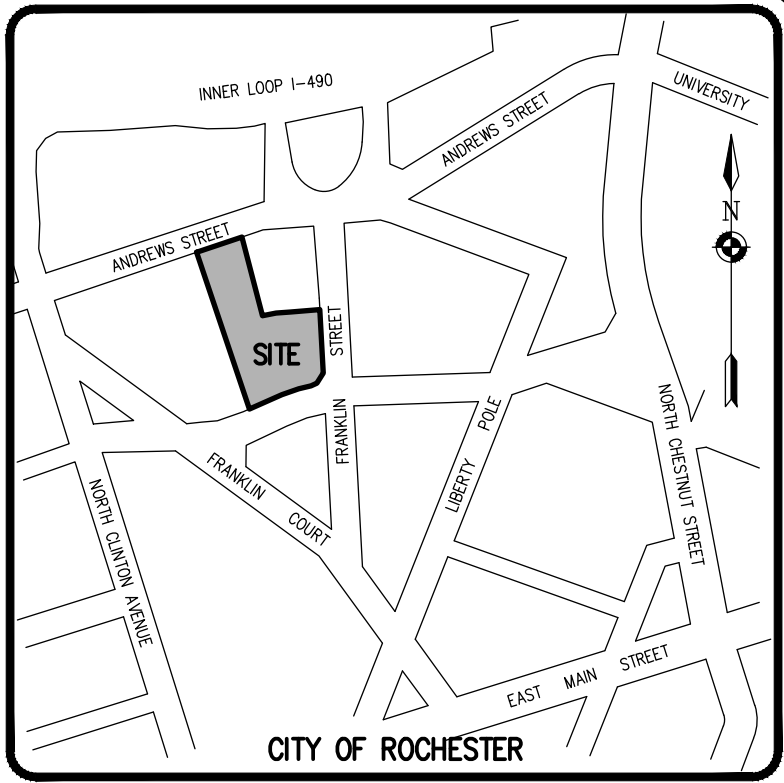
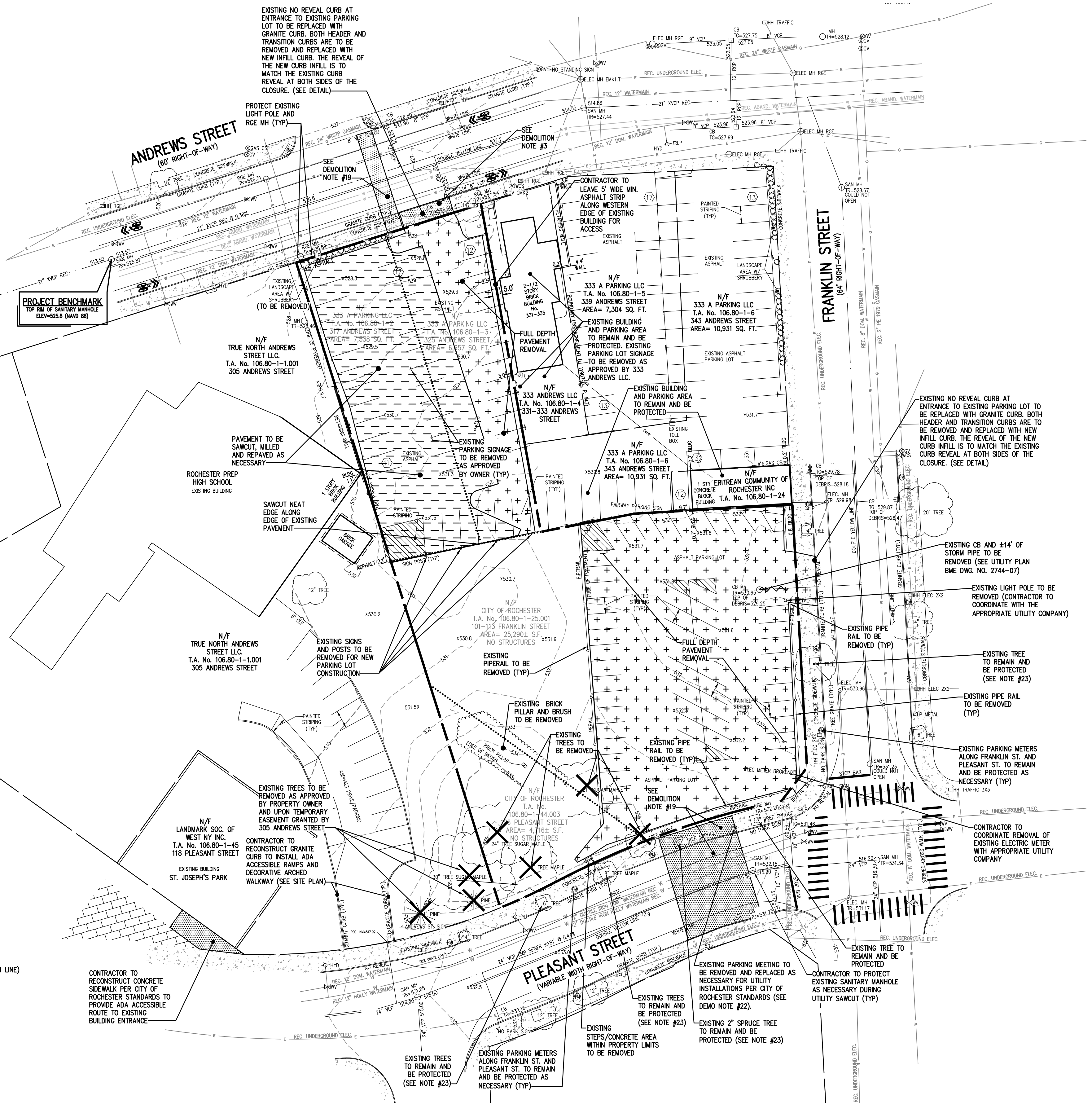
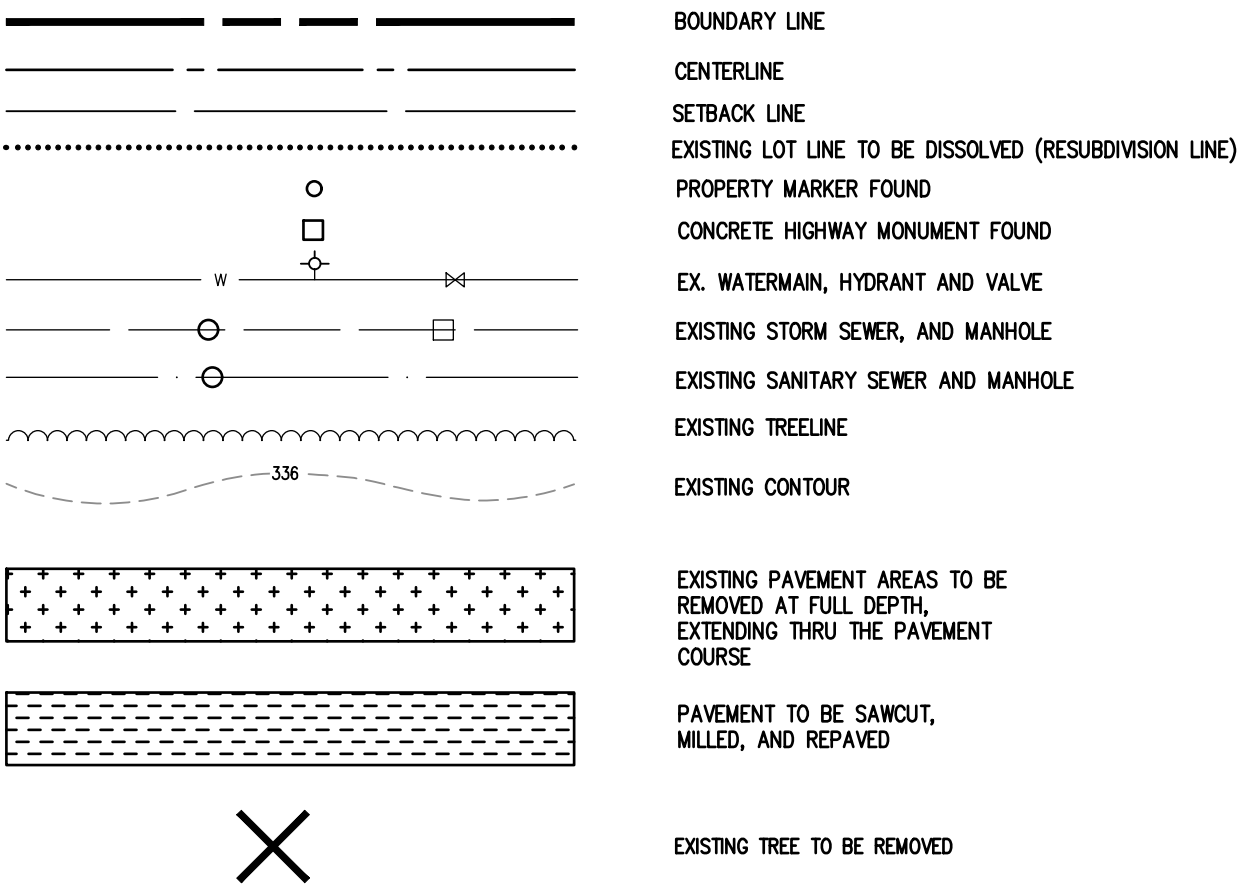


PL 2744 Drawings V1.00 2/24/24 Design Base.dwg

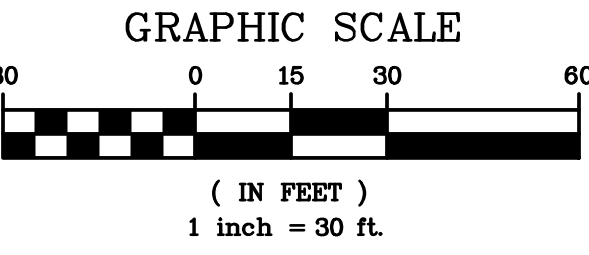
**DEMOLITION NOTES:**

- CONTRACTOR SHALL ABANDON AND/OR REMOVE EXISTING UTILITIES, STRUCTURES, AND APPURTENANCES AS SHOWN ON THE PLANS AND/OR AS DIRECTED. THE CONTRACTOR SHALL COORDINATE THE WORK WITH THE ENGINEER AND THE AGENCY HAVING JURISDICTION, PRIOR TO COMMENCING WITH ABANDONMENTS AND REMOVALS. THE CONTRACTOR SHALL DISPOSE OF MATERIALS OFF-SITE IN ACCORDANCE WITH ALL CURRENT REGULATIONS AND REQUIREMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE DIG SAFELY NY HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
- ALL MATERIALS TO BE REMOVED FROM THE SITE AND DISPOSED OF AS NECESSARY AT AN APPROVED LOCATION.
- CONTRACTOR TO COORDINATE SUPPORTING, ABANDONING, AND REMOVING UTILITIES WITH THE APPLICABLE UTILITY PROVIDERS AS NECESSARY.
- ALL NECESSARY UTILITY PERMITS SHALL BE OBTAINED BEFORE STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- CONSTRUCTION/CONTRACTOR STAGING AREA TO BE COORDINATED WITH THE OWNER.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE TO INSPECT GROUND DURING TOPSOIL REMOVAL & TREE REMOVAL PROCESS. HOLES RESULTING FROM TREE ROOT REMOVAL SHOULD BE BACKFILLED AND COMPACTED WITH STRUCTURAL BACKFILL AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- SEE SIDEWALK CLOSURE/DETOUR PLAN FOR SIDEWALKS THAT ARE TO BE CLOSED FOR ANY TIME DURING CONSTRUCTION.
- SIDEWALKS SHALL REMAIN CLOSED DURING SIDEWALK DEMOLITION ACTIVITIES AS NECESSARY AND APPROPRIATE SIDEWALK DETOURS SHALL BE PROVIDED. IF SIDEWALK IS REOPENED PRIOR TO CONCRETE REPLACEMENT, THE SIDEWALK SHALL BE TEMPORARILY PAVED. IN NO CASE SHALL THE SIDEWALK BE LEFT WITH A STONE SURFACE WHEN REOPENED.
- CONTRACTOR TO REPLACE ANY DAMAGED SIDEWALK AND/OR CURBING WITHIN THE R.O.W. BY CONSTRUCTION ACTIVITIES.
- RECYCLED MATERIALS, PULVERIZED, OR RECYCLED CONCRETE AGGREGATE AND BRICK, AND RECLAIMED ASPHALT PAVEMENT ARE UNACCEPTABLE MATERIALS FOR USE AS BACKFILL AND SUBBASE COURSES WITHIN THE R.O.W.
- THE DRIVEWAY OPENING AND THE PUBLIC SIDEWALKS ARE TO BE FULLY ACCESSIBLE FOR PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE PROPOSED GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROWAG). ANY SIDEWALK OR DRIVEWAY AREAS REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE RESTORED PER CITY OF ROCHESTER SIDEWALK DETAIL.
- EXISTING STREET TREES THAT ARE TO REMAIN ARE TO BE PROTECTED WITH FENCING DURING CONSTRUCTION TO MINIMIZE ANY POSSIBLE DAMAGE DUE TO CONSTRUCTION ACTIVITIES. ANY IMPACTS TO THE EXISTING STREET TREES MUST BE RESOLVED AT THE DIRECTION OF THE CITY'S FORESTER'S OFFICE. (SEE TREE PROTECTION DETAIL.)
- ANY IMPACTS TO THE EXISTING STREET LIGHTING SYSTEM MUST BE RESOLVED AT THE DIRECTION OF THE CITY'S STREET LIGHTING OFFICE.
- THERE IS TO BE NO PARTIAL SAW CUTTING OF THE EXISTING CURB TO ACCOMMODATE THE UTILITY INSTALLATIONS NECESSARY. ADDITIONAL PIECES OF EXISTING CURB AND UNDERDRAIN PIPE THAT ARE DAMAGED DURING THE WORK ARE TO BE FULLY REMOVED AND REPLACED WITH NEW MATERIALS OF LIKE CHARACTERISTICS.
- THERE IS TO BE NO SAW CUTTING OR PARTIAL REPLACEMENT OF THE EXISTING SIDEWALK TO ACCOMMODATE THE WORK WITHIN THE RIGHT-OF-WAY. ADDITIONAL AREAS OF THE EXISTING SIDEWALK THAT ARE DAMAGED DURING THE WORK ARE TO BE REPLACED.
- CONTRACTOR TO FULL DEPTH SAWCUT EXISTING PAVEMENT, EXTENDING THRU PAVEMENT BASE COURSE AND RE-CONSTRUCT PAVEMENT TO CITY OF ROCHESTER STANDARDS (SEE CITY DETAILS, MODIFIED ASPHALT PAVEMENT SECTION WITH 6" ASPHALT BASE). EXISTING GRANITE CURBING TO BE REPLACED IN-KIND OR AS NOTED ON THE PLANS PER CITY OF ROCHESTER STANDARDS. CONTRACTOR TO REMOVE AND REPLACE EXISTING SIDEWALK AREA TO NEAREST CONTROL JOINT AND IN FULL FLAG SEGMENTS ONLY. SIDEWALK TO BE REPLACED PER CITY OF ROCHESTER STANDARDS (TYP).
- CONTRACTOR TO COORDINATE CONNECTION OF PROPOSED ELECTRIC, GAS AND COMMUNICATION SERVICES WITH APPROPRIATE UTILITY COMPANIES AND COORDINATE EXISTING SERVICES TO THE SITE THAT ARE TO BE ABANDONED.
- CONTACT DES PERMIT OFFICE AT 585-428-6848 TO OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY CURB, SIDEWALK, UTILITY CONNECTIONS, TEMPORARY FENCING OR SCAFFOLDING WORK PLACED IN THE PUBLIC RIGHT-OF-WAY.
- CONTACT GARAGEPARKINGCITYOFROCHESTER.COM TO COORDINATE REMOVAL OF PARKING METERS DURING CONSTRUCTION.
- IN THE EVENT EXISTING STREET TREES WITHIN THE CITY RIGHT-OF-WAY CANNOT BE PROTECTED AND MAINTAINED, THE TREE IS TO BE REPLACED IN-KIND.
- LIMITS FOR PAVEMENT RESTORATION OF THE TRENCHES MUST CONFORM TO THE REQUIREMENTS OF THE CITY'S RULES AND REGULATIONS FOR WORK IN THE RIGHT-OF-WAY DOCUMENT. PAVEMENT RESTORATION LIMIT FOR ALL THE TRENCHES MUST EXTEND TO THE NEAREST LONGITUDINAL JOINT, DO NOT INTRODUCE ANY NEW LONGITUDINAL JOINTS.
- ALL UTILITY TRENCH, PAVEMENT AND CONCRETE SIDEWALK RESTORATION WITHIN THE RIGHT-OF-WAY ARE TO BE DONE USING CITY OF ROCHESTER STANDARDS.

**LEGEND**



**LOCATION MAP**  
NOT TO SCALE



Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the Board of Professions a statement of the alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3	REVISED PER CITY OF ROCHESTER COMMENTS	2/19/25	MS
2	REVISED PER MCDON, WATER BUREAU, AND MCPW COMMENTS	02/04/25	MS
1			

**BME ASSOCIATES**  
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ROCHESTER, NY 14620  
WWW.BMEGROUP.COM



**ALTA VISTA AT ST. JOSEPH'S PARK**  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
ALTA VISTA HOLDING LLC  
584 CLEGG RD.  
ROCHESTER, NY 14621  
CLIENT  
DRAWING TITLE  
**EXISTING CONDITIONS AND DEMOLITION PLAN**

PROJECT MANAGER  
J. SWEDROCK  
PROJECT ENGINEER  
RR. SPURR  
DRAWN BY  
VL. SCHLAGETER  
SCALE  
DATE ISSUED  
1" = 30'  
DECEMBER 07, 2021  
PROJECT NO.  
2744  
DRAWING NO.  
06

**NOT APPROVED**

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

PHELPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, 3RD DIVISION, FRANKLIN TRACT, T.A. No. 106.80-1-25.001 & ATWATER & ANDREWS TRACT, T.A. No. 106.80-1-44.003



**MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES FOR SEWER LATERAL CONNECTIONS:**

- THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
- PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
- SEWER CONNECTION PERMITS CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO RPWD) OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
- THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
- SANITARY/STORM/COMBINATION SEWER LATERALS(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
- CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. (REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION).
- IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA VIDEO INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
- ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
- ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
- FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
- ANY PORTION OF A SEWER LATERAL WITH LESS THAN FOUR-FOOT (4') OF COVER WILL REQUIRE CONCRETE ENCASUREMENT. SEWERS/LATERALS WITH LESS THAN THREE-FOOT (3') OF COVER ARE NOT ALLOWED.
- THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
- ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CONSTRUCTION IS PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

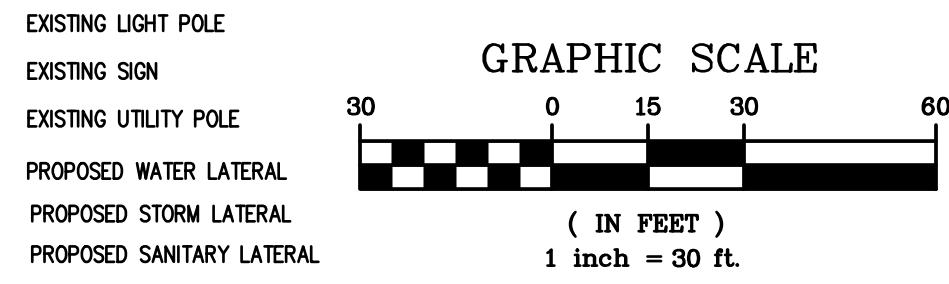
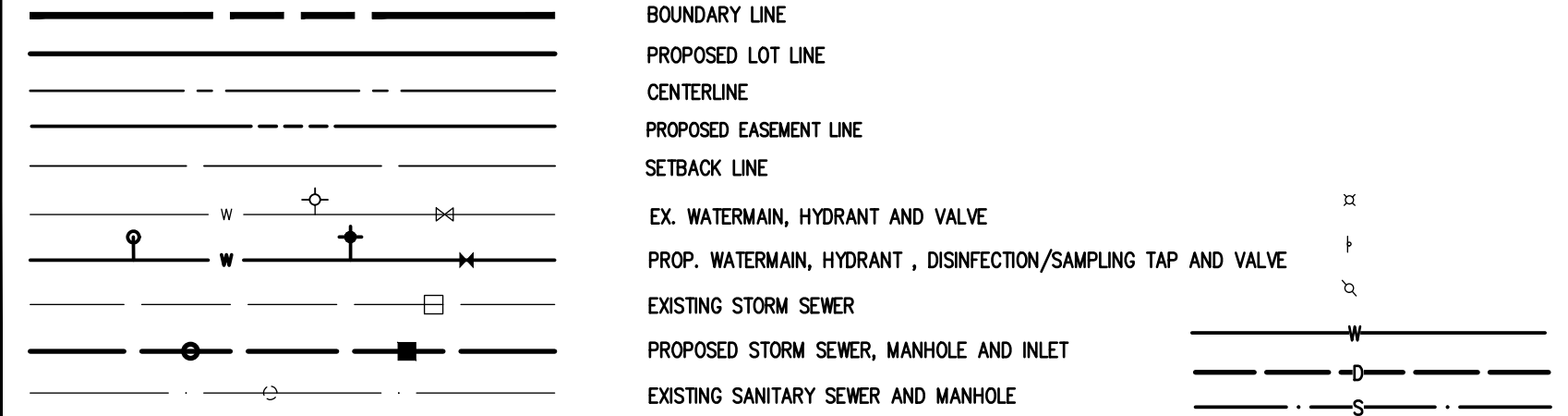
**RWB WATER MAIN AND SERVICE NOTES**

- WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/](http://www.cityofrochester.gov/waterdocuments/).
- ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
- THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
- FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
- THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
- APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICES. THE WATER LEVEL IN THE EXISTING OPEN PIPE DIPS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN, WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
- STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
- TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
- A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGINS. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

**MCDPH Standard Water Main Extension Notes**

- The water main and temporary bypass pipe shall be disinfected equal to AWWA Standard for Disinfecting Water Mains, designation C651, by using the continuous feed method. Following disinfection, the water main and bypass pipe shall be flushed until the chlorine concentration in the water leaving the main is no higher than that generally prevailing in the system. The interior of all water main pipe, valves, fittings and services four (4) inches and larger, including new hydrant branches connected to existing water mains, not receiving 24-hour chlorine disinfection contact time must be sprayed or swab disinfected with a minimum 1% - 5% solution of chlorine no more than 30-minutes prior to installation. Additionally, the exterior surfaces of existing pipe and fittings that new pipe and fittings will be connected to must be thoroughly cleaned and disinfected. The maximum distance between disinfection sampling taps on new water main and bypass pipe shall be 1,000 feet. The sampling point(s) must be decontaminated by flaming. Fire hydrants are not acceptable sampling points. The Monroe County Department of Public Health must receive at least 48-hour advance notification requesting sampling services. The Contractor shall call 585-753-5057 to arrange for sampling services and is responsible for paying all MCDPH sampling fees. Sampling will not be performed prior to receipt from a New York State licensed or registered design professional (engineer, architect or land surveyor with a special exemption under Section 7208(a) of the Education Law) certifying that the water supply improvements, testing and disinfection procedures were completed in accordance with the approved plans, reports, specifications and any approved amendments. The department will collect samples for free chlorine residual, total coliform, Escherichia coli (E. coli) and turbidity. The water main and bypass pipe shall not be placed into service until so authorized by the Monroe County Department of Public Health.
- Unless otherwise noted or shown on the approved plans, the minimum vertical separation between water mains and sewer pipe lines shall be 18-inches measured from the outside of the pipes at the point of crossing. One full standard laying length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer as possible. In addition, when the water main passes under a sewer, adequate structural support (compacted selected fill) shall be provided for the sewer to prevent excessive deflection of joints and settling of the sewer on the water main. Unless otherwise noted or shown on the approved plans, the minimum horizontal separation between parallel water mains and sewer pipes (including manholes and vaults) shall be 10-feet measured from the outside of the pipes, manholes or vaults.
- When installing fire hydrants, should ground water be encountered within seven (7) feet of finished grade, fire hydrant weep holes (drains) shall be plugged.
- The new water mains and services 4-inch and greater shall be pressure/leakage tested in accordance with the minimum requirements of the AWWA Standard C600 (latest revision) or in accordance with more stringent requirements imposed by the supplier of water. For City of Rochester water mains, pressure/leakage testing shall be performed in accordance with Subsection 3.05 of City of Rochester Water Bureau Specification S900 - General Water Provisions.

**LEGEND**

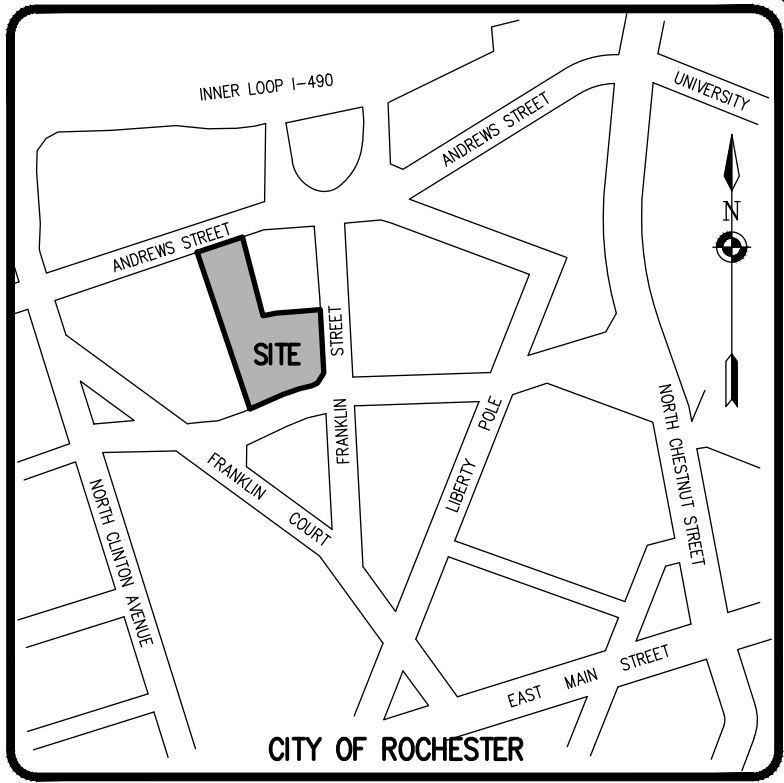
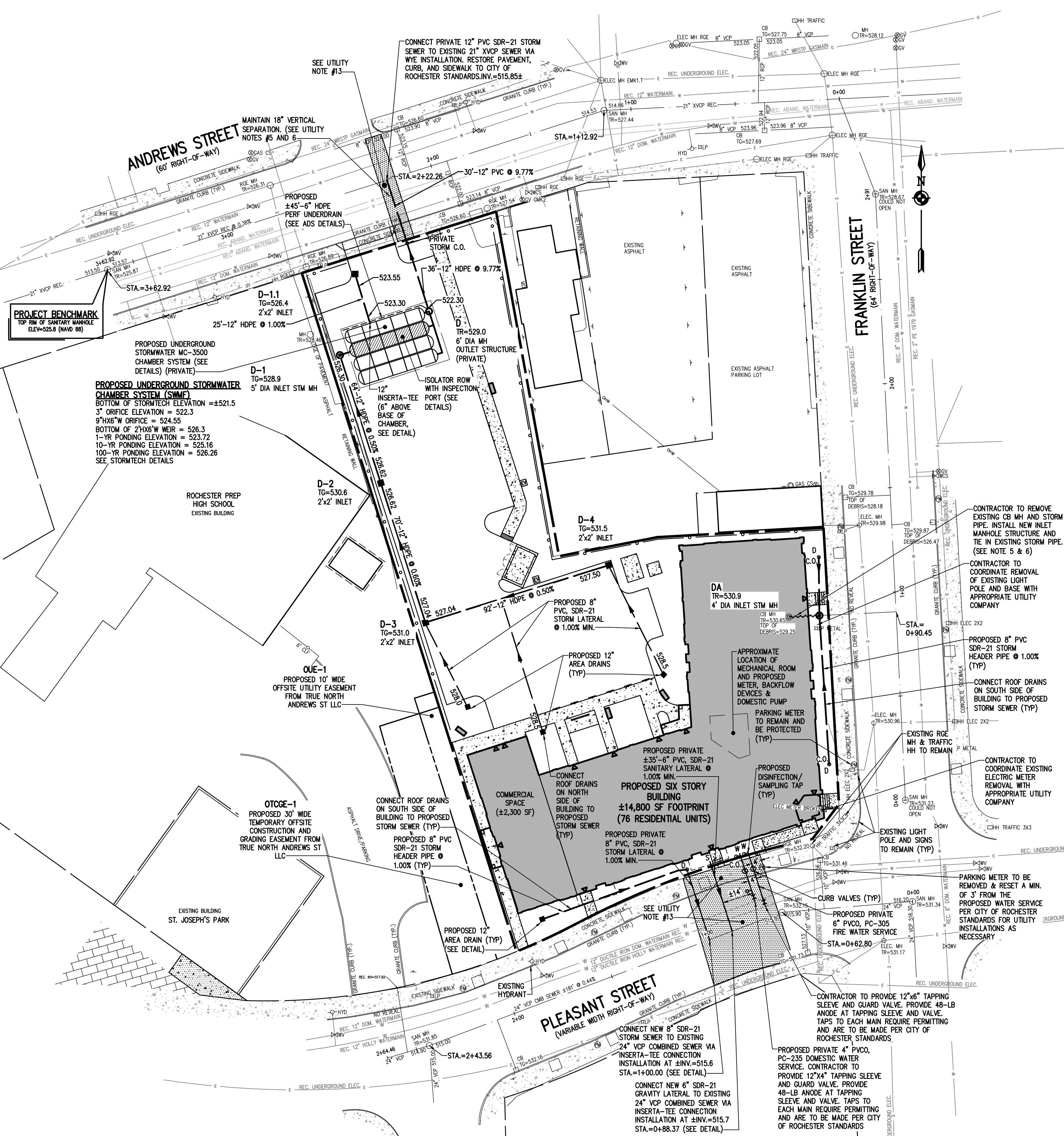


**NOT APPROVED**  
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

**WATERMAIN APPROVAL**  
**MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH**  
THESE PLANS FOR PUBLIC WATER SYSTEM EXTENSION / IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO TITORS OF THE STATE SANITARY CODE SUBJECT TO CONDITIONS OF APPROVAL.  
DIRECTOR OF PUBLIC HEALTH  
BY: PUBLIC HEALTH ENGINEER DATE:

**CITY OF ROCHESTER WATER BUREAU**  
APPROVED ONLY FOR WATER FACILITY WORK SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY, UP TO AND INCLUDING THE CURB VALVE, AND INCLUDING THE WATER METER VAULT NEAR THE RIGHT-OF-WAY, IF APPLICABLE. THE OWNER, DEVELOPER OR THEIR PLUMBER IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FROM THE CITY BEFORE BEGINNING ANY WORK.  
IF A BACKFLOW PREVENTION DEVICE IS REQUIRED, THE WATER BUREAU WILL NOT ISSUE A WATER SERVICE PERMIT UNTIL THE PLANS FOR THE BACKFLOW PREVENTION DEVICE HAVE BEEN APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.  
 BACKFLOW DEVICE REQUIRED  BACKFLOW DEVICE NOT REQUIRED  
SIGNATURE TITLE DATE

**ROCHESTER PURE WATERS DISTRICT CONNECTION TO PUBLIC SEWER**  
 SANITARY  STORM  COMBINED  
 APPROVED  
 APPROVED WITH CHANGES NOTED  
  
IF A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE DISTRICT PERMIT OFFICE  
REVIEW #  
DATE: DECEMBER 07, 2021  
SIGNATURE: \_\_\_\_\_



**LOCATION MAP NOT TO SCALE**

**UTILITY NOTES:**

- BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (E. ROCHESTER PURE WATERS DISTRICT, CITY OF ROCHESTER WATER BUREAU, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE DIG SAFELY NY HOTLINE AT (800)982-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.  
WATER: 4" / 6" PVC0 PC-235 & 305 FROM THE PUBLIC WATERMAIN TO THE BUILDING (DOMESTIC & FIRE).  
STORM: 8" PVC SDR-21, 12" PVC SDR-21 STORM LATERALS  
SANITARY SEWER: 8" PVC SDR-21 SANITARY LATERALS
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- THE SITE CONTRACTOR AND DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES FOR SITE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL SITE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED (SEE #2744-09).
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
- A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 1218, 585-428-6848.
- HYDRANT FLOW TEST PERFORMED BY CITY OF ROCHESTER WATER BUREAU ON PLEASANT STREET AND LIBERTY POLE WAY  
12" HOLLY MAIN  
STATIC PRESSURE: 94 PSI  
RESIDUAL PRESSURE: 84 PSI  
FLOW AT 20 PSI: 6,405 GPM  
OBSERVED FLOW: 2,173 GPM  
DATE: 10/25/2013; PROVIDED 10/20/2021  
12" DOMESTIC MAIN  
STATIC PRESSURE: 41.5 PSI  
RESIDUAL PRESSURE: 38.5 PSI  
FLOW AT 20 PSI: 2,353 GPM  
OBSERVED FLOW: 6,817 GPM  
DATE: 10/25/2013; PROVIDED 10/20/2021
- CONTRACTOR TO FULL DEPTH SAWCUT EXISTING PAVEMENT, EXTENDING THRU PAVEMENT BASE COURSE AND RE-CONSTRUCT PAVEMENT TO CITY OF ROCHESTER STANDARDS (SEE CITY DETAILS). MODIFIED ASPHALT PAVEMENT SECTION WITH 6" ASPHALT BASE). EXISTING GRANITE CURBING TO BE REPLACED IN-KIND OR AS NOTED ON THE PLANS PER CITY OF ROCHESTER STANDARDS. CONTRACTOR TO REMOVE AND REPLACE EXISTING SIDEWALK AREA TO NEAREST CONTROL JOINT AND IN FULL FLAG SEGMENTS ONLY FOR UTILITY INSTALLATIONS. SIDEWALK TO BE REPLACED PER CITY OF ROCHESTER STANDARDS (TYP).
- CONTRACTOR TO COORDINATE CONNECTION OF PROPOSED ELECTRIC, GAS AND COMMUNICATION SERVICES WITH APPROPRIATE UTILITY COMPANIES AND COORDINATE EXISTING SERVICES TO THE SITE THAT ARE TO BE ABANDONED.
- LIMITS FOR PAVEMENT RESTORATION OF THE TRENCHES MUST CONFORM TO THE REQUIREMENTS OF THE CITY'S RULES AND REGULATIONS FOR WORK IN THE RIGHT-OF-WAY DOCUMENT. PAVEMENT RESTORATION LIMIT FOR ALL THE TRENCHES MUST EXTEND TO THE NEAREST LONGITUDINAL JOINT, DO NOT INTRODUCE ANY NEW LONGITUDINAL JOINTS.
- ALL UTILITY TRENCH, PAVEMENT AND CONCRETE SIDEWALK RESTORATION WITHIN THE RIGHT-OF-WAY ARE TO BE DONE USING CITY OF ROCHESTER STANDARDS.

Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
1	REVISED PER MCDPH, WATER BUREAU, AND MCPW COMMENTS	02/04/22	MS
2	REVISED PER CITY OF ROCHESTER COMMENTS	2/19/22	MS
3			
4			
5			
6			
7			

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
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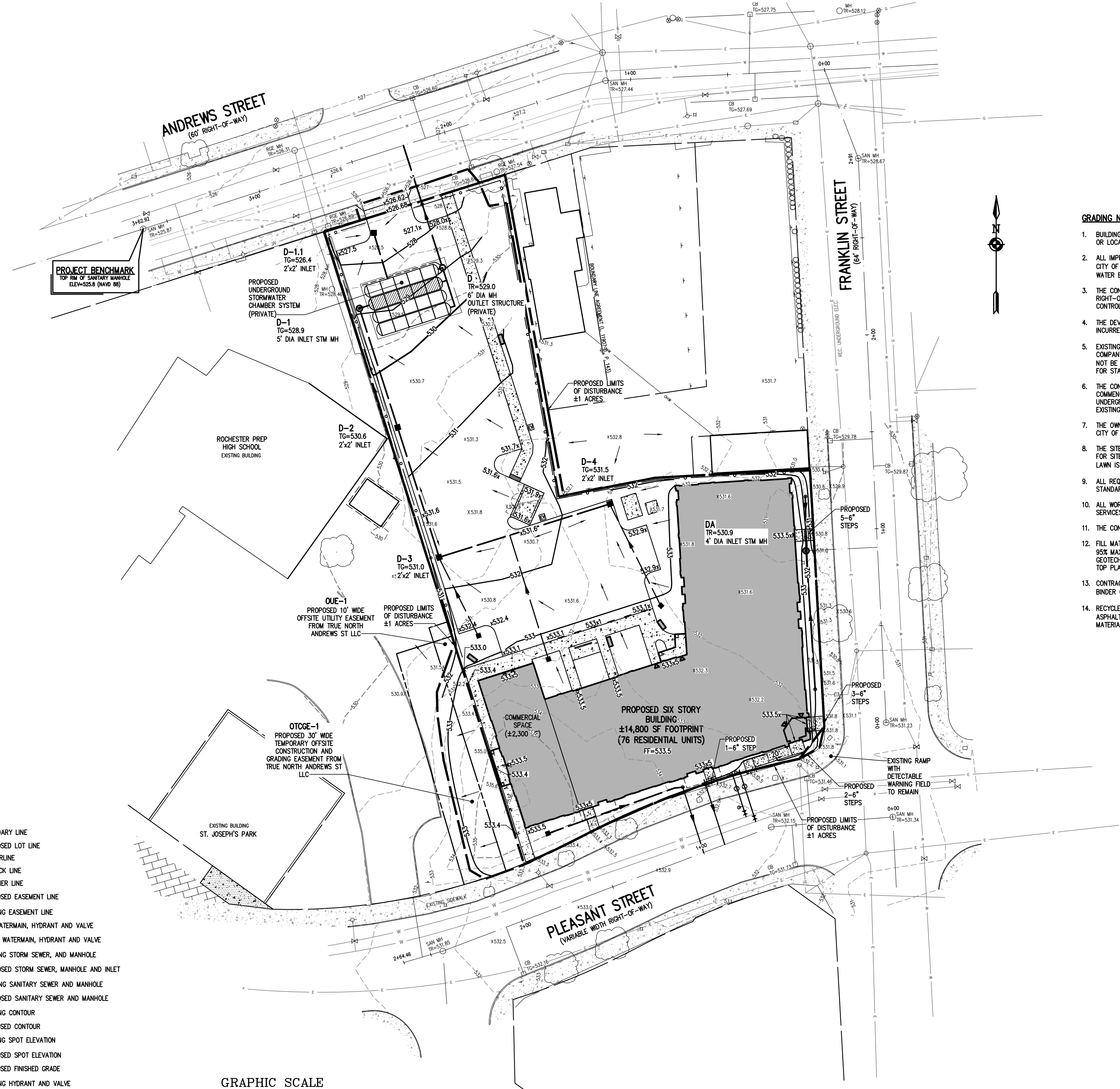
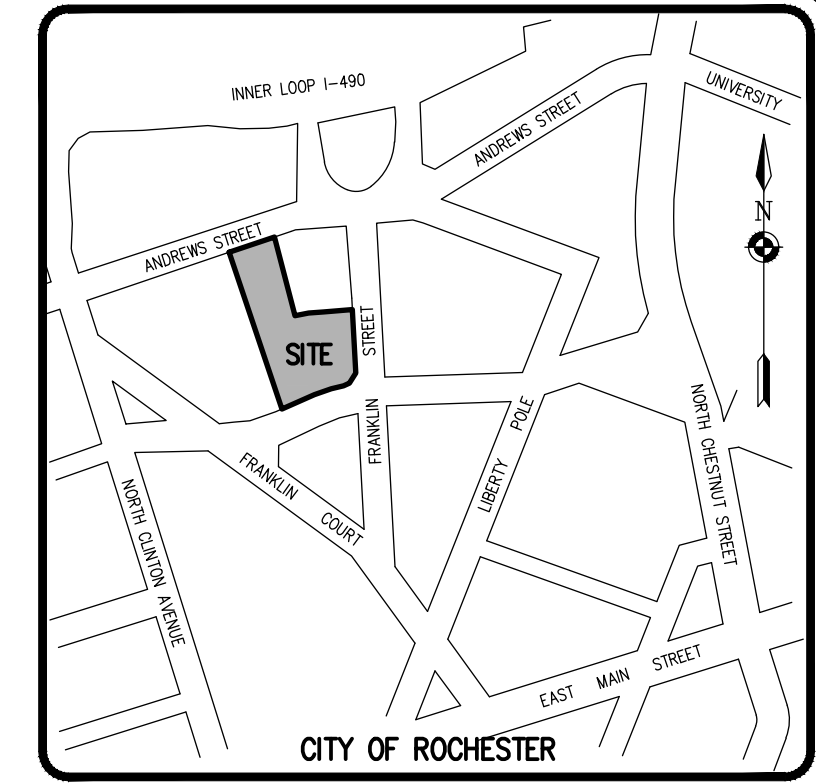
**ALTA VISTA AT ST. JOSEPH'S PARK**  
PROJECT LOCATION CLIENT DRAWING TITLE  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
ALTA VISTA HOLDINGS LLC  
504 CLEVELAND AVE.  
ROCHESTER, NY 14621  
FINAL UTILITY PLAN

**PHILIPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, 3RD DIVISION, FRANKLIN TRACT, T.A. No. 106.80-1-25.001 & ATWATER & ANDREWS TRACT, T.A. No. 106.80-1-44.003**

PROJECT MANAGER: J. SWEDROCK  
PROJECT ENGINEER: RR. SPURR  
DRAWN BY: VL. SCHLAGETER  
SCALE: 1" = 30'  
DATE ISSUED: DECEMBER 07, 2021  
PROJECT NO.: 2744  
DRAWING NO.: 07



Drawing Alteration  
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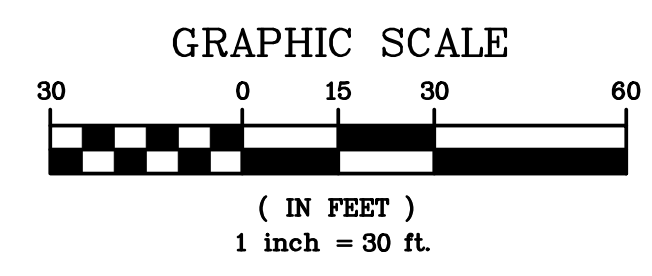


**GRADING NOTES:**

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- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
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- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- THE SITE CONTRACTOR AND DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES FOR SITE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL SITE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED (SEE #2744-09).
- ALL REQUIRED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE DONE TO THE CITY OF ROCHESTER'S STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS AS APPROVED BY THE CITY ENGINEER.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
- THE CONTRACTOR SHALL CONTROL DUST ONSITE AS DIRECTED BY THE CITY OF ROCHESTER.
- FILL MATERIAL PLACED IN THE BUILDING AND PAVEMENT AREAS SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) OR AS DIRECTED BY A GEOTECH. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE OWNER WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
- CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE. PRIOR TO PLACING THE BINDER COURSE, THE PARKING LOT/DRIVEWAY SHALL BE REVEALED BY THE ENGINEER AND THE OWNER.
- RECYCLED MATERIALS OR RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND BRICK, RECLAIMED ASPHALT PAVEMENT (RAP), AND CORIAN ARE UNACCEPTABLE FOR USE AS BACKFILL AND SUBBASE COURSE MATERIALS WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL OF THE CITY ENGINEER.

**LEGEND**

[Symbol]	BOUNDARY LINE
[Symbol]	PROPOSED LOT LINE
[Symbol]	CENTERLINE
[Symbol]	SETBACK LINE
[Symbol]	ADJOINER LINE
[Symbol]	PROPOSED EASEMENT LINE
[Symbol]	EXISTING EASEMENT LINE
[Symbol]	EX. WATERMAIN, HYDRANT AND VALVE
[Symbol]	PROP. WATERMAIN, HYDRANT AND VALVE
[Symbol]	EXISTING STORM SEWER, AND MANHOLE
[Symbol]	PROPOSED STORM SEWER, MANHOLE AND INLET
[Symbol]	EXISTING SANITARY SEWER AND MANHOLE
[Symbol]	PROPOSED SANITARY SEWER AND MANHOLE
[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED FINISHED GRADE
[Symbol]	EXISTING HYDRANT AND VALVE
[Symbol]	EXISTING CATCH BASIN
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING UTILITY POLE



NO.	REVISIONS	DATE	BY
7			
6			
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4			
3	REVISED PER CITY OF ROCHESTER COMMENTS	2/19/22	MS
2	REVISED PER MOCHA, WATER BUREAU, AND MCPW COMMENTS	02/04/22	MS
1			

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PHONE: 585-577-7360  
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**ALTA VISTA AT ST. JOSEPH'S PARK**  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
ALTA VISTA HOLDINGS LLC  
954 CLEGG ROAD, SUITE 100  
ROCHESTER, NY 14621

PROJECT LOCATION CLIENT DRAWING TITLE

**FINAL GRADING PLAN**

PROJECT MANAGER: J. SWEDROCK  
PROJECT ENGINEER: RR. SPURR  
DRAWN BY: VL. SCHLAGETER  
SCALE: 1" = 30'  
DATE ISSUED: DECEMBER 07, 2021  
PROJECT NO.: 2744  
DRAWING NO.: 08

**NOT APPROVED**  
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**CONSTRUCTION EROSION CONTROL NOTES:**

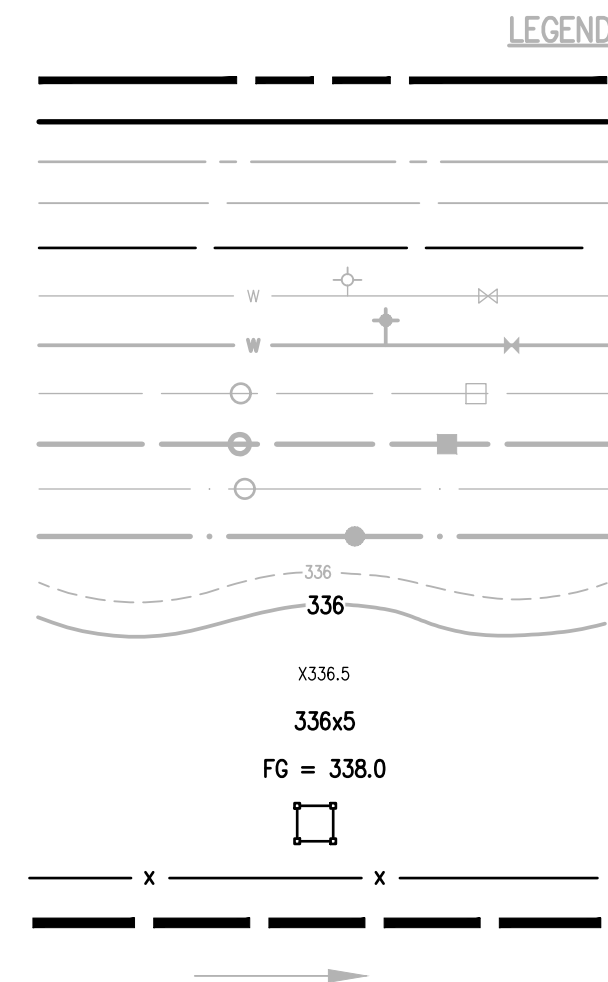
- THE CONSTRUCTION ACTIVITIES FOR THIS PROJECT REQUIRE THE PREPARATION OF AN EROSION AND SEDIMENT CONTROL PLAN ONLY. THE PROJECT PLANS CONSIST OF THE GRADING PLAN, THE CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEETS, AND THE CITY OF ROCHESTER DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED CONSTRUCTION EROSION CONTROL PLAN. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE CITY OF ROCHESTER FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CONSTRUCTION EROSION CONTROL PLAN. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
- FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL.
- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
- ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
- TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:  
THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:  

	LBS./ACRE	LBS./1000 SQ. FT.
ANNUAL RYEGRASS	40	1
PERENNIAL RYEGRASS	40	1
OATS	40	1
WHITE CLOVER (+ INOCULANT)	4	0.1

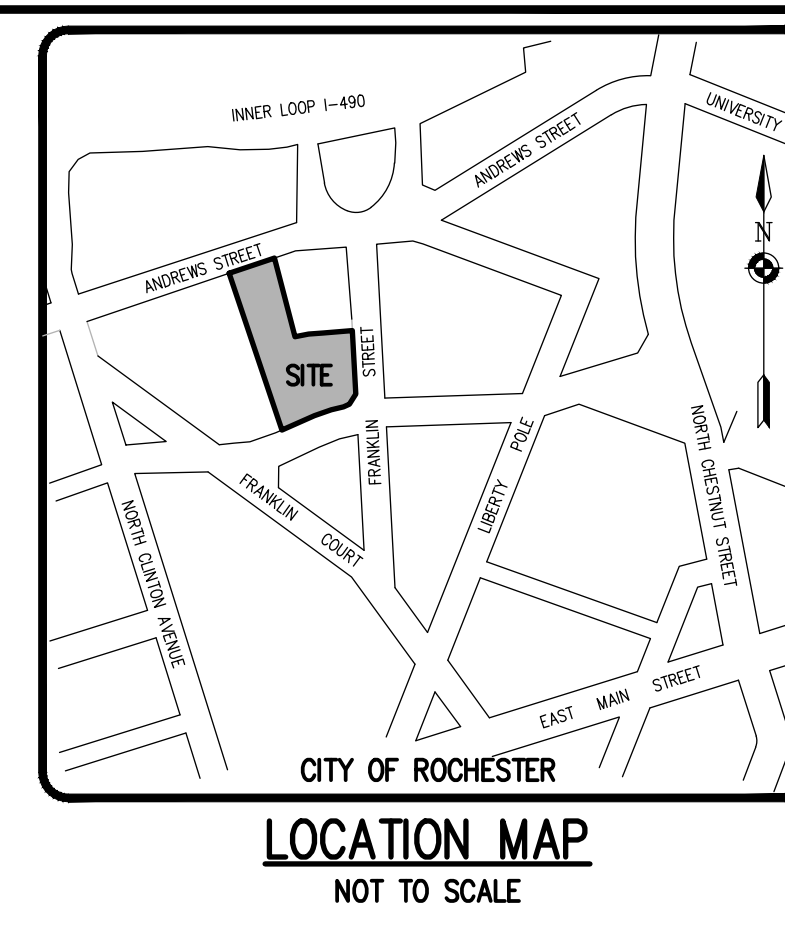
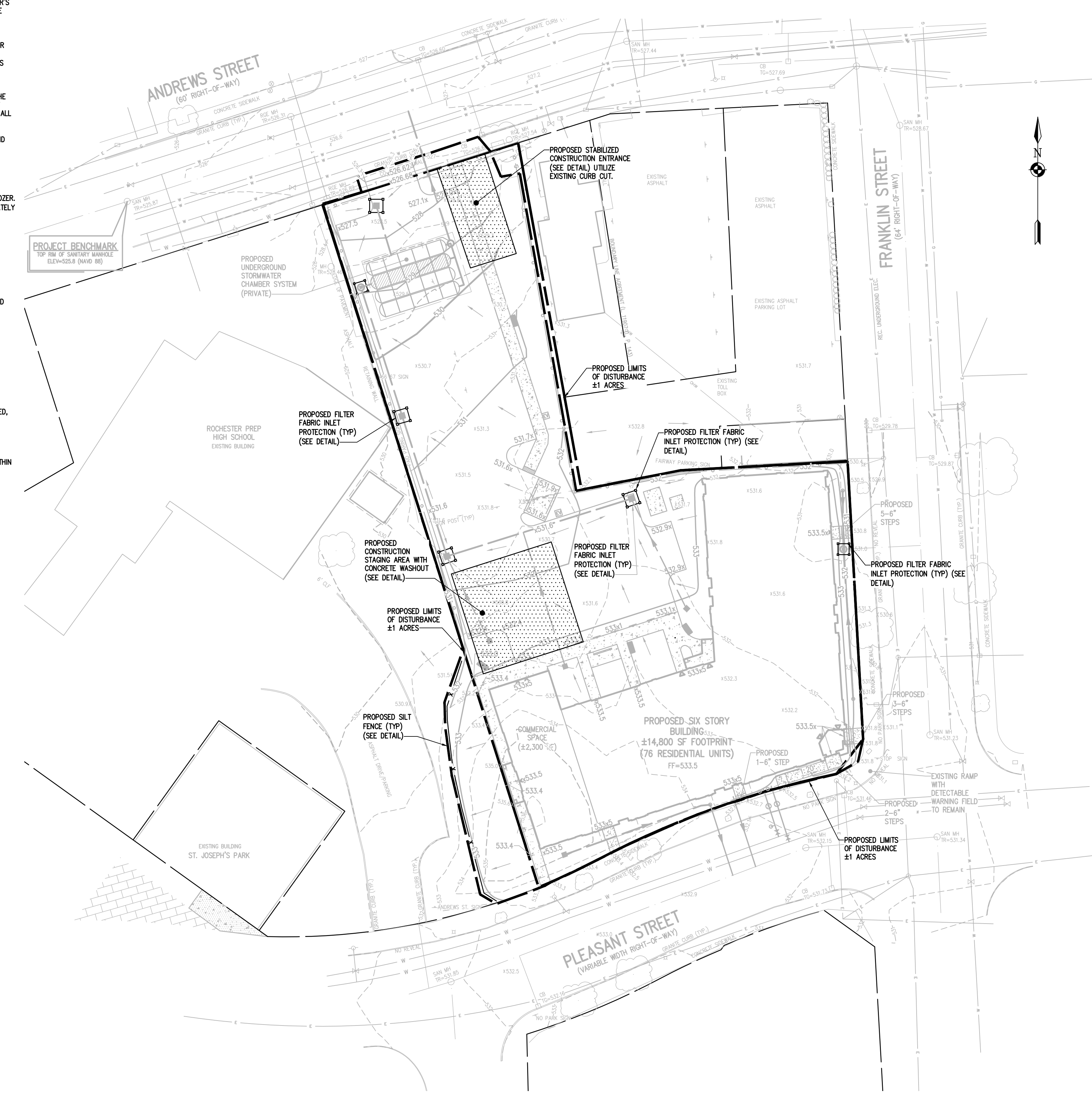
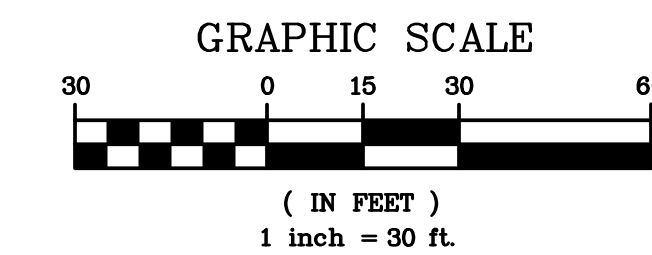
SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.
- DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:  

	LBS./ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.  
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER  
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT.
- ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEED.
- ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.
- THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.
- CONTRACTOR TO INSTALL PROPOSED PERIMETER SECURITY FENCE/CONSTRUCTION FENCE AS NECESSARY AND AS DETERMINED IN THE FIELD AROUND THE PERIMETER OF THE SITE.



- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- ADJOINER LINE
- EX. WATERMAIN, HYDRANT AND VALVE
- PROP. WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE
- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- DRAINAGE FLOW DIRECTION



**SEQUENCE OF CONSTRUCTION STEPS:**

**STEP 1: (SITE PREPARATION AND DEMOLITION)**

- INSTALL AND MAINTAIN PERIMETER SECURITY FENCE, STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL), AND CONSTRUCTION STAGING AREA
- INSTALL PERIMETER SILT FENCE

**STEP 2: (CONSTRUCTION ACTIVITY)**

- STRIP TOPSOIL FROM THE SITE AND REMOVE FROM SITE.
- SAWCUT AND REMOVE EXISTING ASPHALT FROM THE SITE AS REQUIRED. CONTRACTOR TO REMOVE EXISTING STRUCTURES, UTILITIES, FENCE, SIGNAGE, SIDEWALK ETC. (SEE DEMOLITION PLAN). CONTRACTOR TO PREPARE SITE AS NECESSARY.
- PEDESTRIAN AND VEHICLE ACCESS IS TO BE MAINTAINED TO ADJACENT PROPERTIES (SEE SIDEWALK CLOSURE PLAN).
- COMMENCE GRADING OPERATIONS. INSTALL ADDITIONAL EROSION CONTROL MEASURES. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE CITY/GOVERNING AGENCY. CONTRACTOR TO FINE GRADE, SEED, AND MULCH AREAS DISTURBED WITHIN 7 DAYS IF NOT WORKED WITHIN 7 DAYS. SEED WITH SEED MIX AS INDICATED, AND PROVIDE MULCH AS SPECIFIED IN THE CONSTRUCTION EROSION CONTROL NOTES.
- CONTRACTOR MAY INSTALL UTILITIES AND LATERALS DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. THE STORMTECH CHAMBER SYSTEM TO BE INSTALLED PRIOR TO STABILIZATION OF THE SITE. ADDITIONAL EROSION CONTROL MEASURES SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.

**SEQUENCE OF CONSTRUCTION STEPS:**

**STEP 3: (STABILIZATION & MONITORING)**

- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES.
- MAINTAIN SILT FENCE
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND WINTER SITE STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE CITY OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAY INLETS AND DRAINAGE CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR CITY OF ROCHESTER.

PHELPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, 3RD DIVISION, FRANKLIN TRACT, T.A. No. 106.80-1-25.001 & ATWATER & ANDREWS TRACT, T.A. No. 106.80-1-44.003

Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3	REVISED PER CITY OF ROCHESTER COMMENTS	2/19/22	MS
2	REVISED PER MCDON, WATER BUREAU, AND MCPW COMMENTS	02/04/22	MS
1			

**BME ASSOCIATES**  
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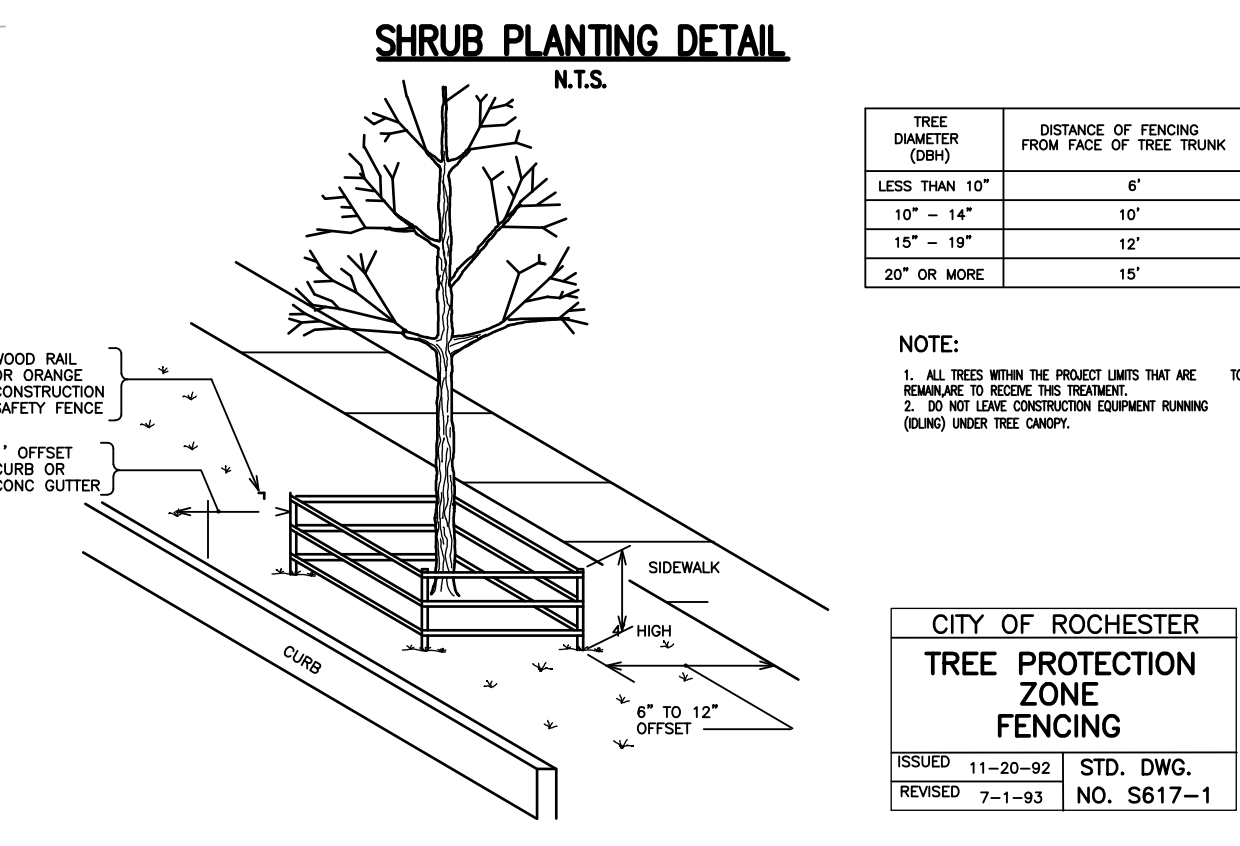
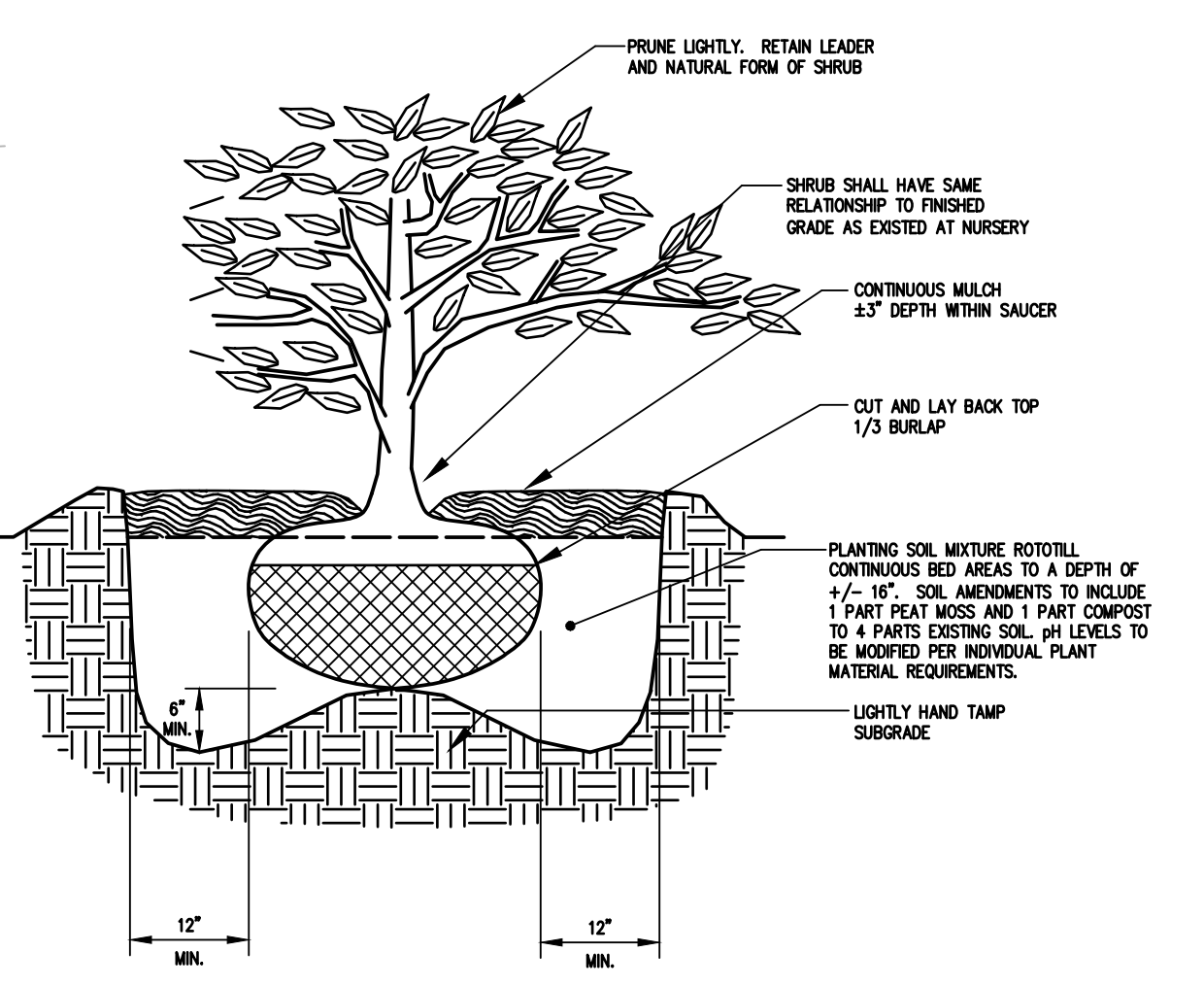


**ALTA VISTA AT ST. JOSEPH'S PARK**  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
ALTA VISTA HOLDINGS LLC  
954 CLEGG RD. #1621  
ROCHESTER, NY 14621  
FINAL  
**CONSTRUCTION EROSION CONTROL PLAN**  
DRAWING TITLE

PROJECT MANAGER  
J. SWEDROCK  
PROJECT ENGINEER  
RR. SPURR  
DRAWN BY  
VL. SCHLAGETER  
SCALE DATE ISSUED  
1" = 30' DECEMBER 07, 2021  
PROJECT NO.  
2744  
DRAWING NO.  
09

**NOT APPROVED**  
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



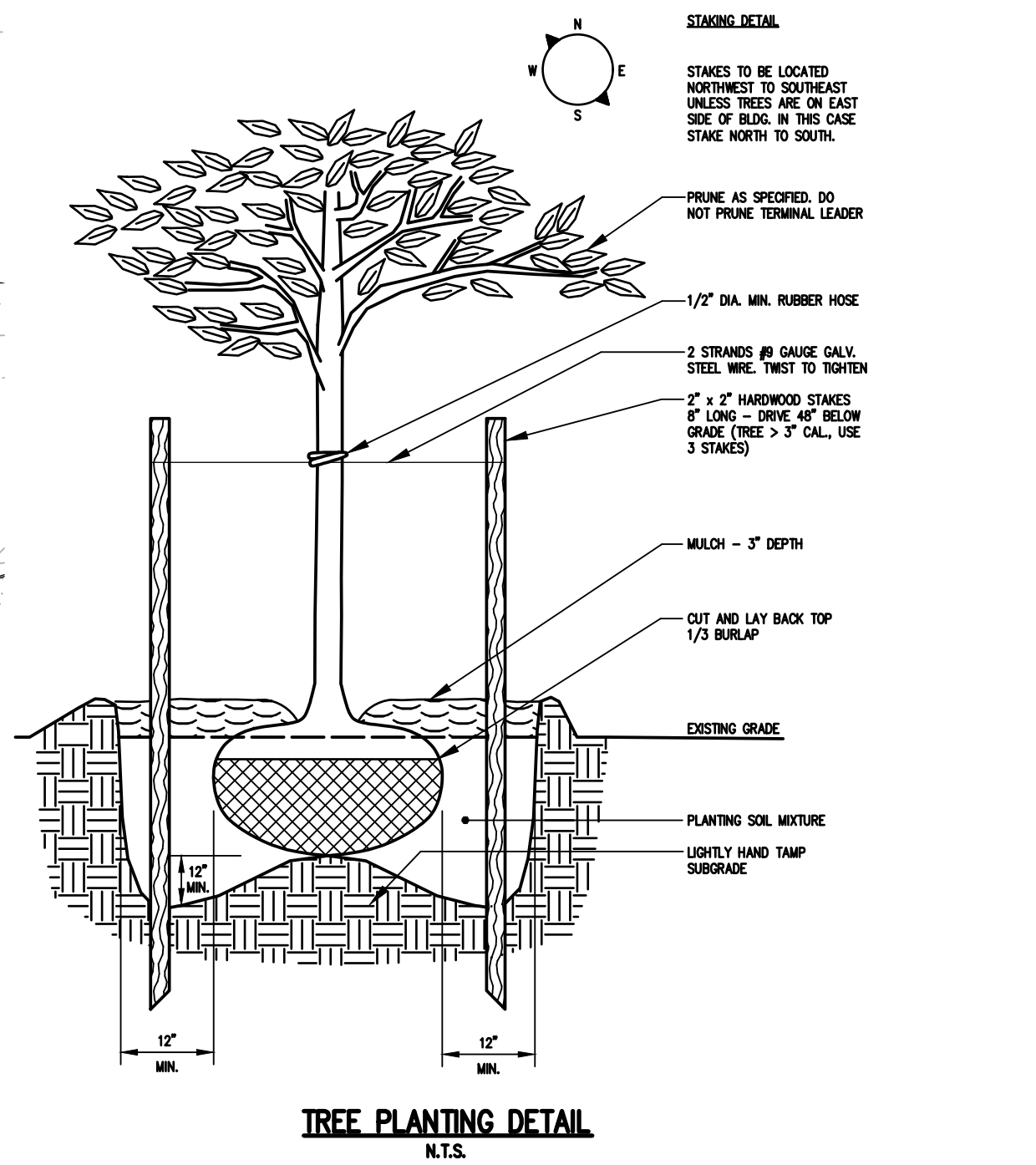


TREE DIAMETER (DBH)	DISTANCE OF FENCING FROM FACE OF TREE TRUNK
LESS THAN 10"	6"
10" - 14"	10"
15" - 19"	12"
20" OR MORE	15"

NOTE:  
 1. ALL TREES WITHIN THE PROJECT LIMITS THAT ARE NEARBY TO EXISTING TREE TRUNKS;  
 2. DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING (IDLE) UNDER TREE CANOPY.

CITY OF ROCHESTER  
 TREE PROTECTION ZONE FENCING  
 ISSUED 11-20-92 STD. DWG.  
 REVISED 7-1-93 NO. S617-1

STAKING DETAIL  
 STAKES TO BE LOCATED NORTHWEST TO SOUTHEAST UNLESS TREES ARE ON EAST SIDE OF BLOCK, IN THIS CASE STAKE NORTH TO SOUTH.



**LEGEND**

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- ADJOINER LINE
- EDGE OF PAVEMENT LINE
- EXISTING EASEMENT LINE
- EX. WATERMAIN, HYDRANT AND VALVE
- PROP. WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- PROPERTY MARKER FOUND
- CONCRETE HIGHWAY MONUMENT FOUND
- EXISTING HYDRANT AND VALVE
- EXISTING CATCH BASIN
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING GAS SERVICE

**SITE PLANT MATERIALS LIST**

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
<b>TREES</b>						
2	CC	<i>Cercis canadensis</i> 'Rising Sun'	Rising Sun Redbud	2.5" cal	B&B	
3	CK	<i>Cornus Kousa</i>	Kousa Dogwood	2.5" cal	B&B	
3	CV	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	2.5" cal	B&B	
2	GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	Honeylocust	2.5" cal	B&B	
2	UA	<i>Ulmus americana</i> 'Valley Forge'	American Elm	2.5" cal	B&B	
1	QR	<i>Quercus rubra</i>	Red Oak	2.5" cal	B&B	
<b>SHRUBS</b>						
35	CA	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet	24"	B&B	or cont.
23	IG	<i>Ilex glabra</i> 'Compacta'	Inkberry	24"	B&B	or cont.
41	TM	<i>Taxus X media</i> 'Densiformis'	Dense Yew	24"	B&B	or cont.
<b>PERENNIALS/GRASSES</b>						
6	HH	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	#1	cont.	spacing @ 24"
3	HP	<i>Heuchera</i> 'Southern Comfort'	Coral Bells	#1	cont.	spacing @ 24"
311	SS	<i>Schizachyrium scoparium</i> 'Prairie Blues'	Little Bluestem	#1	cont.	spacing @ 24"

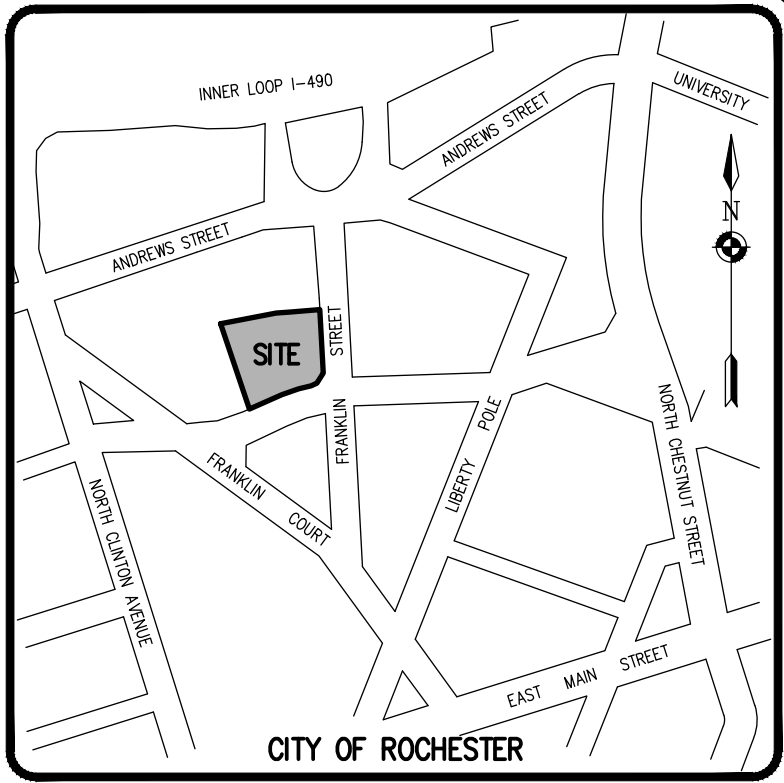
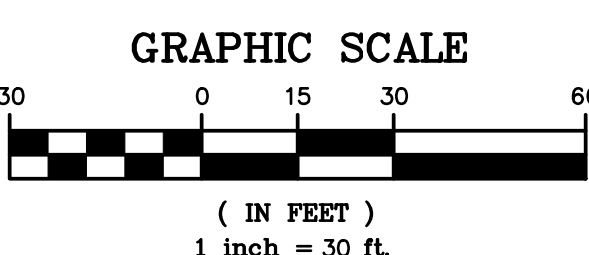
**REQUIRED LANDSCAPE TABLE**

	REQUIRED	PROPOSED
1 TREE PER 40' OF PARCEL PERIMETER: 1,040 LF.	26	12
STREET TREES ≥ 3" CAL. TO REMAIN	-	5
ADDITIONAL OFF SITE TREES	-	5
TOTAL TREES INCLUDED IN PROJECT CALCULATION		22
SHRUBS*	12	99
*MAY SUBSTITUTE 3 SHRUBS PER TREE		
TOTAL SHRUBS		99

THE PROJECT PROVIDES 22 TREES + 99 SHRUBS WHICH EXCEEDS THE LANDSCAPE REQUIREMENT.

- FORESTRY GENERAL NOTES:**
- CONTRACTOR IS TO BE AWARE OF AND FAMILIAR WITH REQUIREMENTS OF SECTIONS 89.9 TREES AND 89.12 PENALTIES OF CITY CODE AS THEY WILL BE STRICTLY ADHERED TO. CITY CODE CAN BE FOUND ON CITY OF ROCHESTER'S WEB SITE AT [HTTP://WWW.CITYOFROCHESTER.GOV/SERVICES](http://WWW.CITYOFROCHESTER.GOV/SERVICES), UNDER 'CITY CHARTER AND CODE ONLINE.'
  - CONTRACTOR IS TO PROVIDE PROTECTION FOR ALL EXISTING TREES WITHIN PROJECT LIMITS THROUGHOUT COURSE OF PROJECT TO MINIMIZE, AS MUCH AS POSSIBLE, ANY DAMAGE FROM OCCURRING TO EXISTING TREES AS RESULT OF CONTRACTOR'S OPERATIONS. TREE PROTECTION IS TO CONSIST OF ORANGE CONSTRUCTION SAFETY FENCING OR WOOD RAILS PLACED AROUND AND COMPLETELY ENCOMPASSING EACH EXISTING TREE AND IS TO BE IN PLACE BEFORE ANY WORK IS STARTED PER SECTION S617 TREE PROTECTION AND CONTRACT DOCUMENTS.
  - OVERALL EXISTING TREE ROOT SYSTEM MUST REMAIN STRUCTURALLY ADEQUATE FOR EXISTING TREE TO WITHSTAND HEAVY WINDSTORMS. IN AREAS OF CURB/CONCRETE, GUTTER/PAVEMENT WORK, ANY EXISTING TREE ROOTS THAT ARE 2 INCHES OR LARGER IN DIAMETER AND ARE IN CONFLICT WITH SUCH WORK, MUST BE INSPECTED BY CITY FORESTRY BEFORE CUTTING CAN OCCUR. CONTRACTOR MUST CONTACT CITY FORESTRY AT (565) 428-7591 TO MAKE ARRANGEMENTS FOR SUCH INSPECTION. EXISTING TREE ROOTS THAT ARE SMALLER THAN 2 INCHES IN DIAMETER ARE TO BE CUT CLEANLY WITH SHARP IMPLEMENTS.
  - IN AREAS OF SIDEWALK CONSTRUCTION, EXISTING TREE ROOTS THAT ARE LOCATED UNDER AREA OF SIDEWALK CONSTRUCTION ARE NOT TO BE CUT. IF ANY OF EXISTING TREE ROOTS ARE 2 INCHES OR LARGER IN DIAMETER, SUB BASE COURSE MATERIAL IS NOT TO BE INSTALLED WITHIN 1 FOOT OF EXISTING TREE ROOT(S), AND CONCRETE IS TO BE POURED OVER EXISTING TREE ROOT(S).
  - IN AREAS OF DRIVEWAY, DRIVEWAY APPROACHES AND SIDEWALK ACCESS RAMP CONSTRUCTION, EXISTING TREE ROOTS ARE NOT TO BE CUT BY MEANS OF MECHANICAL TREE ROOT CUTTING MACHINES. IF ANY OF EXISTING TREE ROOTS MUST BE CUT, THEY ARE TO BE CUT MANUALLY WITH SHARP IMPLEMENTS.
  - IN AREAS WHERE EXISTING TREE ROOTS BECOME EXPOSED BY CONSTRUCTION ACTIVITIES, THEY ARE TO BE COVERED WITH MULCH, TOPSOIL OR MOTTENED BURLAP, AND WATERED STARING IMMEDIATELY AFTER EXPOSURE AND CONTINUING UNTIL EXCAVATED AREA IS RESTORED.
  - IF HEAVY EQUIPMENT MUST BE DRIVEN ON TREE LAWN OVER TREE ROOT ZONE, PLYWOOD MUST BE PLACED ON GROUND/TREE LAWN AREA SO AS TO DISPERSE COMPACTION AND PREVENT SOIL RUTTING.

- LANDSCAPE NOTES:**
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
  - ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
  - ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
  - PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
  - STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
  - PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS:  
 FOR BUILDING FOUNDATION PLANTING BEDS, PROVIDE A 3" LAYER OF WASHED COBBLES 1"-3" IN SIZE. PROVIDE WEED BARRIER MATERIAL BETWEEN SOIL AND MULCH LAYER.  
 FOR ALL OTHER LANDSCAPE PLANTING BEDS PROVIDE SHREDDED HARDWOOD MULCH PER DETAILS.
  - SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.  
 A. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:  
 'REPELL', 'OTATION' & 'MORNING STAR' % BY WEIGHT % BY PURITY % GERM  
 PERENNIAL RYE GRASS 40 85 85  
 'JAMESTOWN II', 'FORTRESS', 'ENSYLVA' RED FESCUE 20 97 80  
 'BARON' & 'MIDNIGHT' KENTUCKY BLUEGRASS 40 85 80  
 SEEDING RATE: 6.0 LBS PER 1,000 SF.  
 MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.  
 STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SF.  
 PLEASE REFER TO BME DRAWING # 2744-09 / CONSTRUCTION EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS E. : TEMPORARY SEEDING AND SPECIALIZED SEED MIXES.
  - PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDED AREAS UNTIL FINAL ACCEPTANCE. ONCE THE LANDSCAPING IS ACCEPTED BY THE OWNER, THE LANDSCAPE MAINTENANCE IS TO BE PROVIDED BY OWNER/ OWNER REPRESENTATIVE FOR THE (1) ONE YEAR MAINTENANCE GUARANTEE PERIOD.
  - ANY PROPOSED DEVIATION TO THE LANDSCAPING PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING AND PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
  - IN THE EVENT EXISTING STREET TREES WITHIN THE CITY RIGHT-OF-WAY CANNOT BE PROTECTED AND MAINTAINED, THE TREE IS TO BE REPLACED IN-KIND.



Drawing Alteration  
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NO.	REVISIONS	DATE
7		
6		
5	REVISED PER CLIENT COMMENTS	3/7/22
4	REVISED PER CITY OF ROCHESTER COMMENTS	2/18/22
3	REVISED PER CITY OF ROCHESTER COMMENTS	02/09/22
2	REVISED PER MCDON, WATER BUREAU, AND MCPW COMMENTS	02/04/22
1		

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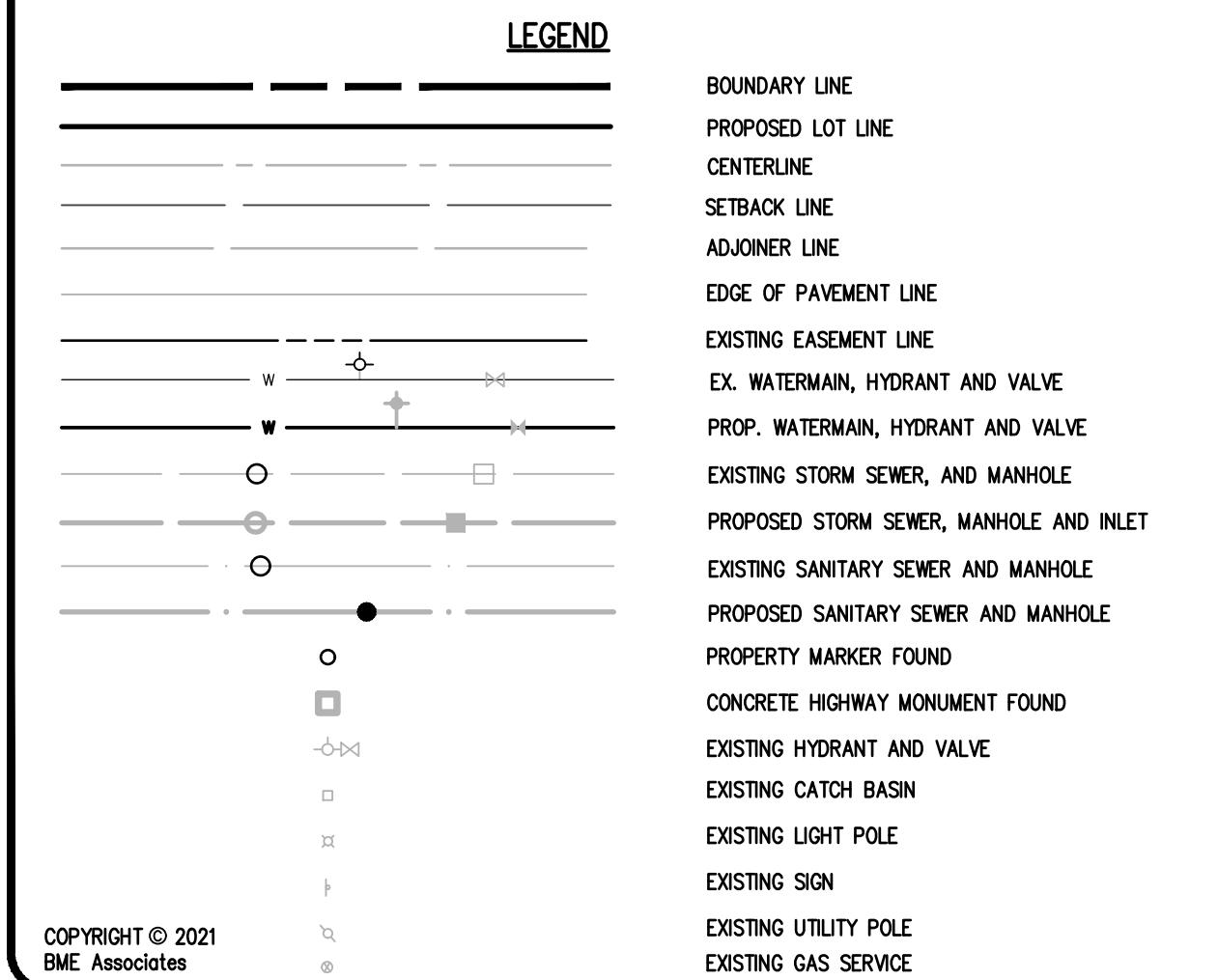
**ALTA VISTA AT ST. JOSEPH'S PARK**  
 CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
 ALTA VISTA HOUSING LLC  
 854 CLIFFORD AVE.  
 ROCHESTER, NY 14621

**LANDSCAPE PLAN**

PROJECT: ALTA VISTA AT ST. JOSEPH'S PARK  
 LOCATION: CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
 CLIENT: ALTA VISTA HOUSING LLC  
 PROJECT ENGINEER: J. SWEDROCK  
 DRAWN BY: R. JONES  
 DATE ISSUED: DECEMBER 07, 2021  
 SCALE: 1" = 30'  
 PROJECT NO.: 2744  
 DRAWING NO.: 10

PHILIPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, 3RD DIVISION, FRANKLIN TRACT, T.A. No. 106.80-1-25.001 & ATWATER & ANDREWS TRACT, T.A. No. 106.80-1-44.003

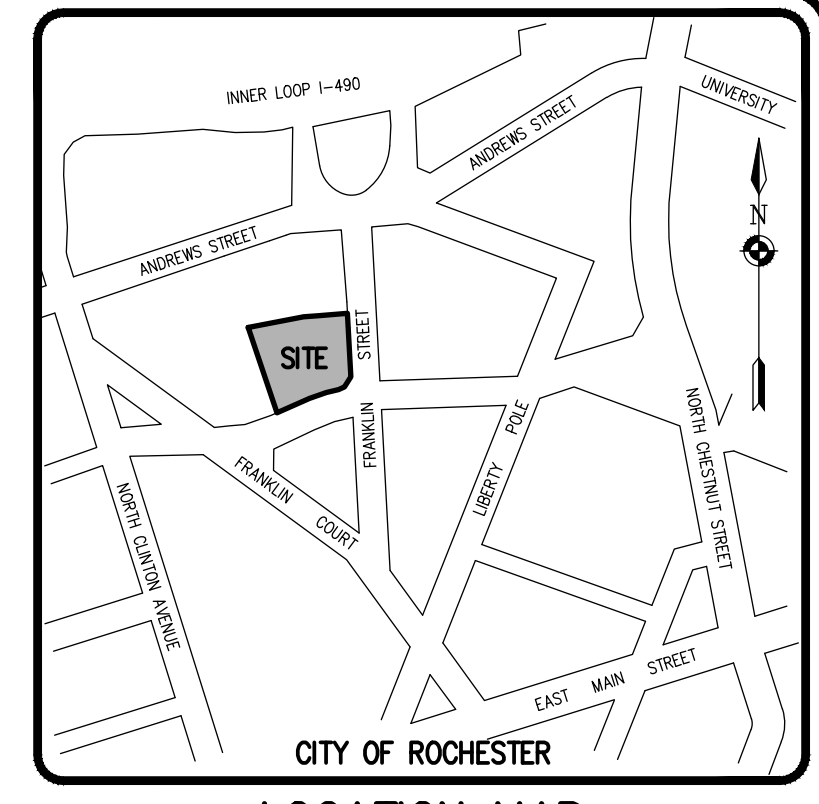
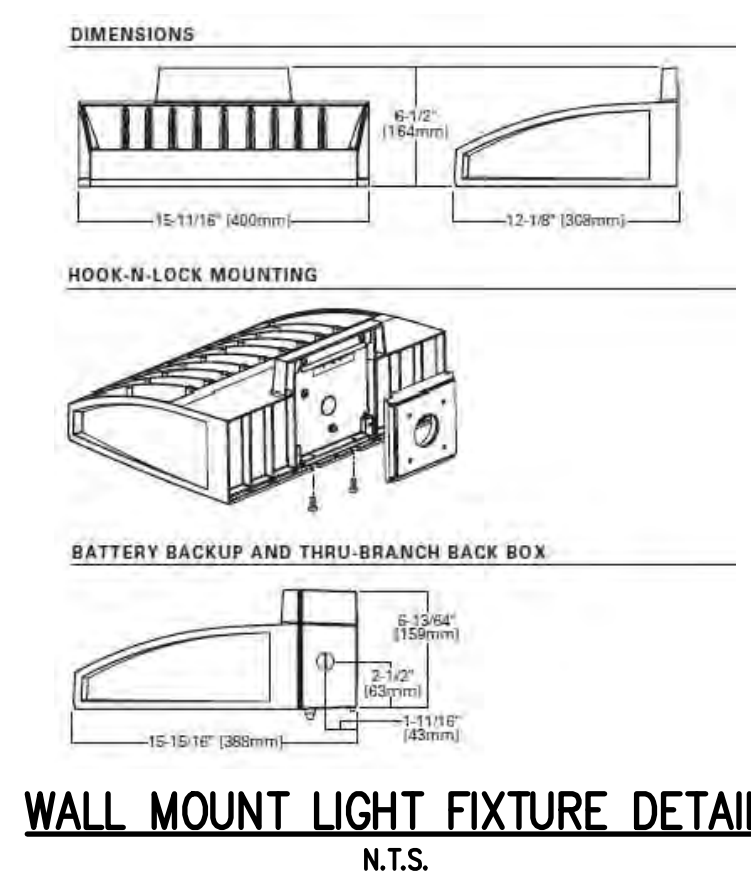
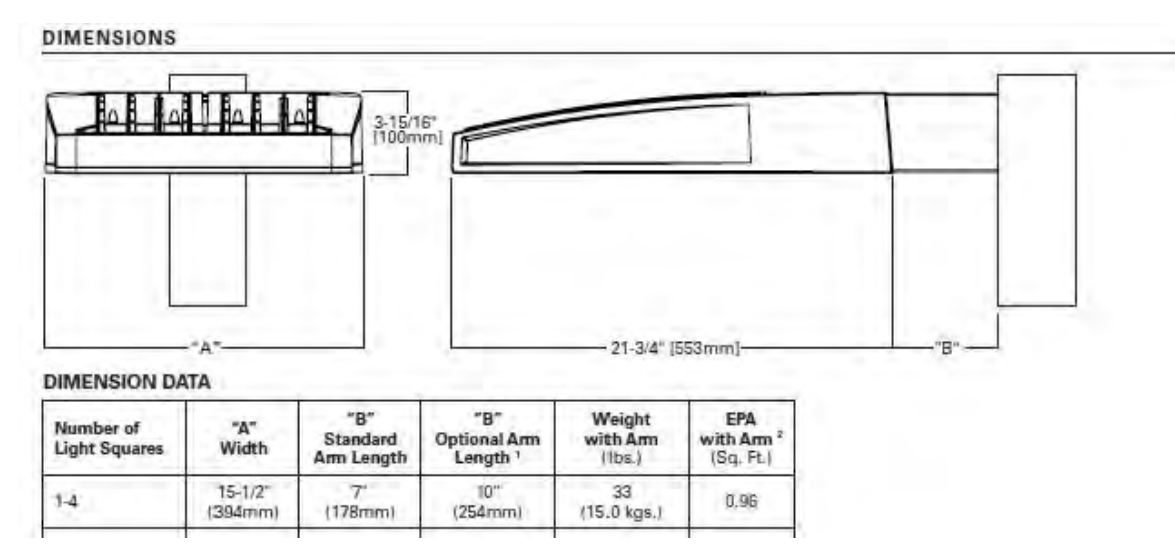
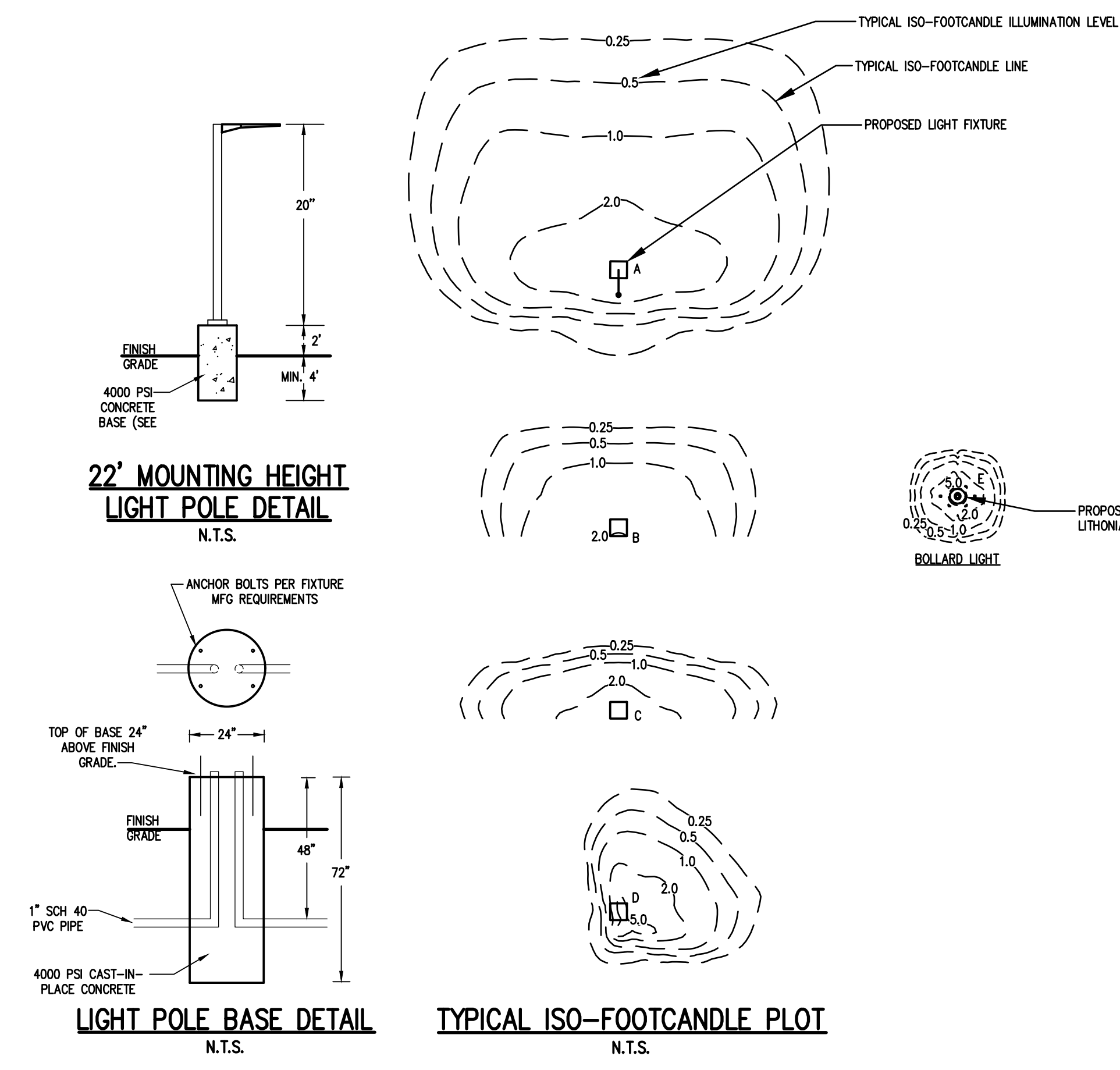




- PARKING LOT LIGHTING NOTES:**
- SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
  - SITE LIGHTING LUMINAIRES TO BE LED FIXTURES AS LISTED IN THE LUMINAIRE SCHEDULE OR AN APPROVED EQUIVALENT.
  - ALL FIXTURES TO HAVE BLACK FINISH.
  - ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
  - ALL SITE LIGHTING TO BE CONTROLLED WITH DUSK TO DAWN PHOTO CONTROLS.
  - ALL POLES TO BE PROVIDED A 120 VOLT LIGHTING CIRCUIT.
  - ALL LIGHT POLES TO BE SQUARE, COOPER LIGHTING SOLUTIONS STRAIGHT STEEL SS45A20S, DARK BRONZE, 20' POLE LENGTH OR APPROVED EQUIVALENT.
  - CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
  - CONTRACTOR TO SUPPLY POLE INFORMATION FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - OWNER / CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL SERVICE DISTRIBUTION AND LIGHTING CIRCUITRY DESIGN.
  - REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ILLUMINATION LIGHTING FIXTURES, SPECIFICATIONS AND LOCATIONS.

**LUMINAIRE SCHEDULE**

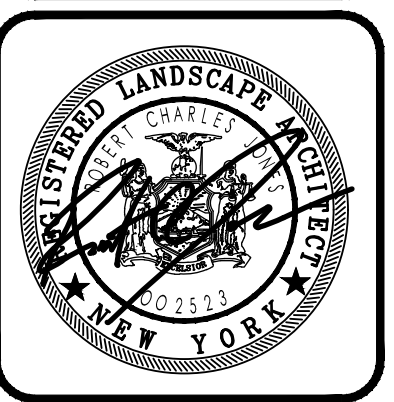
TYPE	QTY	MANUFACTURER CATALOGUE NUMBER	ARRANGEMENT	WATTAGE	LUMENS/LAMP	LLF	MH	POLE	DESCRIPTION
A	3	GLEON-AF-04-LED-E1-SL4	Single	225	23,844	1.0	22'	20'	MICRAW EDISON, GLEON, GALLEON LED LUMINAIRE WITH TYPE 4 DISTRIBUTION
B	2	GW-C-AF-01-LED-E1-T4W	Single	59	6,313	1.0	12'		MICRAW EDISON, GLEON, GALLEON WALL LUMINAIRE WITH TYPE T4W DISTRIBUTION
C	4	GW-C-AF-01-LED-E1-T2	Single	59	6,238	1.0	12'		MICRAW EDISON, GLEON, GALLEON WALL LUMINAIRE WITH TYPE T2 DISTRIBUTION
D	1	GW-C-AF-01-LED-E1-SLR	Single	59	5,588	1.0	12'		MICRAW EDISON, GLEON, GALLEON WALL LUMINAIRE WITH TYPE SLR DISTRIBUTION
E	8	KBC8-LED-16C-530-40K-MVOLT	Single	111	17,661	1.0	3.5'	BOLLARD	LITHONIA, KBC8 LED



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NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2	REVISED PER SIDEWALK CONNECTION	3/07/22	RCJ
1	REVISED PER CITY OF ROCHESTER COMMENTS	2/18/22	RCJ

**BME ASSOCIATES**  
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WWW.BMEPCOM



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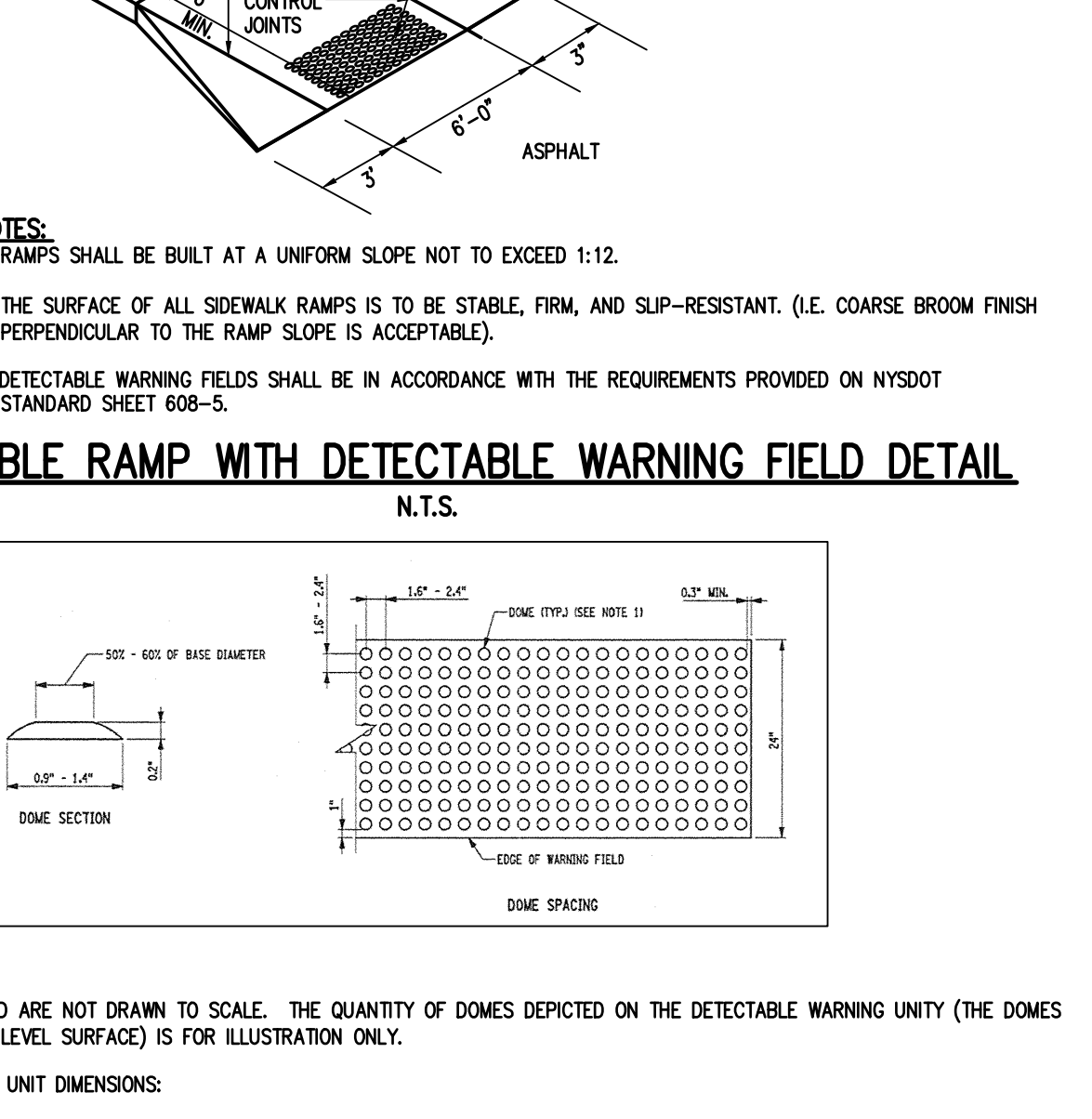
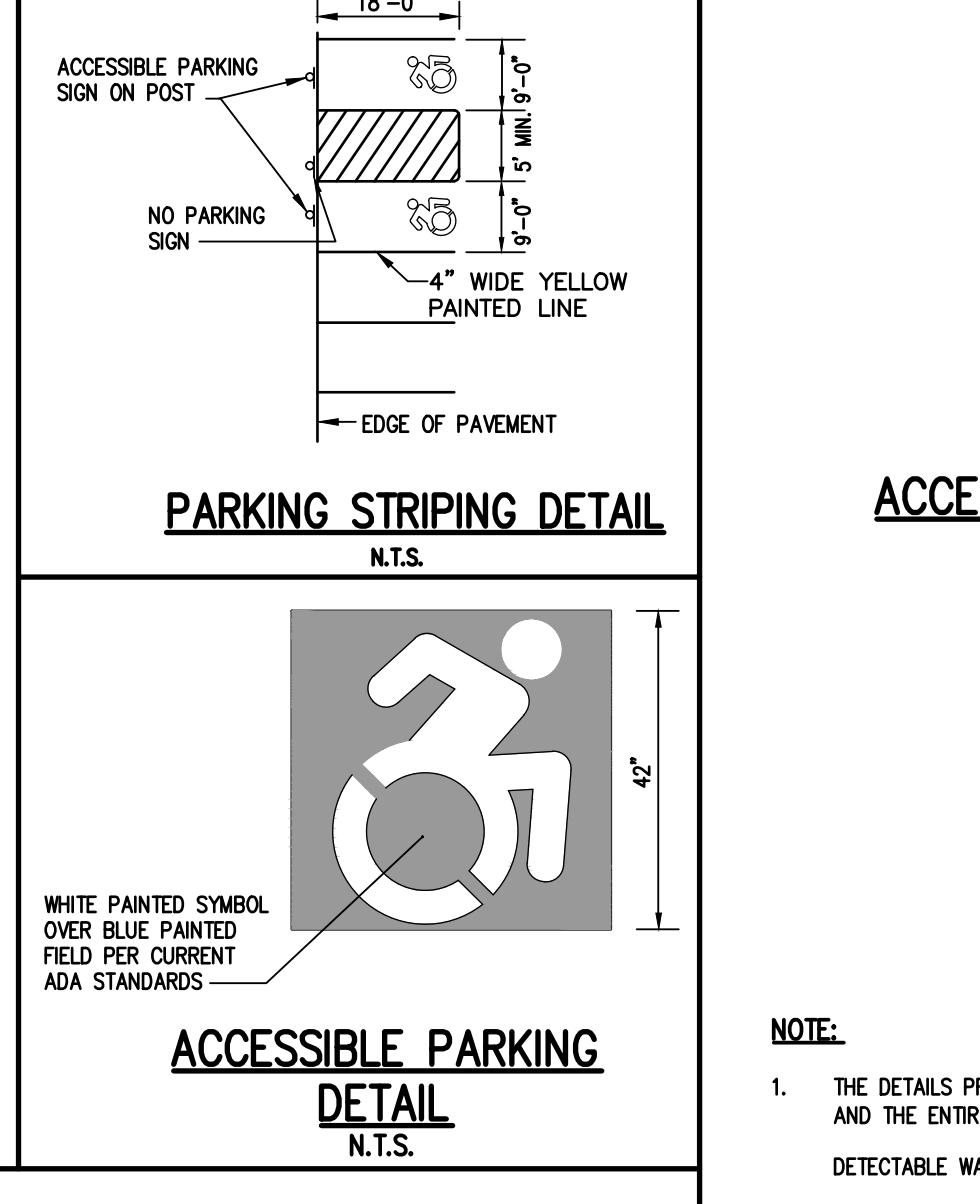
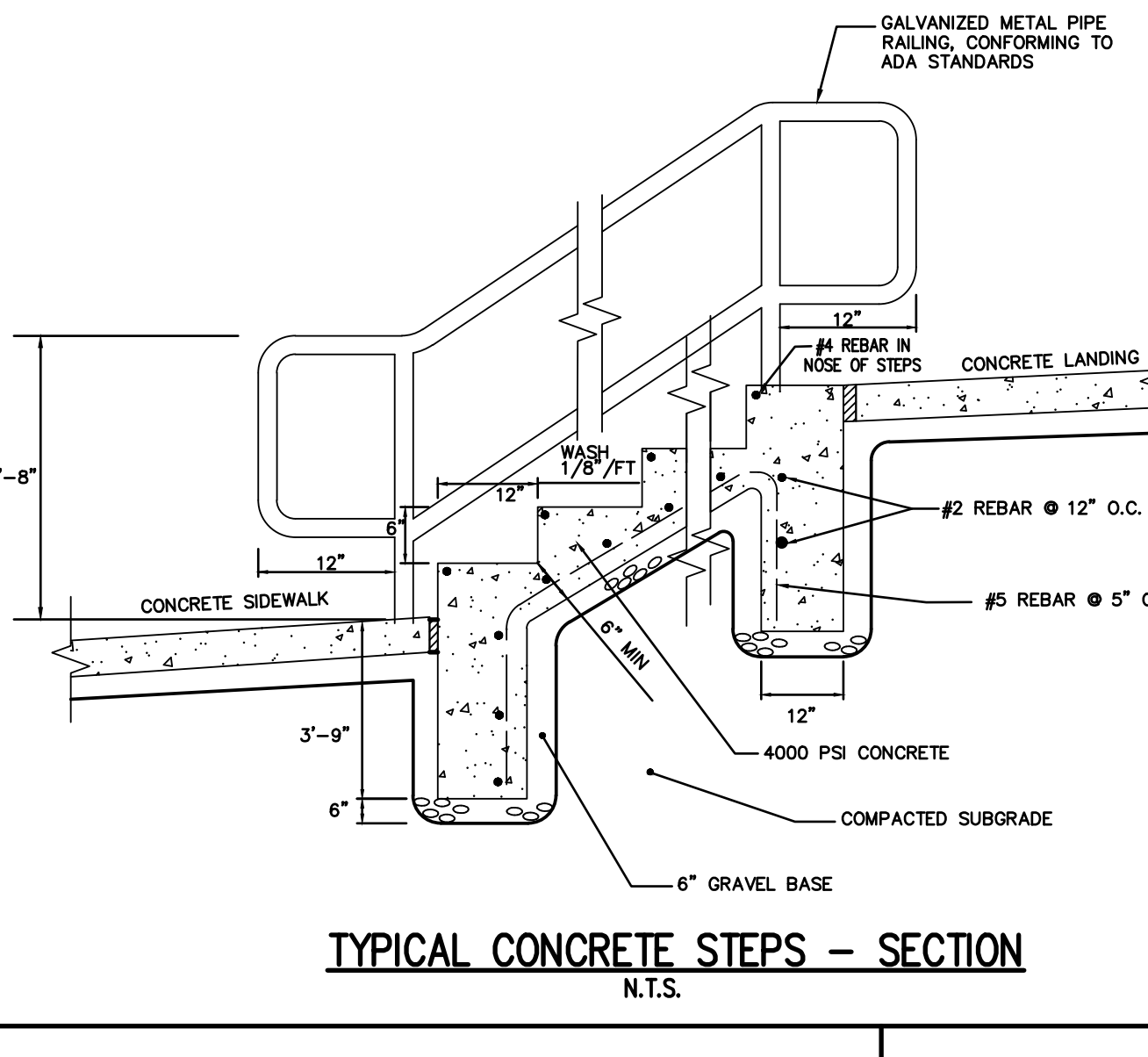
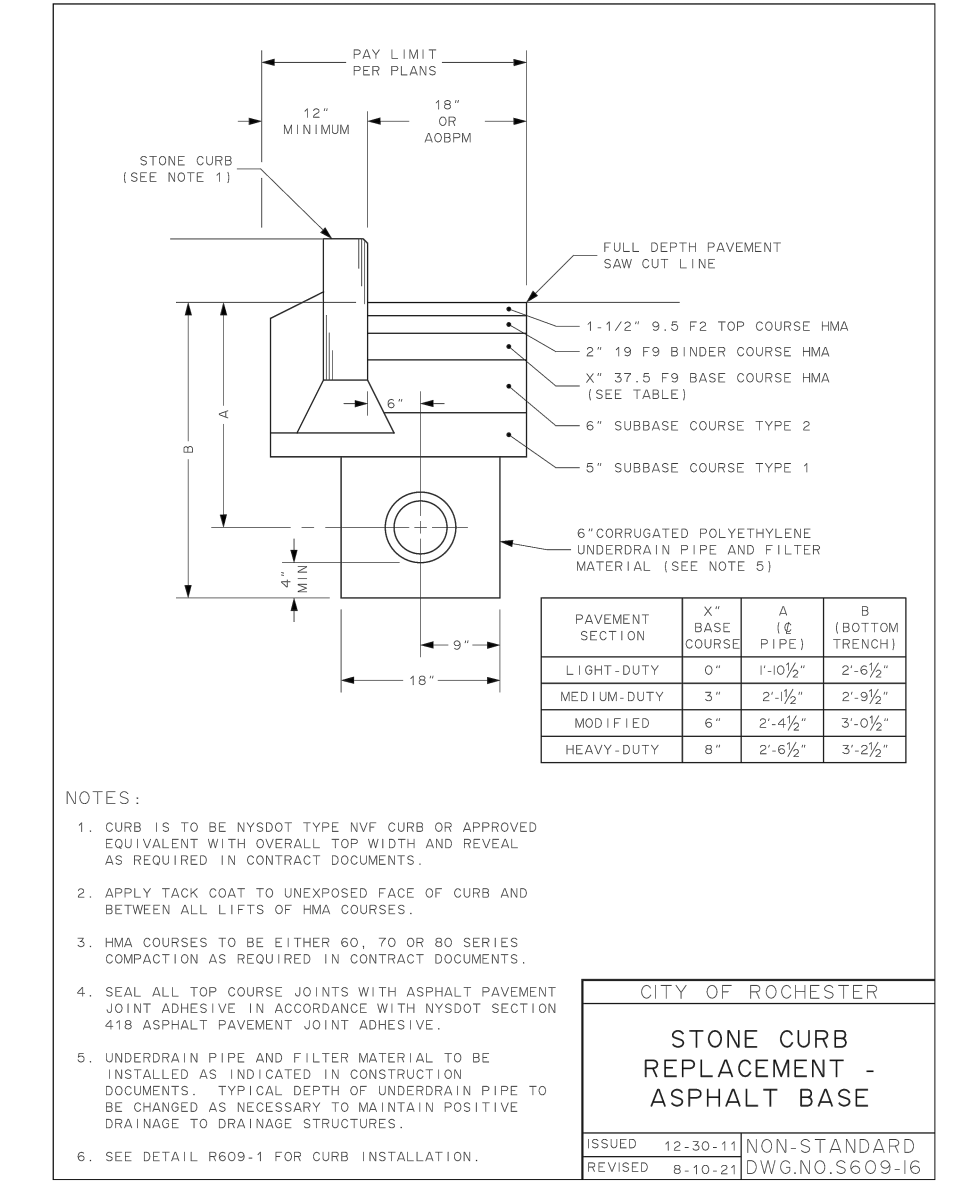
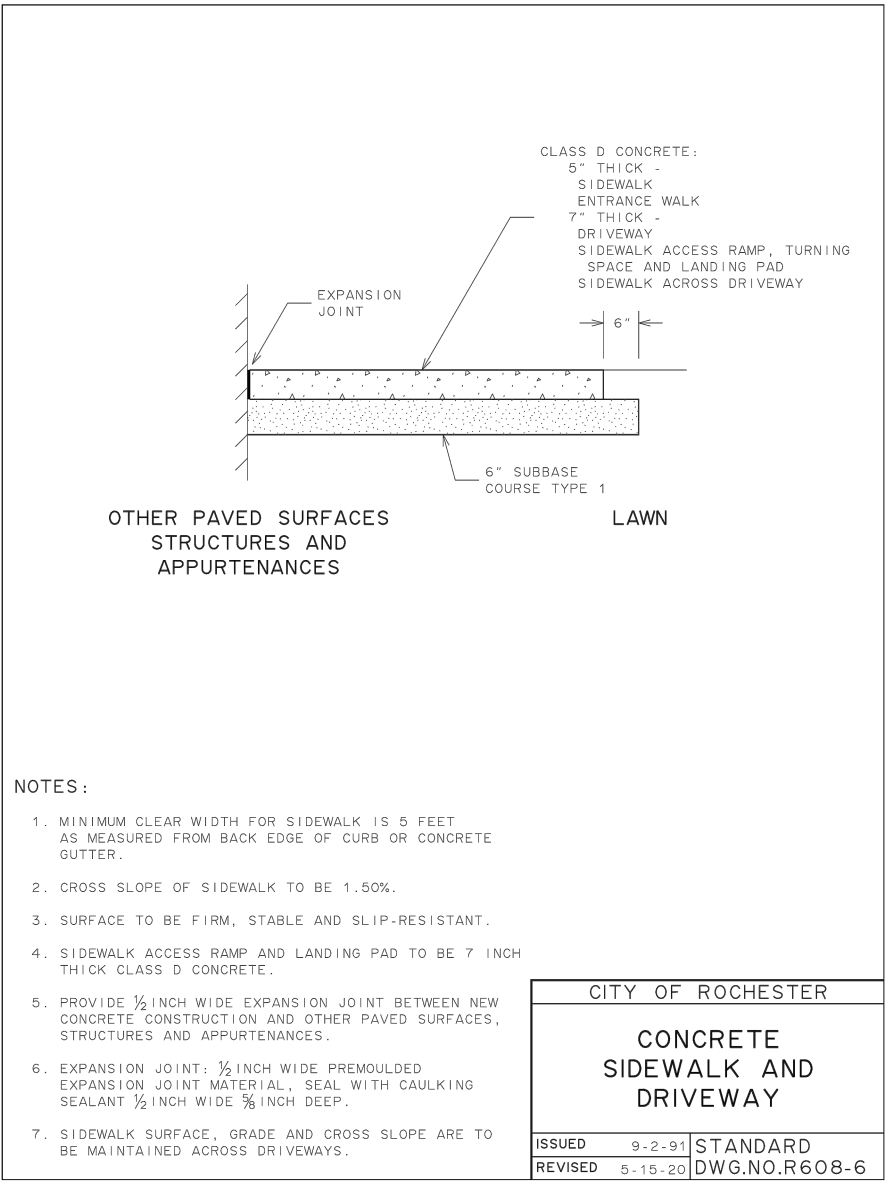
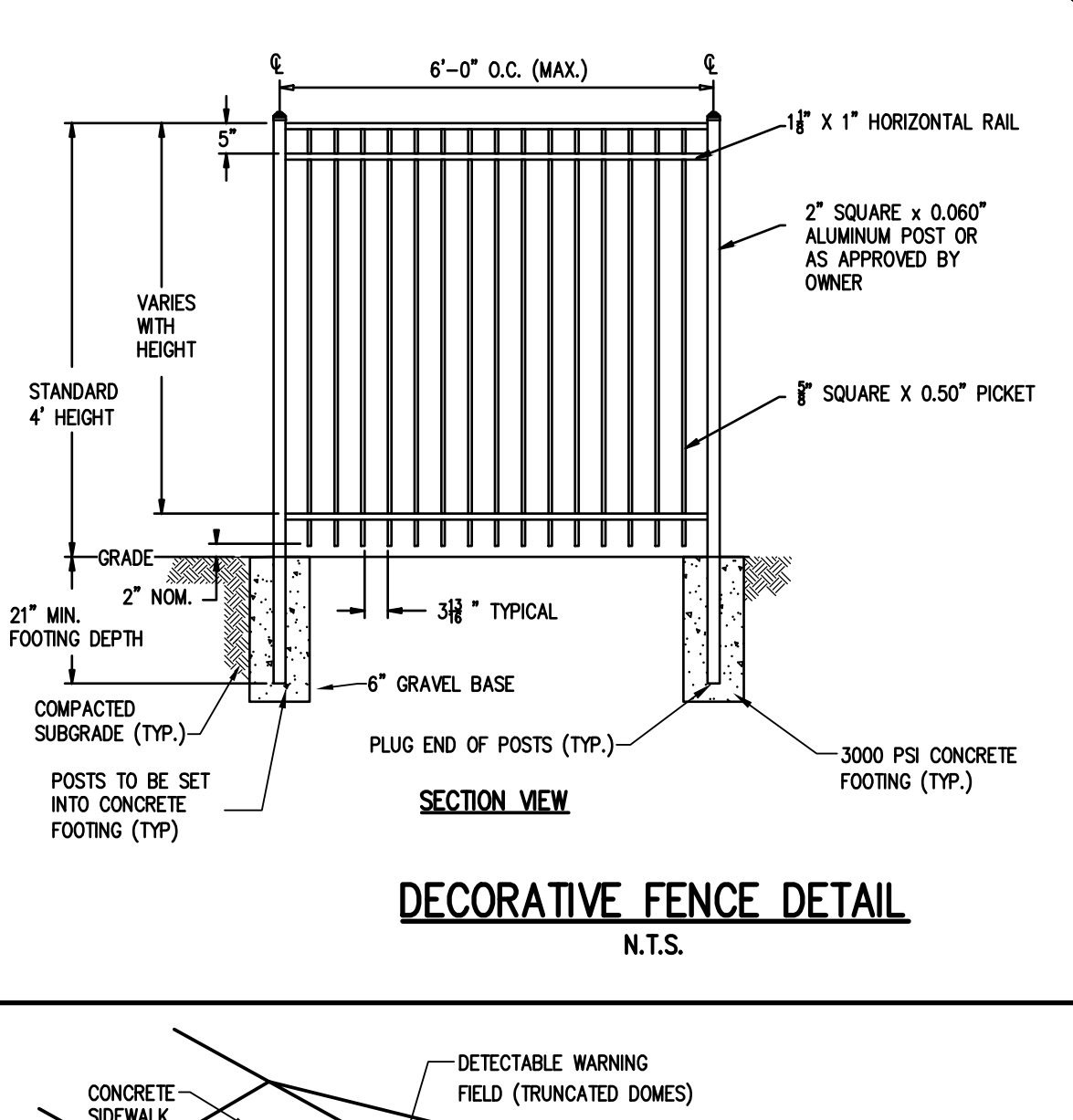
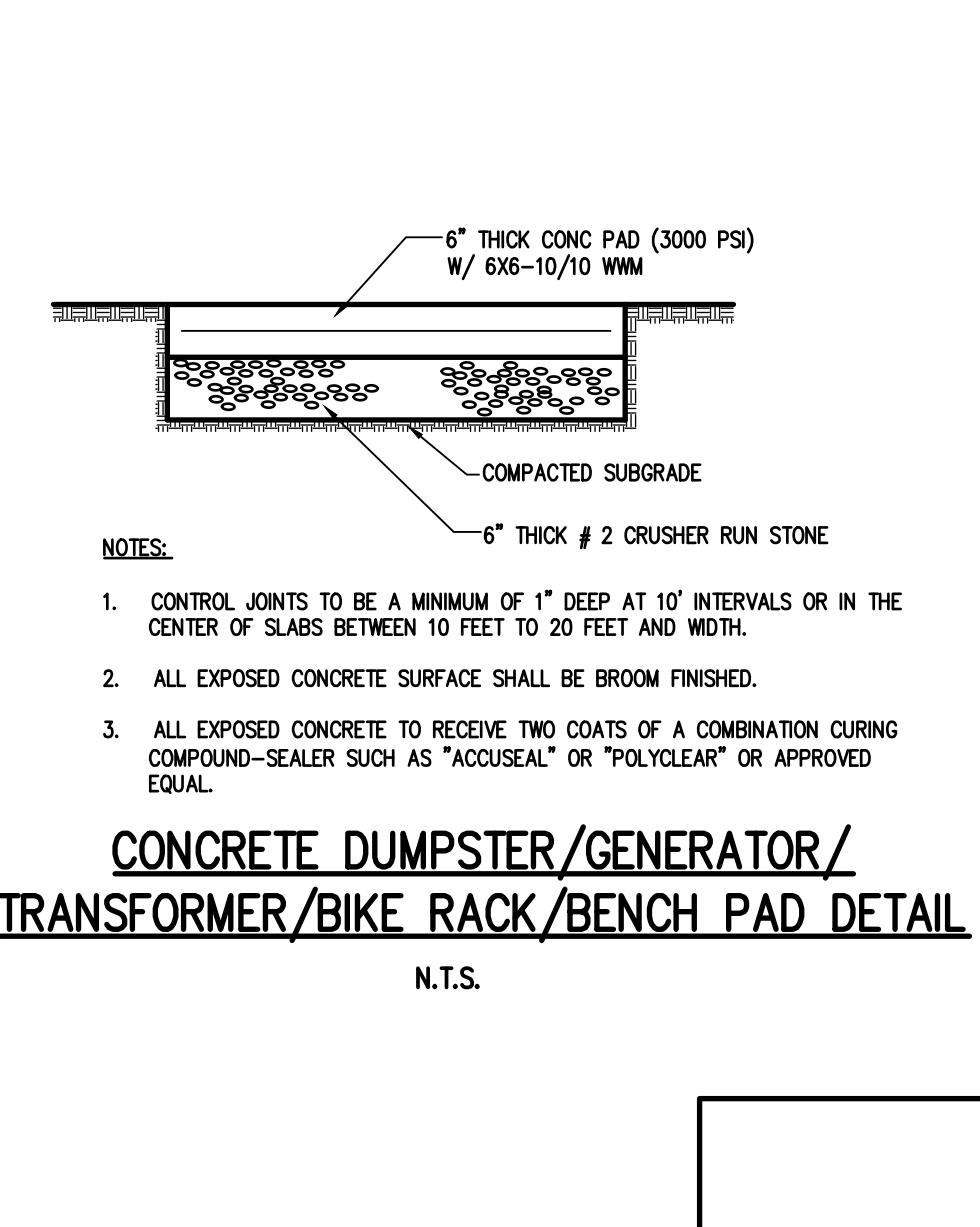
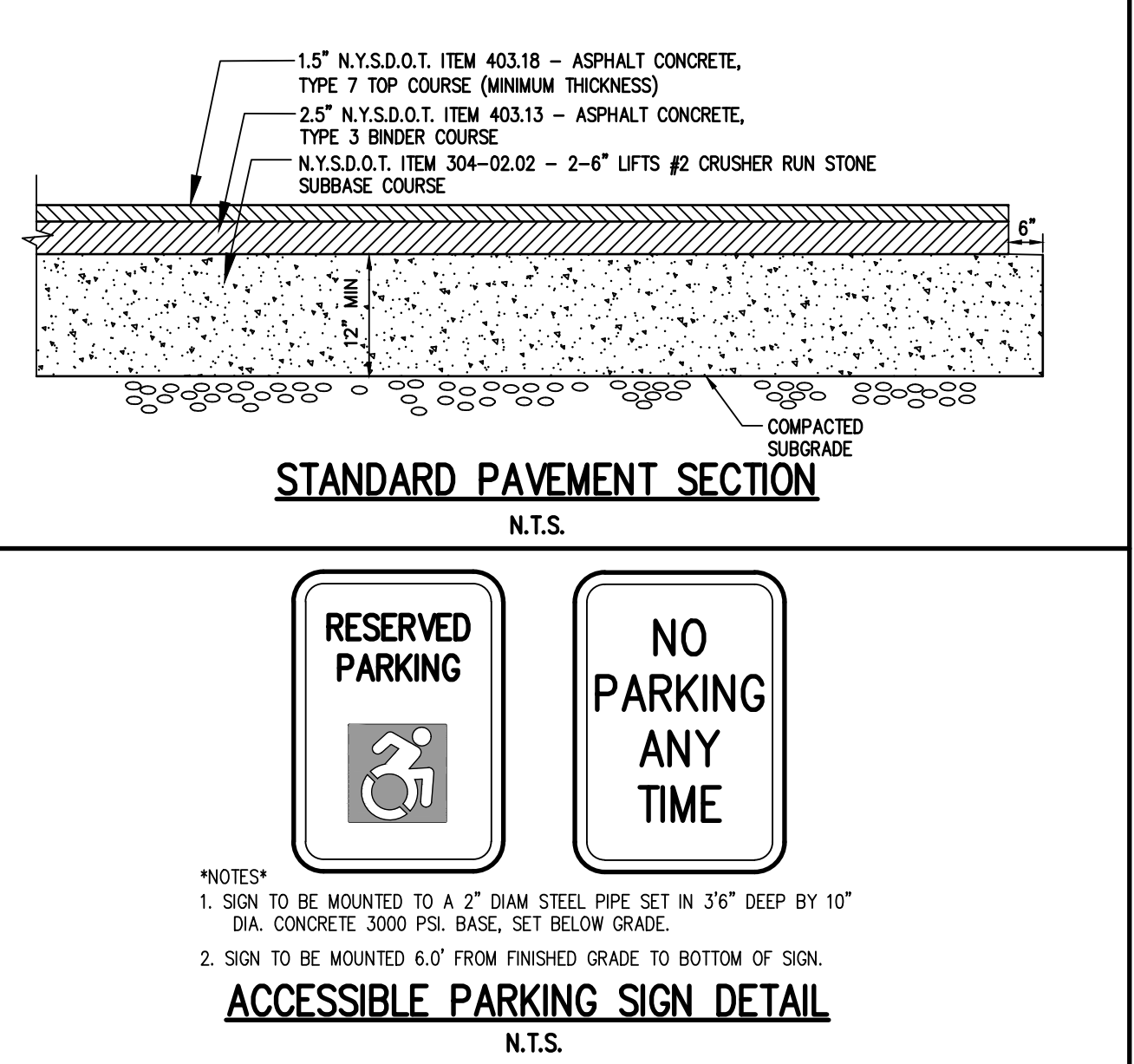
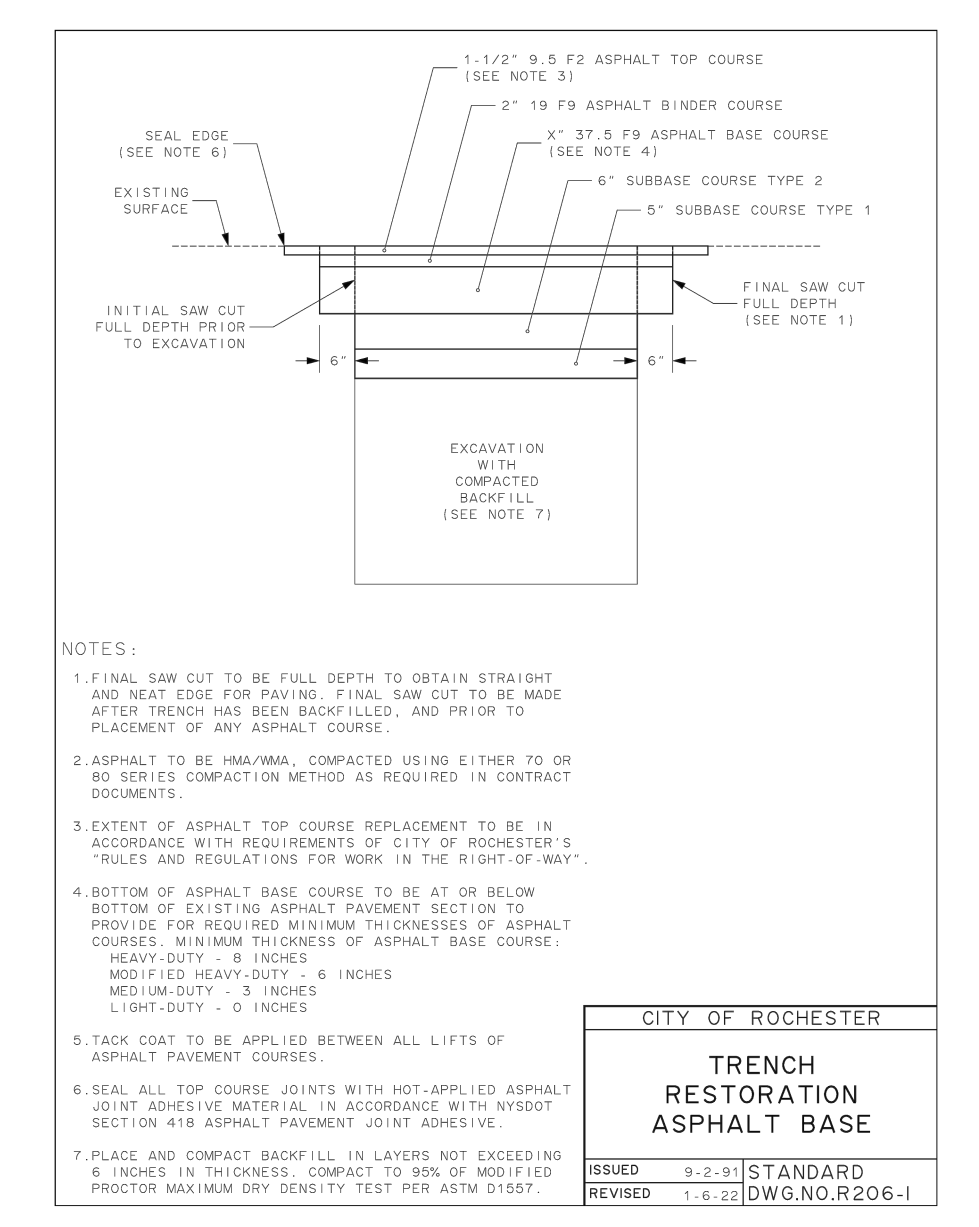
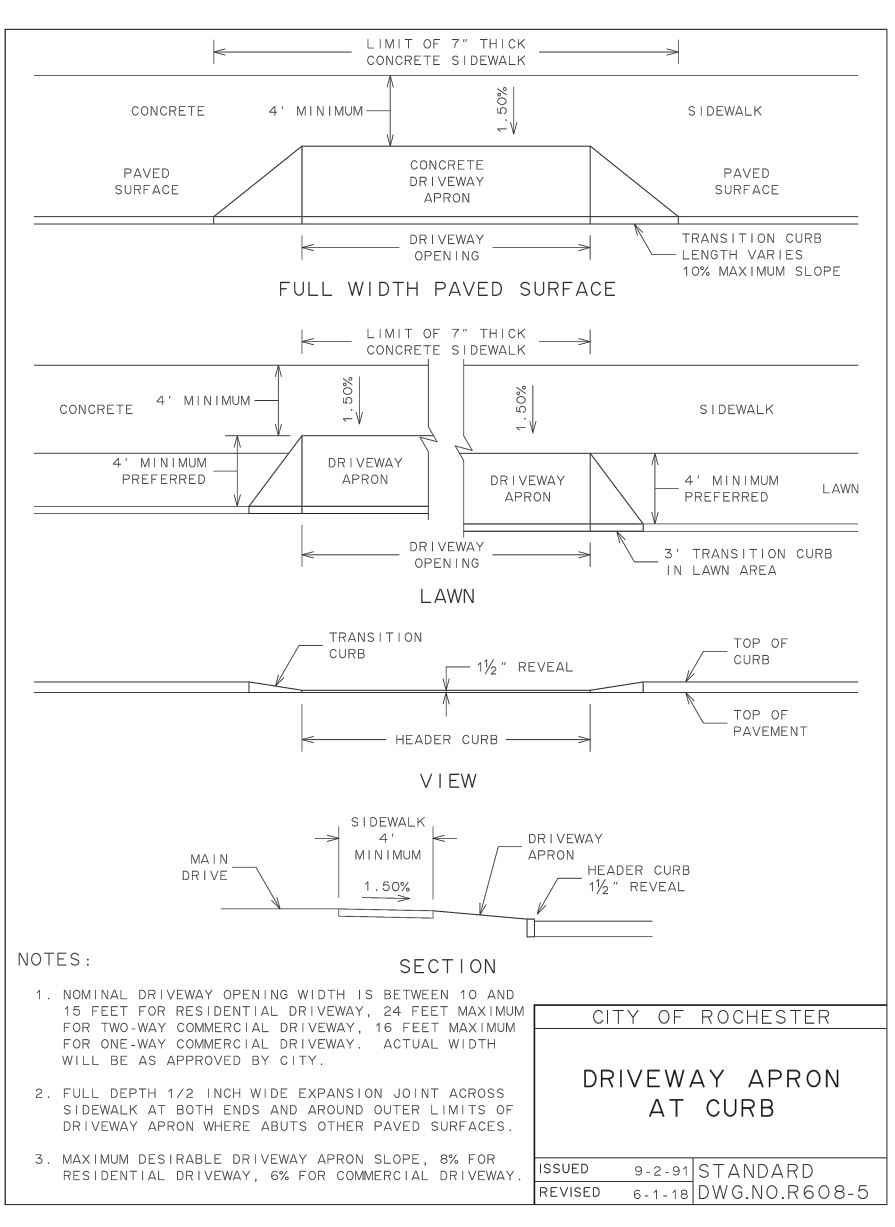
**FINAL LIGHTING PLAN**

PROJECT LOCATION CLIENT DRAWING TITLE

**PROJECT MANAGER**  
J. SWEDROCK  
**PROJECT ENGINEER**  
RR. SPURR  
**DRAWN BY**  
R. JONES  
**SCALE** DATE ISSUED  
1" = 30' DECEMBER 07, 2021  
**PROJECT NO.**  
2744  
**DRAWING NO.**  
11



PL 2744 (Drawings) Final 07/14 Detail Base.dwg

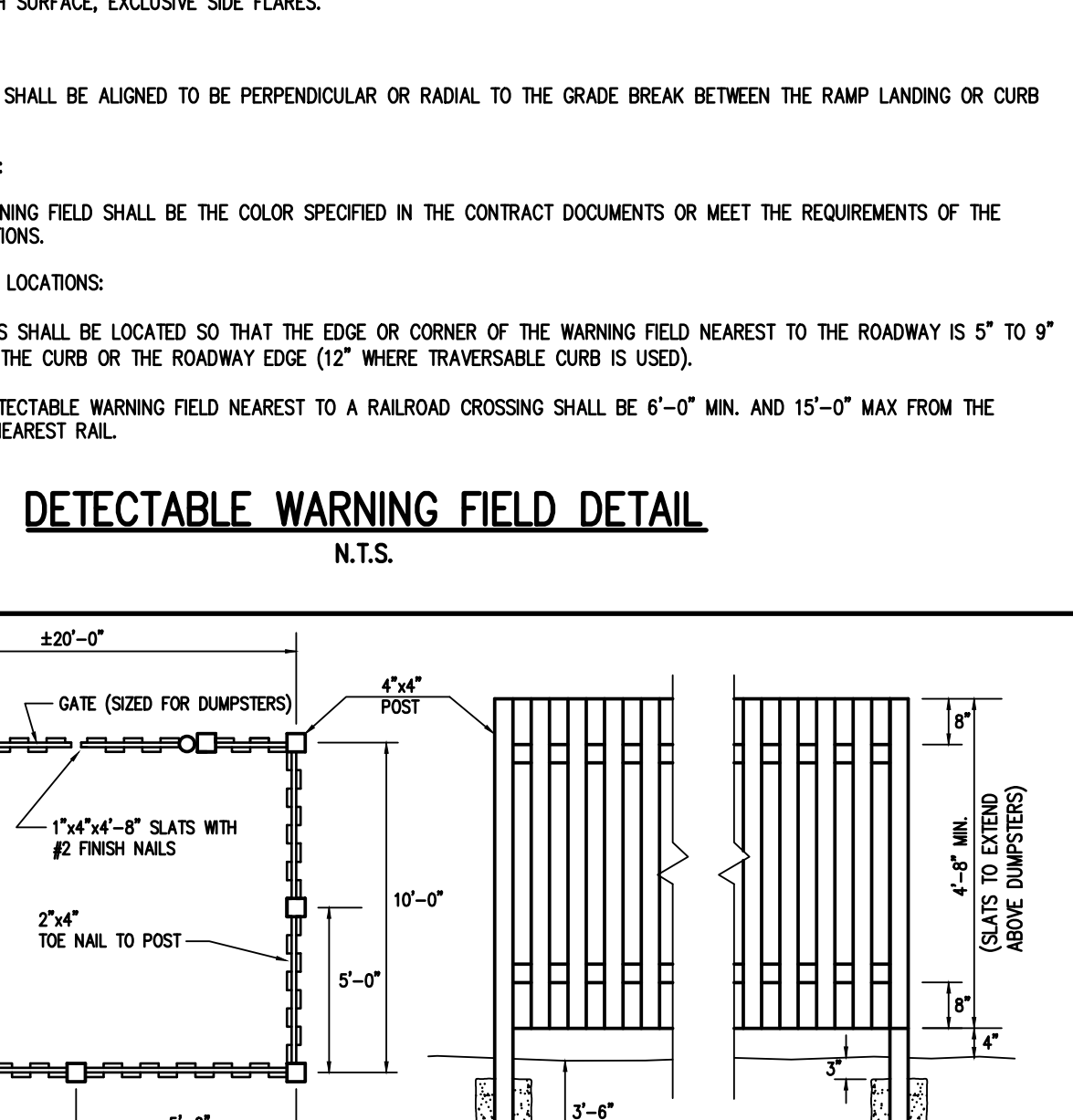
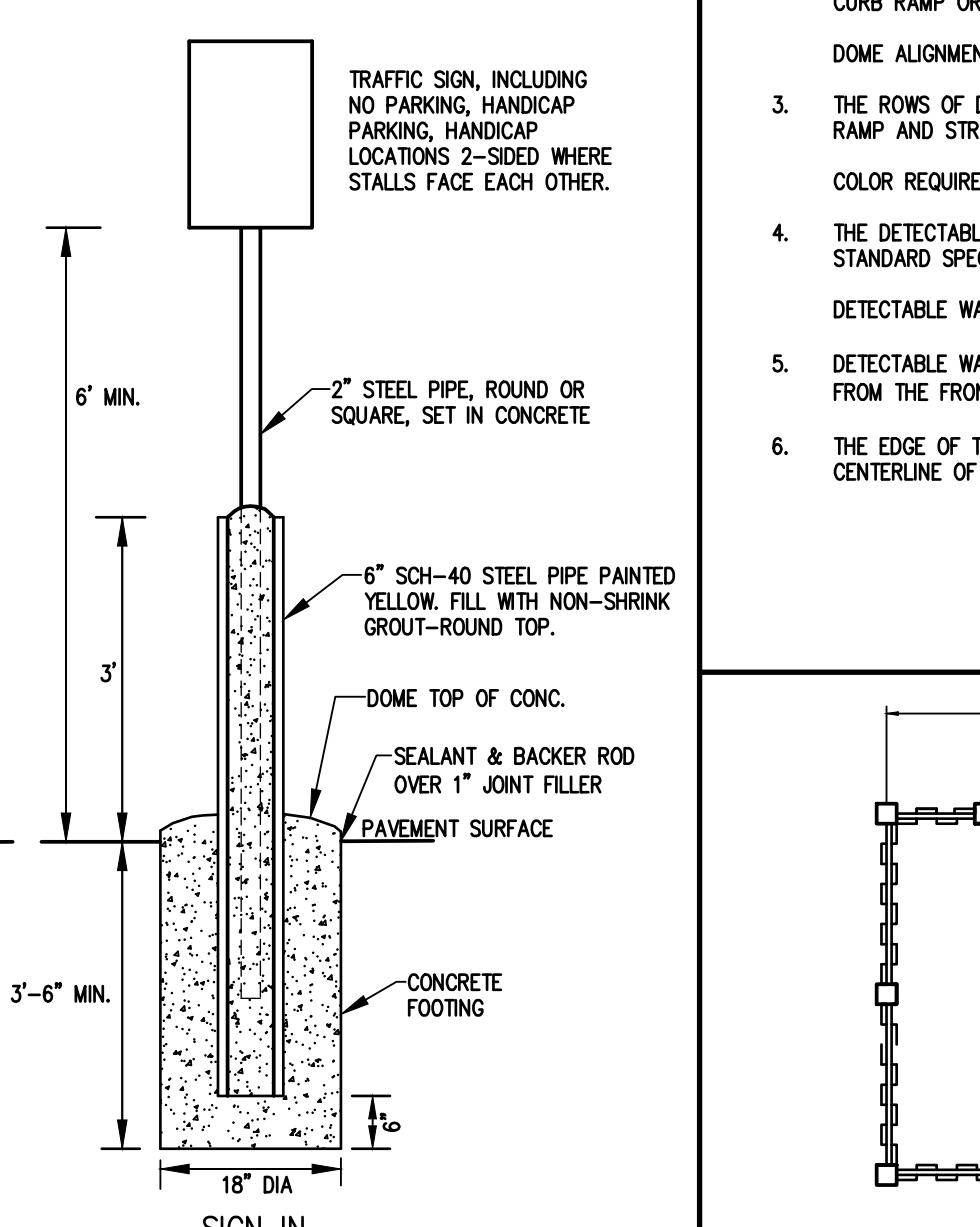
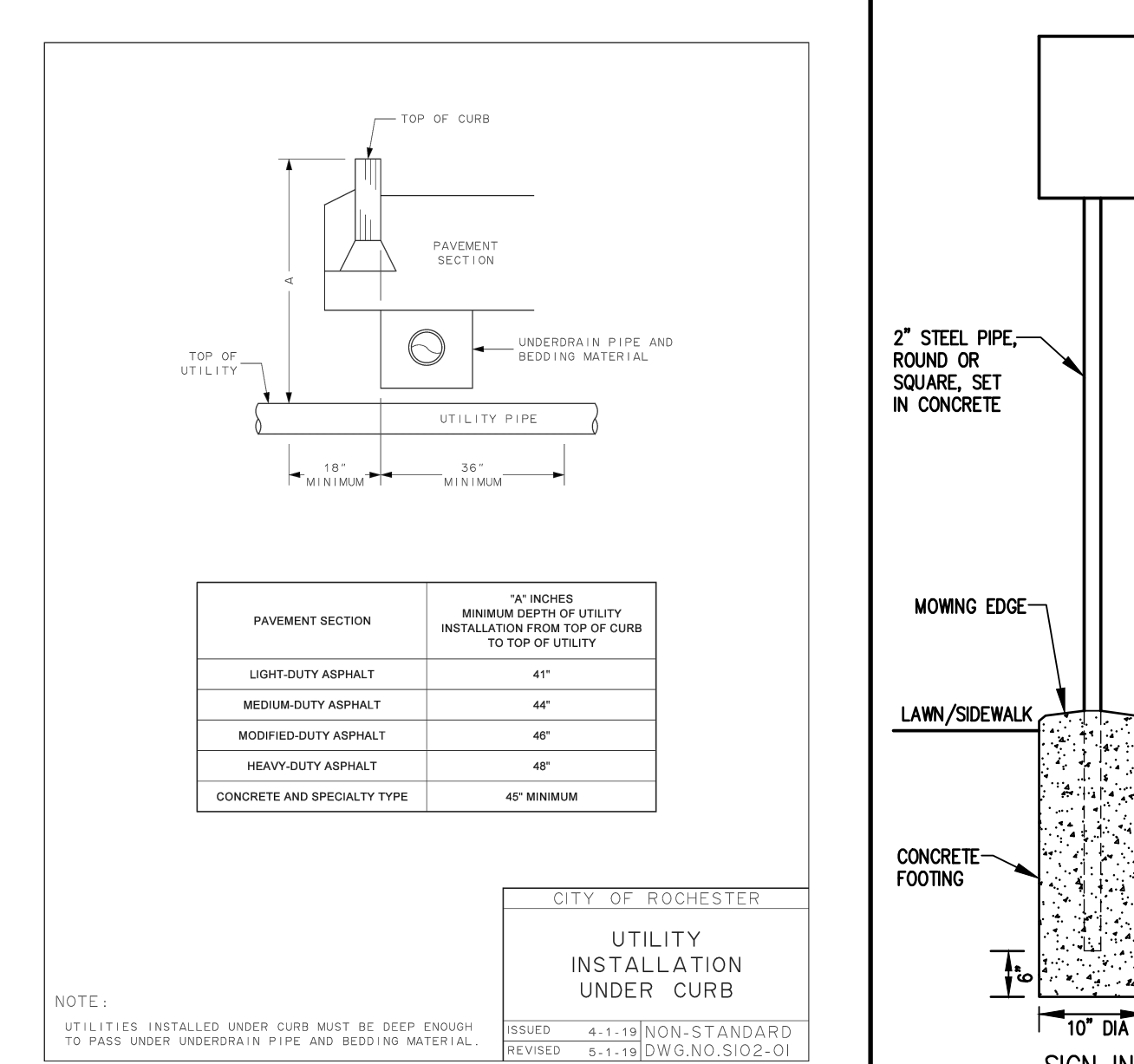
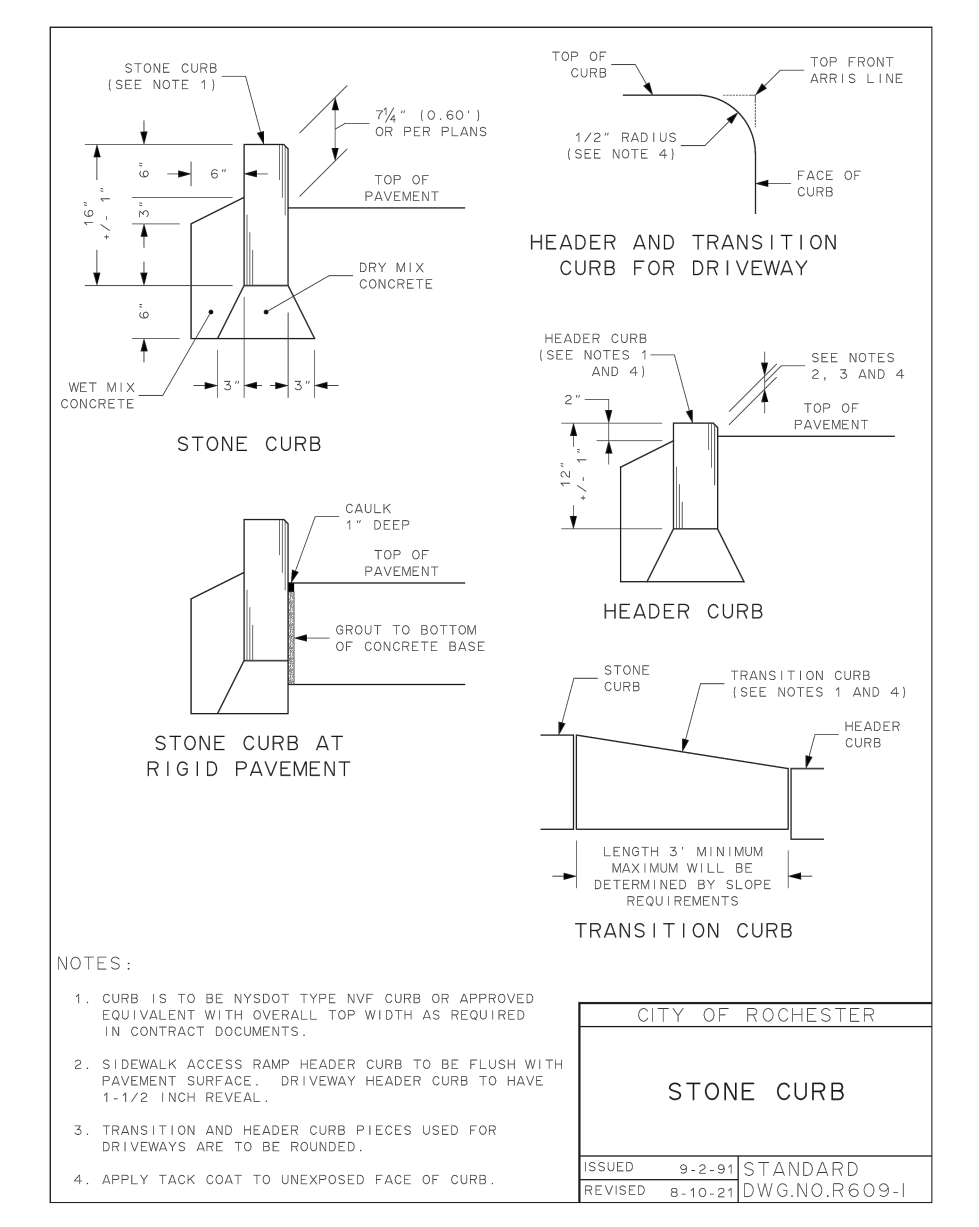


**ELEMENT TOLERANCES**

ELEMENT	DESIGN AND FIELD LAYOUT	ACCESSIBILITY GUIDELINES AND WORK ACCEPTANCE
SIDEWALK CROSS SLOPE	1.50% MAXIMUM	2% MAXIMUM
TURNING SPACE CROSS SLOPE	1.50% MAXIMUM	2% MAXIMUM
ACCESS RAMP CROSS SLOPE	1.50% MAXIMUM	2% MAXIMUM
BLENDING TRANSITION CROSS SLOPE	1.50% MAXIMUM	2% MAXIMUM
SIDE FLARE CROSS SLOPE (ENCROACHMENT INTO PAVED AREA)	9.50% MAXIMUM	10% MAXIMUM
SIDE FLARE CROSS SLOPE (WHITE LAWN AREA)	20% MAXIMUM	20% MAXIMUM
ACCESS RAMP GRADE (RUNNING SLOPE)	7.50% MAXIMUM	8.50% MAXIMUM
BLENDING TRANSITION GRADE (RUNNING SLOPE)	4.50% MAXIMUM	5% MAXIMUM

**NOTES:**  
 1. ACCESS ELEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH PROPOSED GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROVAC). FOLLOWING NOTES REITERATE OR AMEND REQUIREMENTS OUTLINED IN PROPOSED DESIGN MANUAL - CHAPTER 18 PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY AND NYSDOT HIGHWAY DESIGN MANUAL - CHAPTER 18 PEDESTRIAN FACILITY DESIGN. SEE BOTH DOCUMENTS FOR FURTHER INFORMATION, CLARIFICATION AS NEEDED.  
 2. DESIGN TOLERANCES FOR DIMENSIONS, GRADES (RUNNING SLOPE) AND CROSS SLOPES SHOWN IN CONTRACT DOCUMENTS ARE MINIMUM AND MAXIMUM LIMITS FOR DESIGN AND FIELD LAYOUT OF ACCESSIBLE ELEMENTS. ACCESSIBLE ELEMENTS ARE NOT TO BE CONSTRUCTED WITH VALUES OUTSIDE LIMITS PER ACCESSIBILITY GUIDELINES AND FOR WORK ACCEPTANCE.  
 3. JOINTS BETWEEN SIDEWALK FLARES, ACCESS RAMPS, BLENDING TRANSITIONS, TURNING SPACES AND STREETS ARE TO BE FLUSH AND FREE FROM ABRUPT VERTICAL SEPARATIONS GREATER THAN 1/4 INCH. VERTICAL CHANGES BETWEEN 1/4 INCH AND 1/2 INCH ARE TO BE BLENDED ACROSS ENTIRE JOINT WITH STRAIGHTENED BEVEL OF 1:1, BUT NO STEEPER THAN 1:2. VERTICAL SEPARATIONS GREATER THAN 1/2 INCH ARE UNACCEPTABLE, REQUIRING TOTAL REPLACEMENT.  
 4. AT STREET CORNERS WITH DUAL PEDESTRIAN STREET CROSSINGS, SEPARATE ACCESS RAMPS OR BLENDING TRANSITIONS ARE TO BE PROVIDED FOR EACH PEDESTRIAN STREET CROSSING, ORIENTED IN DIRECTION OF PEDESTRIAN TRAVEL. WHERE EXISTING CONDITIONS CANNOT BE OVERCOME TO ACCOMMODATE SEPARATE ACCESS RAMPS OR BLENDING TRANSITIONS, SINGLE DIAGONAL ACCESS RAMP OR BLENDING TRANSITION MAY BE PERMITTED THAT IS ORIENTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS.  
 5. DETECTABLE WARNING SURFACES TO PROVIDE LIGHT OR DARK ON LIGHT CONTRAST WITH SURROUNDING SURFACE. DETAIL COLOR OF DETECTABLE WARNING TO BE YELLOW TRAFFIC YELLOW. OTHER ACCEPTABLE COLORS FOR USE IN CONCRETE AREAS ARE 4010H RED BROWN AND 8010H DARK CHERRY GRAY. IN ASPHALT OR OTHER DARK SURFACE AREAS 8010H LIGHT GRAY AND 8010H MEDIUM WHITE, OR APPROVED EQUIVALENTS. COLORS ARE TO BE IN ACCORDANCE WITH FEDERAL STANDARD 595C.  
 6. TRUNCATED DOME TOWERS ARE TO BE ALIGNED PERPENDICULAR OR RADIAL TO LOWER GRADE BREAK ON ACCESSIBLE CONNECTIONS WITH GRADE RUNNING SLOPE OF 1% OR GREATER. WHERE TRUNCATED DOMES ARE ALIGNED RADIALLY TRUNCATED DOMES MAY DIFFER IN DIAMETER AND CENTER-TO-CENTER SPACING. WHERE GRADE RUNNING SLOPE IS LESS THAN 1%, ORIENTATION IS LESS CRITICAL AND TRUNCATED DOMES MAY DIFFER FROM PERPENDICULAR OR RADIAL ALIGNMENT TO LOWER GRADE BREAK.

CITY OF ROCHESTER  
 DWG NO. S608-42



Drawing Alteration

The following is an example from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation 'altered' followed by his signature and the date of each alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
1	REVISED PER CITY OF ROCHESTER COMMENTS	02/04/22	US
2	REVISED PER MODAH, WATER BUREAU, AND MCPW COMMENTS	02/04/22	US
3	REVISED PER CITY OF ROCHESTER COMMENTS	3/4/22	RBS
4			
5			
6			
7			

**BME ASSOCIATES**

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST  
 SUITE 200  
 ROCHESTER, NY 14610  
 WWW.BMEI.COM

PHONES: 585-577-7260  
 FAX: 585-577-7309

**ALTA VISTA AT ST. JOSEPH'S PARK**

CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE

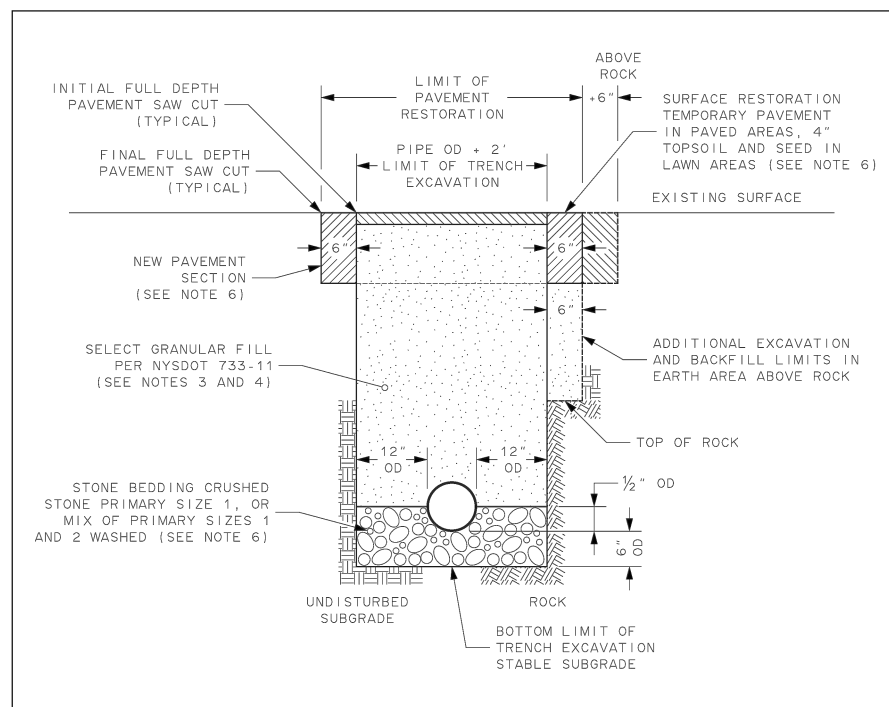
ALTA VISTA ARCHITECTS, LLC  
 944 CLEGG ROAD  
 ROCHESTER, NY 14621

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER: J.L. SWEDROCK  
 PROJECT ENGINEER: RR. SPURR  
 DRAWN BY: VL. SCHLAGETER

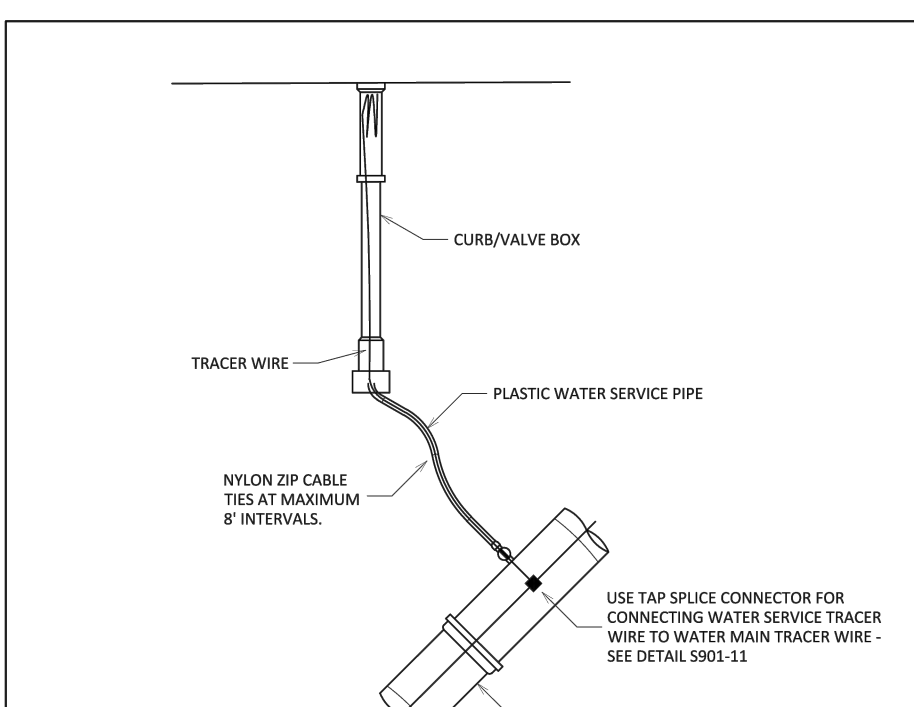
SCALE: N.T.S. DATE ISSUED: DECEMBER 07, 2021  
 PROJECT NO.: 2744  
 DRAWING NO.: 12 (SHEET 1 of 5)





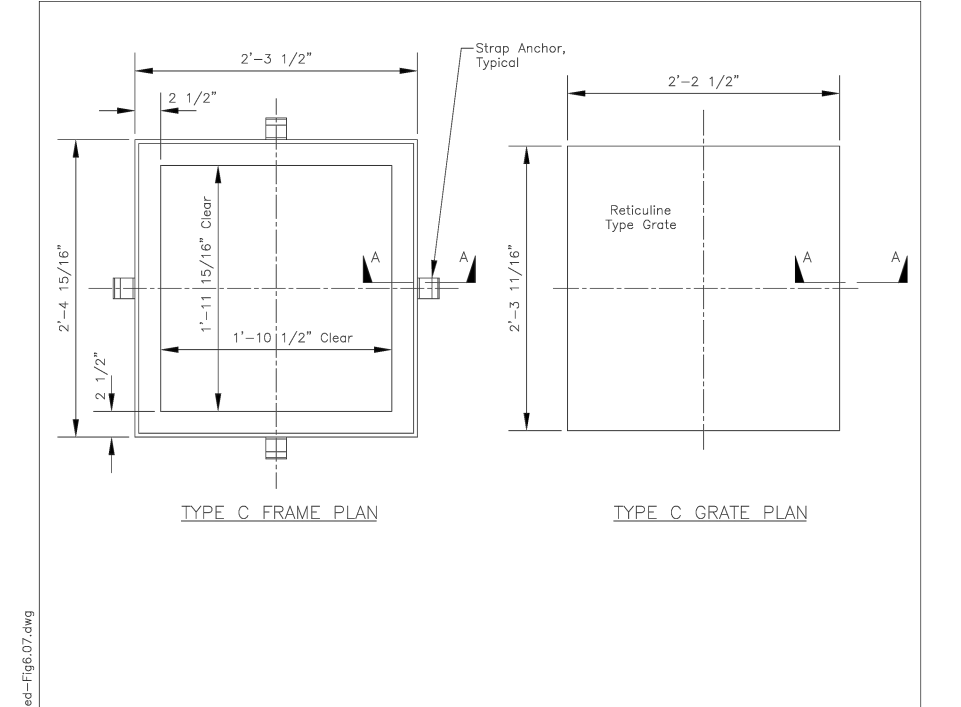
- NOTES: 1. LIMITS SHOWN ARE MAXIMUM ALLOWED AND MINIMUM REQUIRED FOR EXCAVATION AND BACKFILL... 2. UPPER PAY LIMIT FOR TRENCH EXCAVATION IS TOP OF EXISTING SURFACE AT TIME OF TRENCH EXCAVATION...

CITY OF ROCHESTER SEWER LATERAL TRENCH AND BACKFILL REHABILITATION



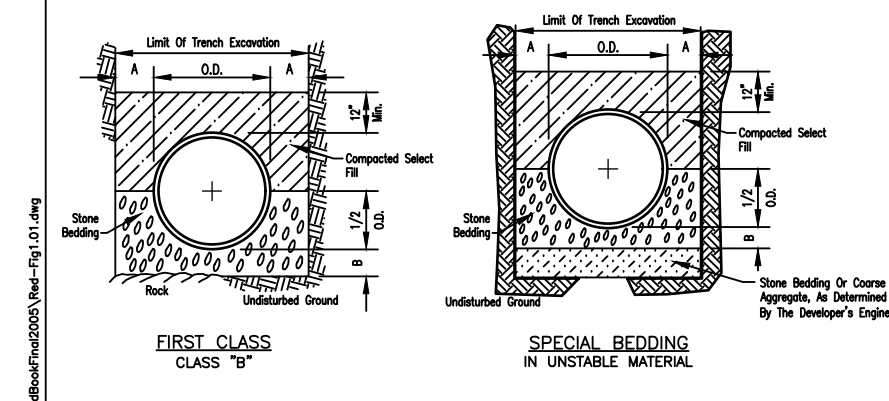
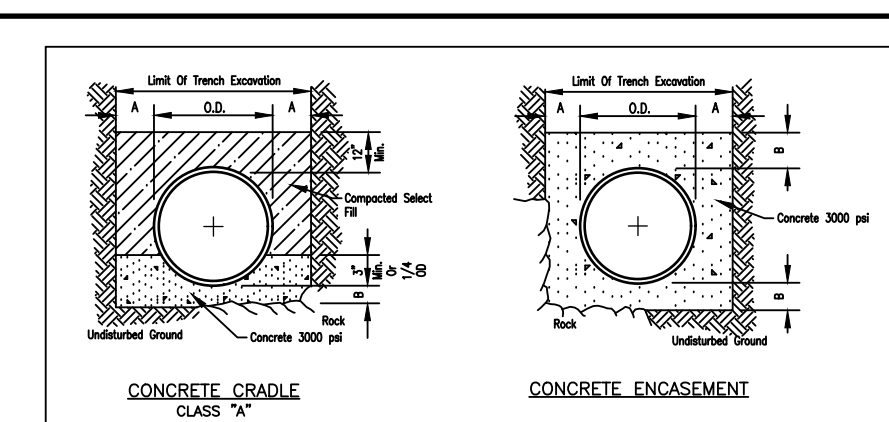
- NOTES: 1. FOR OPEN CUT INSTALLATION, TRACER WIRE IS TO BE #12 AWG SOLID COPPER WITH 30 MIL BLUE HMWV INSULATION... 2. FOR NEW PLASTIC WATER SERVICE PIPE CONNECTED TO PLASTIC WATER MAIN PIPE...

CITY OF ROCHESTER PLASTIC WATER SERVICE TRACER WIRE INSTALLATION



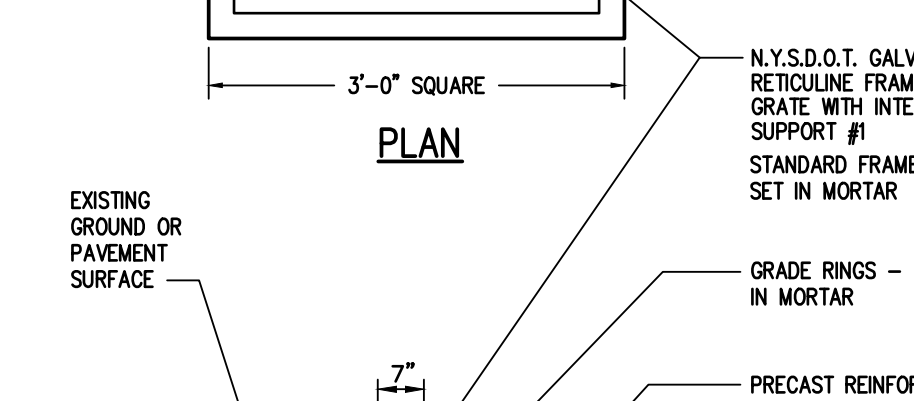
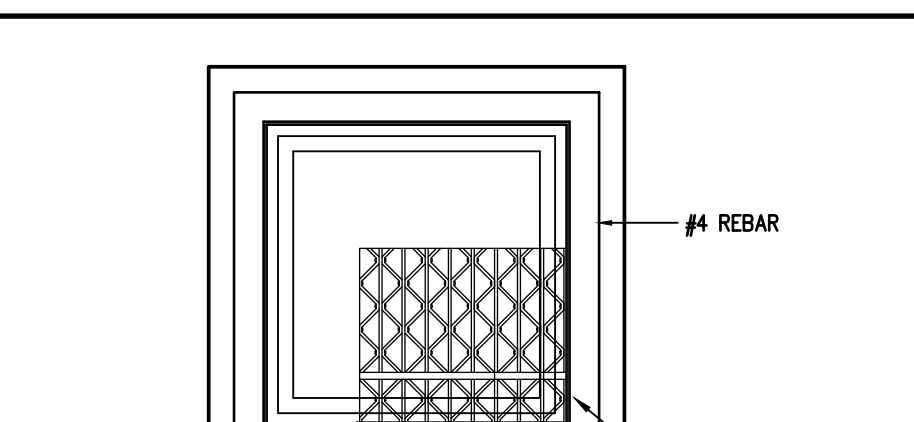
- NOTES: 1. Frame and grate shall be galvanized steel relinings type, Serrano Castings Model NYSDOT 874 or approved equal... 2. Frame and grate shall be galvanized steel relinings type, Serrano Castings Model NYSDOT 874 or approved equal...

MONROE COUNTY PURE WATERS TYPE C CATCH BASIN FRAME AND GRATE FIGURE 6.07



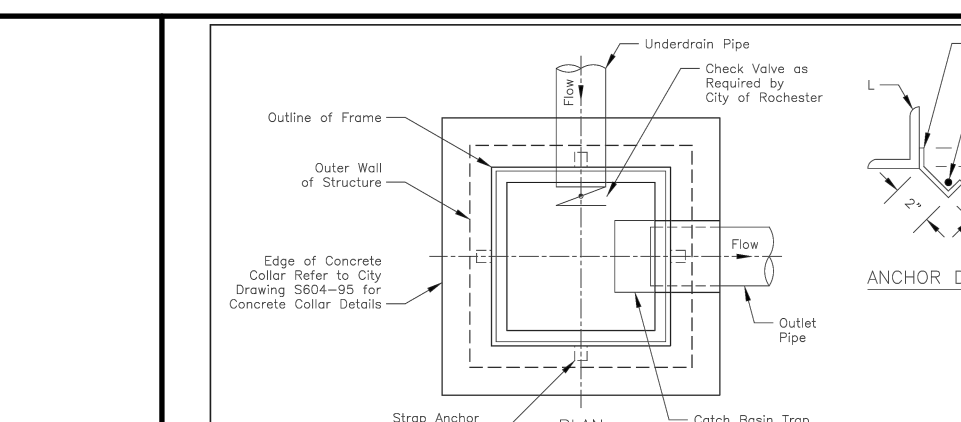
- NOTES: 1. Trench bedding shall be as required by the highway owner... 2. Select of soil to be used, gravel, and other material which shall be free from clay, loam, silt, organic matter, debris, frozen material and small stones...

MONROE COUNTY PURE WATERS SEWER LATERAL BEDDING DETAILS FIGURE 1.01



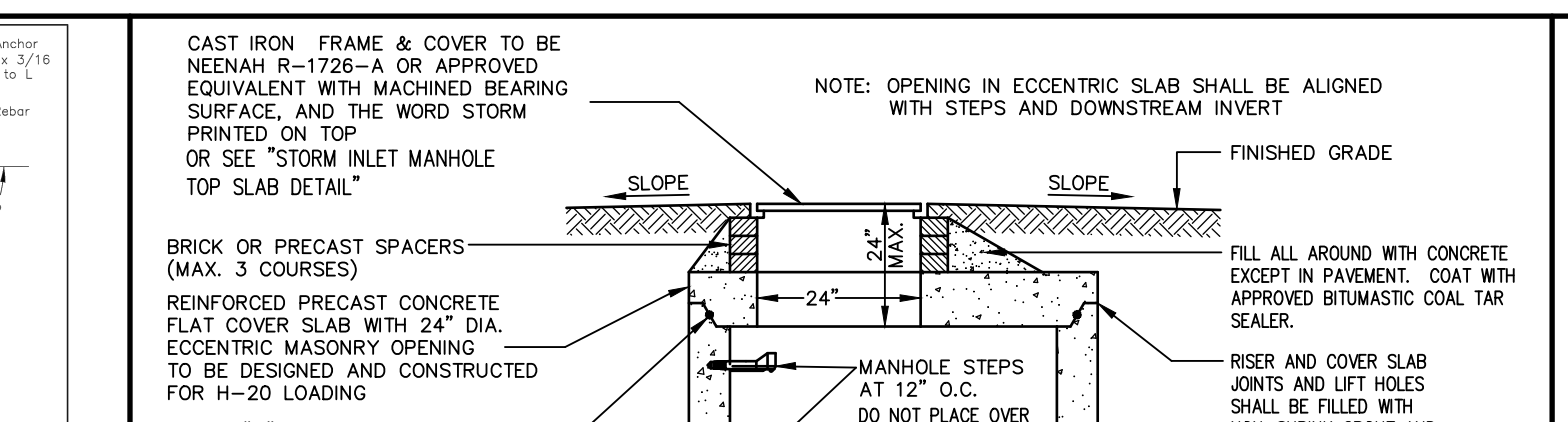
- NOTES: 1. N.Y.S.D.O.T. GALVANIZED REINQURE FRAME AND GRATE WITH INTERMEDIATE SUPPORT #1 STANDARD FRAME & COVER SET IN MORTAR... 2. GRADE RINGS - MAX. 8" SET IN MORTAR...

STORM INLET MANHOLE TOP SLAB DETAIL N.T.S.



- NOTES: 1. Coat interior surface of catch basin with 2 coats of Durabond 500 Epoxy or approved equivalent... 2. Coat exterior surface of catch basin with 2 coats of bituminous coating...

MONROE COUNTY PURE WATERS TYPE C CATCH BASIN FIGURE 6.06



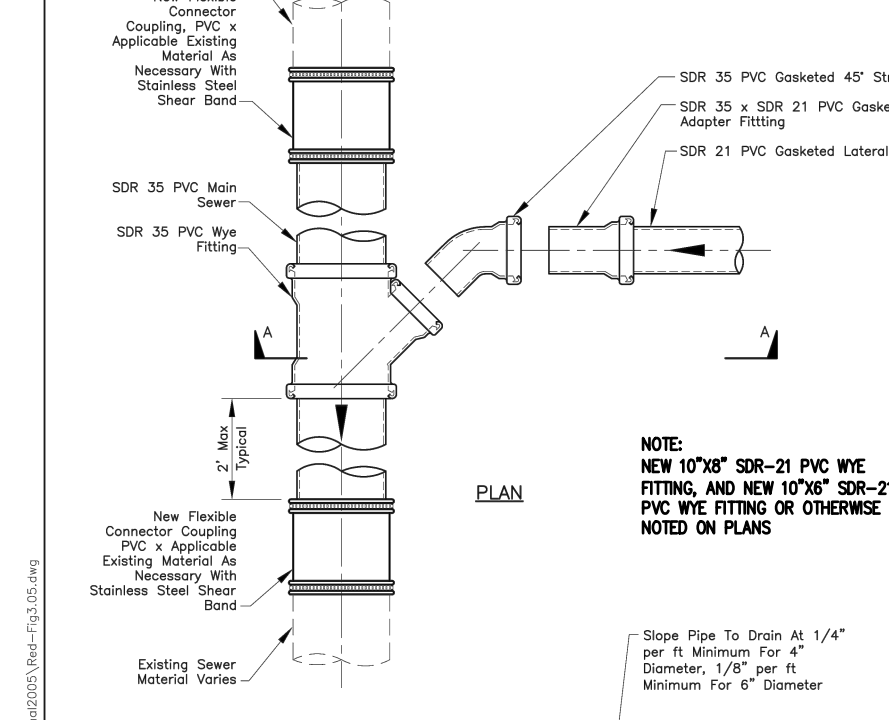
- NOTES: 1. WATER SERVICE CARD WILL BE SUPPLIED BY WATER BUREAU... 2. WATER SERVICE CARD FOR WATER SERVICE THAT IS ABANDONED AT TAP IS TO BE MARKED 'ABANDONED AT TAP'...

STANDARD STORM MANHOLE N.T.S.

CITY OF ROCHESTER WATER SERVICE INSTALLATION DATA form with fields for property address, street service tapped on, date of installation, and service material.

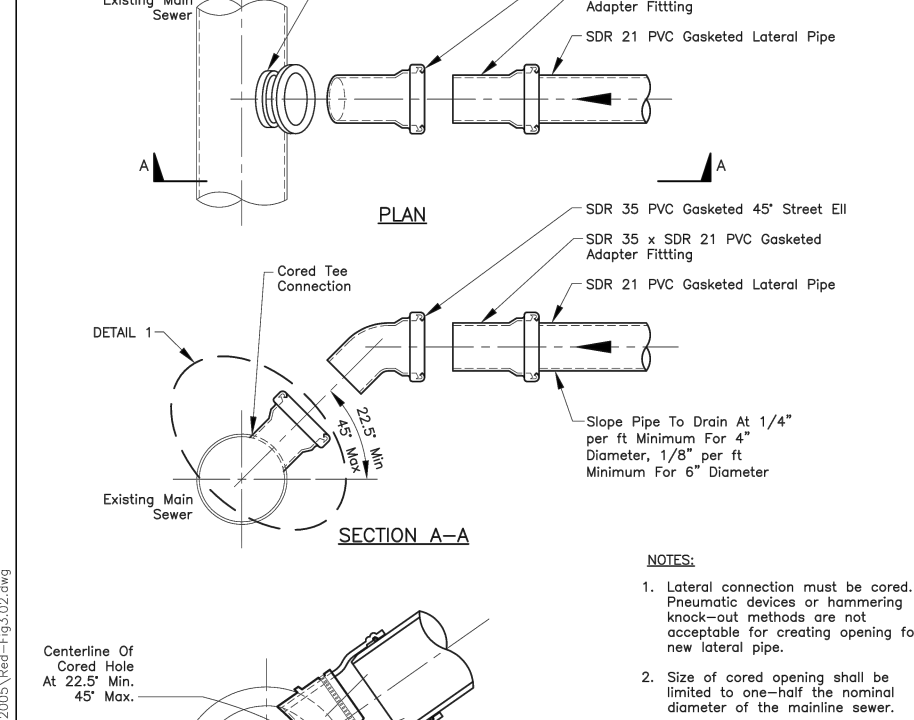
- NOTES: 1. WATER SERVICE CARD WILL BE SUPPLIED BY WATER BUREAU... 2. WATER SERVICE CARD FOR WATER SERVICE THAT IS ABANDONED AT TAP IS TO BE MARKED 'ABANDONED AT TAP'...

CITY OF ROCHESTER WATER SERVICE CARD



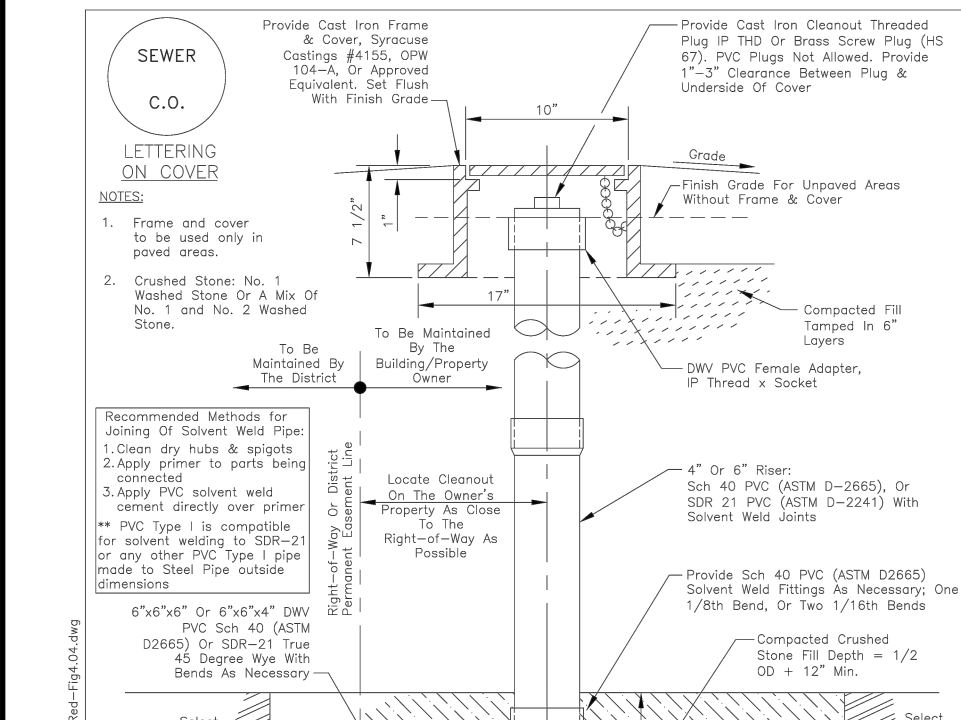
- NOTES: 1. Main sewer pipe, lateral pipe, wye and other fittings shall be galvanized pipe fittings... 2. See Figure 1.01 for pipe bedding and backfill.

MONROE COUNTY PURE WATERS NEW LATERAL WYE CONNECTION TO EXISTING NON-PVC SEWER FIGURE 3.05



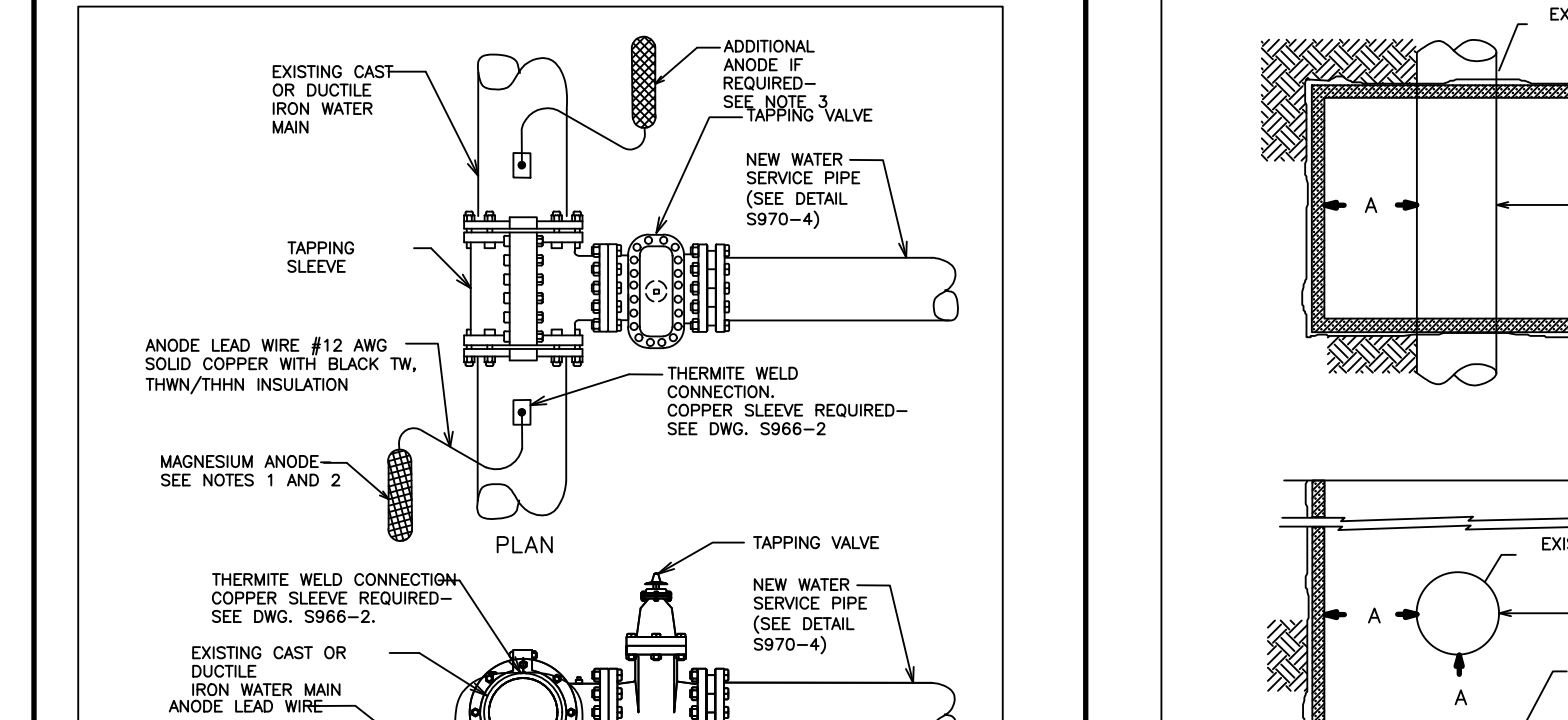
- NOTES: 1. Lateral connection must be cored... 2. Size of cored opening shall be limited to one-half the nominal diameter of the existing sewer.

MONROE COUNTY PURE WATERS INSERT TEE CORED TEE CONNECTION TO EXISTING SEWER FIGURE 3.02



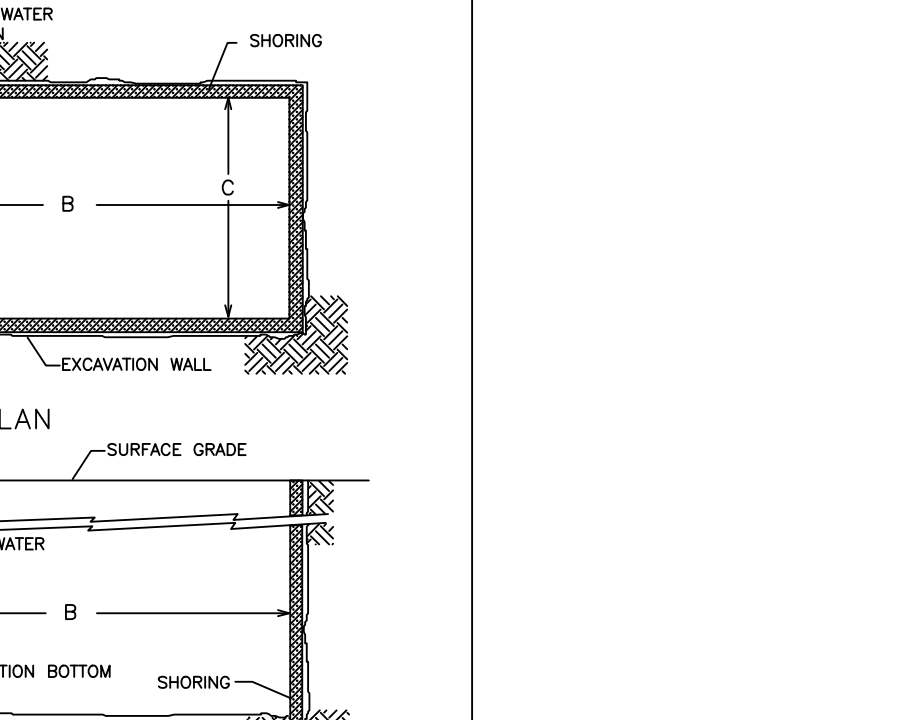
- NOTES: 1. Frame and cover to be used only in paved areas... 2. Crushed stone No. 1 washed stone or a mix of No. 1 and No. 2 washed stone.

MONROE COUNTY PURE WATERS RPWD RECOMMENDED CLEANOUT FOR NEW 6" LATERAL CONNECTION FIGURE 4.04



- NOTES: 1. USE HIGH POTENTIAL MAGNESIUM ANODE IN PREPACKAGED CLOTH BAG WITH BACKFILL... 2. ANODE IS TO BE PLACED IN TRENCH, WITH ANODE CENTERLINE 6 INCHES MINIMUM BELOW BOTTOM OF MAIN...

CITY OF ROCHESTER ANODE AT TAPPING SLEEVE AND VALVE ON EXISTING CAST/DUCTILE IRON WATER MAIN FIGURE 5.04



- NOTES: 1. THE CONTRACTOR SHALL MAKE AND SHORE THE EXCAVATION... 2. THE CONTRACTOR SHALL CLEAN THE AREA OF THE WATER MAIN FOR THE TAP, ATTACH THE TAPPING SLEEVE AND VALVE...

CITY OF ROCHESTER WATER SERVICE TAP EXCAVATION FIGURE 5.05

Drawing Alteration... The following is an account from the New York State Education Law Article 145 Section 7209 and applies to this drawing.

Table with columns for revision number, date, and description of changes.

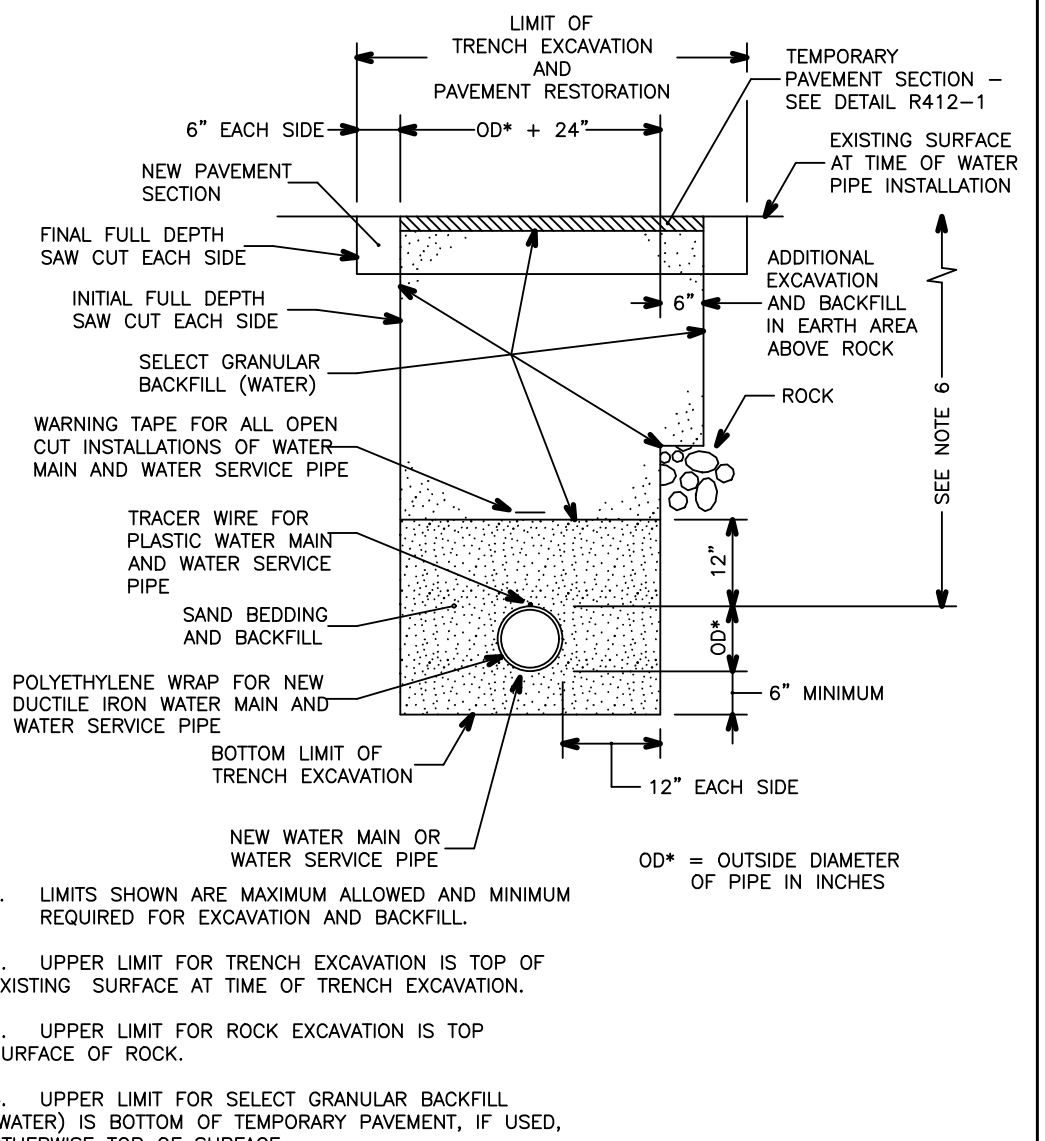
BME ASSOCIATES logo and contact information for Engineers and Surveyors.



PROJECT ALTA VISTA AT ST. JOSEPH'S PARK, LOCATION, CLIENT, and DRAWING TITLE information.

PROJECT MANAGER, PROJECT ENGINEER, SCALE, DATE ISSUED, and DRAWING NO. information.



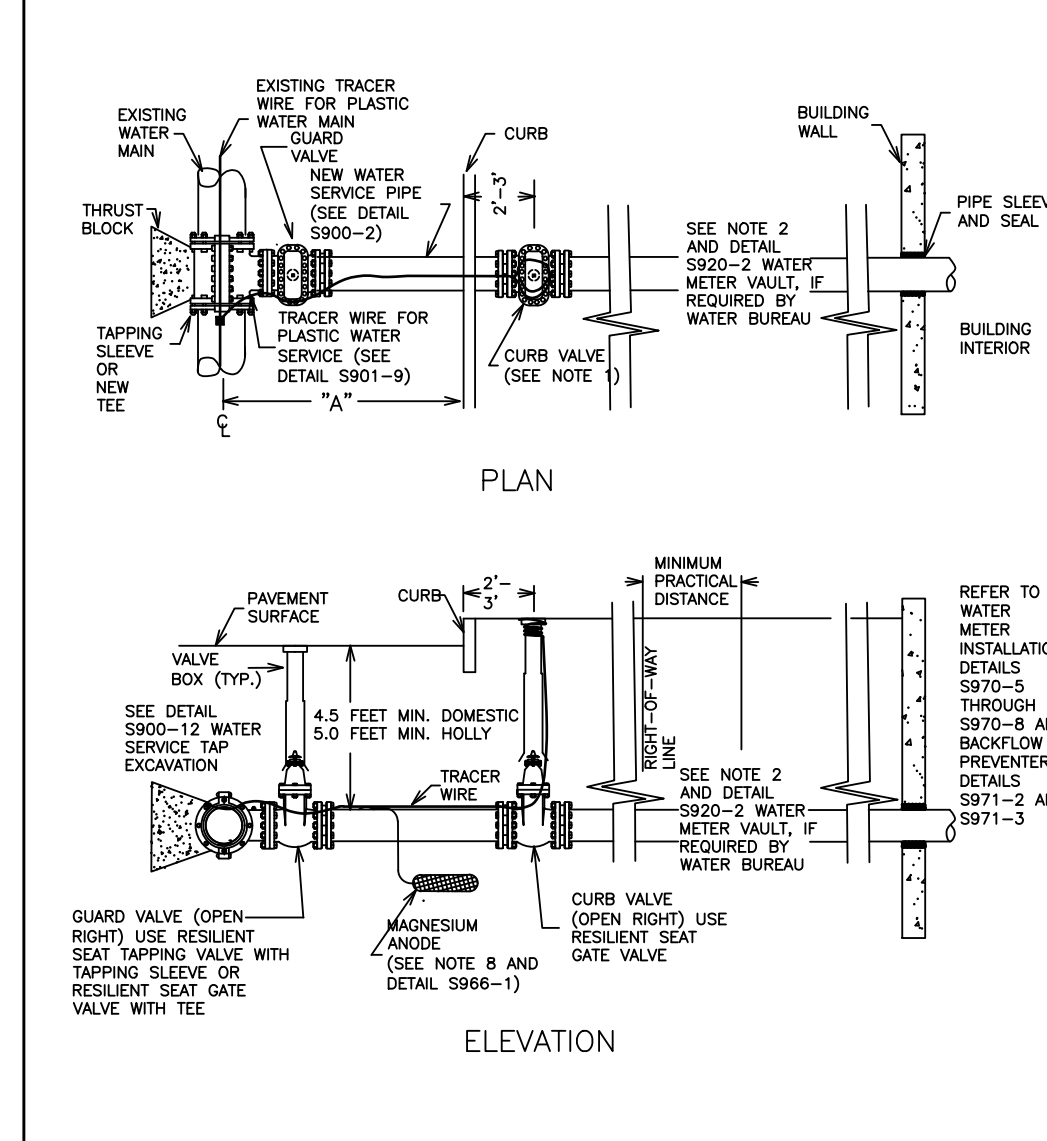


- LIMITS SHOWN ARE MAXIMUM ALLOWED AND MINIMUM REQUIRED FOR EXCAVATION AND BACKFILL.
- UPPER LIMIT FOR TRENCH EXCAVATION IS TOP OF EXISTING SURFACE AT TIME OF TRENCH EXCAVATION.
- UPPER LIMIT FOR ROCK EXCAVATION IS TOP SURFACE OF ROCK.
- UPPER LIMIT FOR SELECT GRANULAR BACKFILL (WATER) IS BOTTOM OF TEMPORARY PAVEMENT, IF USED, OTHERWISE TOP OF SURFACE.
- TEMPORARY OR PERMANENT BLOCKS OR ANY OTHER TYPE OF PIPE SUPPORT IS NOT TO BE USED DURING PIPE INSTALLATION.
- MINIMUM DEPTH OF COVER FOR WATER PIPE FROM TOP OF PROPOSED GRADE IS 4.50 FEET FOR DOMESTIC WATER PIPE, AND 5 FEET FOR HOLLY WATER PIPE, UNLESS OTHERWISE NOTED ON PLANS OR AS DIRECTED BY PROJECT MANAGER.

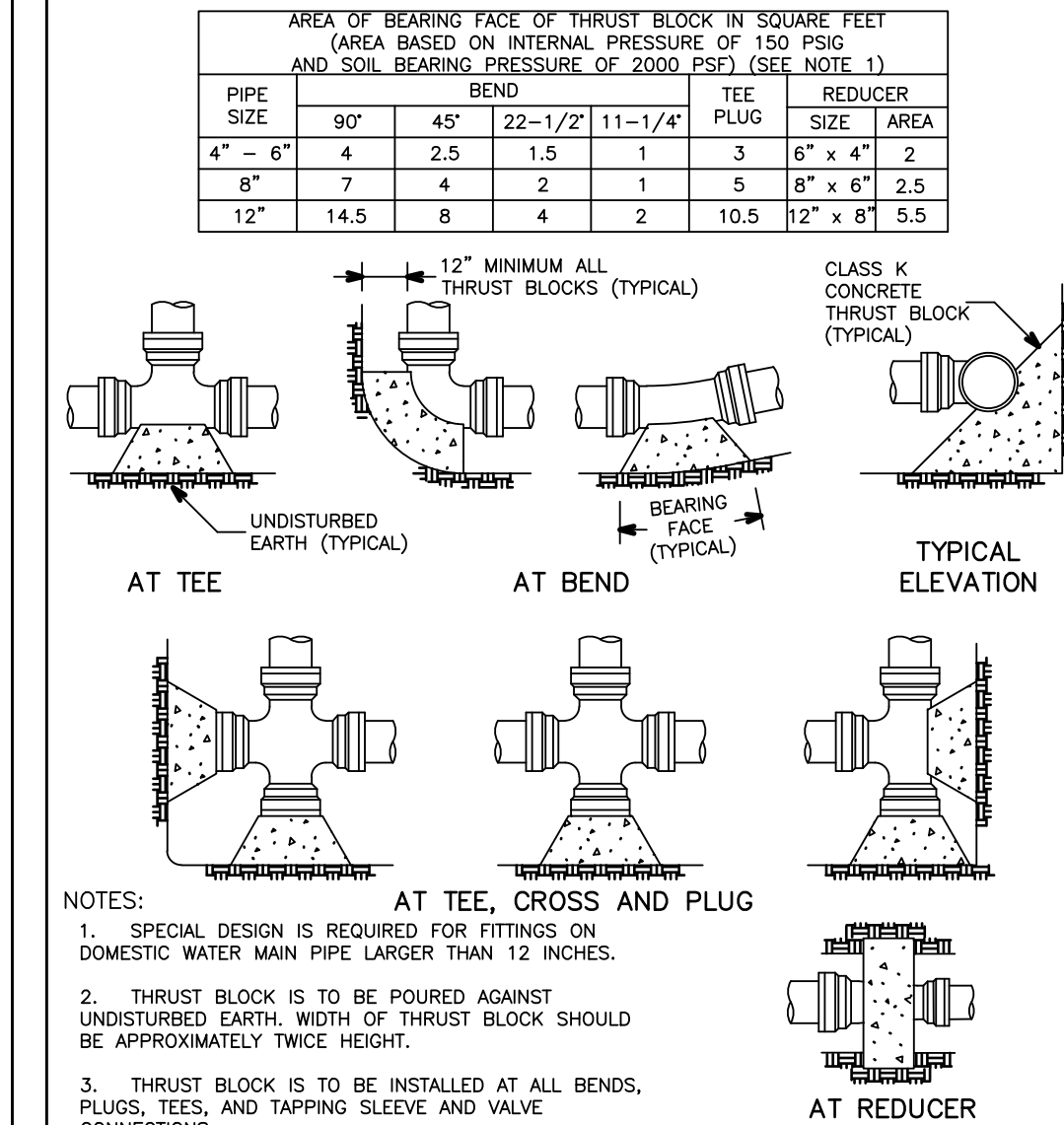
CITY OF ROCHESTER  
**WATER TRENCH PAVEMENT REHABILITATION**  
 ISSUED 1-13-06 NON-STANDARD  
 REVISED 11-22-10 DWG.NO.S900-2

- NOTES:**
- IF DIMENSION "A" BETWEEN THE CENTERLINE OF THE WATER MAIN AND THE FACE OF CURB IS 6 FEET OR LESS, THE CURB VALVE IS NOT REQUIRED. CURB VALVE IS REQUIRED WHEN DIMENSION "A" EXCEEDS 6 FEET.
  - A METER VAULT MAY BE REQUIRED FOR A DOMESTIC SERVICE, WHEN THE WATER SERVICE LENGTH, AS MEASURED FROM THE STREET RIGHT-OF-WAY LINE TO THE BUILDING WALL, EXCEEDS 100 FEET. WHEN THE WATER SERVICE LENGTH EXCEEDS 100 FEET, THE WATER BUREAU WILL REVIEW EACH NEW WATER SERVICE PLAN TO DETERMINE IF THE METER SHOULD EITHER BE PLACED INSIDE OF THE HEATED BUILDING; IN A METER VAULT OUTSIDE OF THE BUILDING NEAR THE RIGHT-OF-WAY LINE OR IN A HEATED ABOVE GROUND ENCLOSURE NEAR THE RIGHT-OF-WAY LINE.
  - ALL JOINTS ON NEW WATER SERVICE PIPE, FITTINGS AND VALVES SHALL BE MECHANICALLY RESTRAINED. CONCRETE THRUST BLOCKS ARE ALSO REQUIRED AT FITTINGS PER DETAIL DRAWINGS S900-4, S900-5, S900-9 AND S900-10.
  - A BACKFLOW PREVENTION DEVICE IS REQUIRED ON ALL DOMESTIC WATER SERVICES 1/2" AND LARGER.
  - NEW WATER SERVICE SHALL BE PRESSURE TESTED FROM GUARD VALVE TO WITHIN 5 FEET OF EXTERIOR BUILDING WALL. PRESSURE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATION S900-3.05. PIPE, FITTING AND VALVE JOINTS ON PORTION OF SERVICE NOT SUBJECT TO PRESSURE TEST SHALL BE LEAK TESTED AT NORMAL OPERATING PRESSURE.
  - WHEN THE LENGTH OF THE NEW WATER SERVICE EXCEEDS 50 FEET, WATER SERVICE SHALL BE DISINFECTED USING THE CONTINUOUS FEED METHOD IN ACCORDANCE WITH SPECIFICATION S900-3.06. FOR WATER SERVICES LESS THAN 50 FEET, ALL WATER SERVICE PIPE, FITTINGS AND VALVES SHALL BE SPRAY OR SWAB DISINFECTED WITH 1% - 5% CHLORINE SOLUTION.
  - ON PLASTIC WATER SERVICES, WHEN DIMENSION "A" IS 6 FEET OR LESS AND THE CURB VALVE IS NOT REQUIRED, EXTEND TRACER WIRE ALONG SERVICE TO RIGHT-OF-WAY LINE AND INSTALL TRACER WIRE TERMINATION BOX AT RIGHT-OF-WAY.
  - ONE MAGNESIUM ANODE IS TO BE INSTALLED ON EACH PIECE OF NEW DUCTILE IRON WATER SERVICE PIPE BETWEEN THE WATER MAIN AND RIGHT-OF-WAY LINE. SEE DETAIL S966-2. USE 17 POUND ANODE ON 4 INCH AND 6 INCH PIPE. 32 POUND ANODE ON 8 INCH AND 10 INCH PIPE AND 48 POUND ANODE ON 12 INCH PIPE.
  - ALL DUCTILE IRON WATER SERVICE PIPE, FITTINGS AND VALVES LOCATED WITHIN THE STREET RIGHT-OF-WAY ARE TO BE INSTALLED IN POLYETHYLENE ENCASUREMENT.
  - IF PLANS CALL FOR THE INSTALLATION OF A TAPPING SLEEVE AND VALVE, BUT THE WATER MAIN CAN NOT BE TAPPED DUE TO SPATIAL LIMITATIONS, A NEW SERVICE TEE WITH A SERVICE VALVE MAY NEED TO BE CUT INTO THE EXISTING WATER MAIN.
  - PROPOSED DEVIATIONS TO THE APPROVED PLANS REQUIRE WATER BUREAU AUTHORIZATION BEFORE BEGINNING THE WORK.

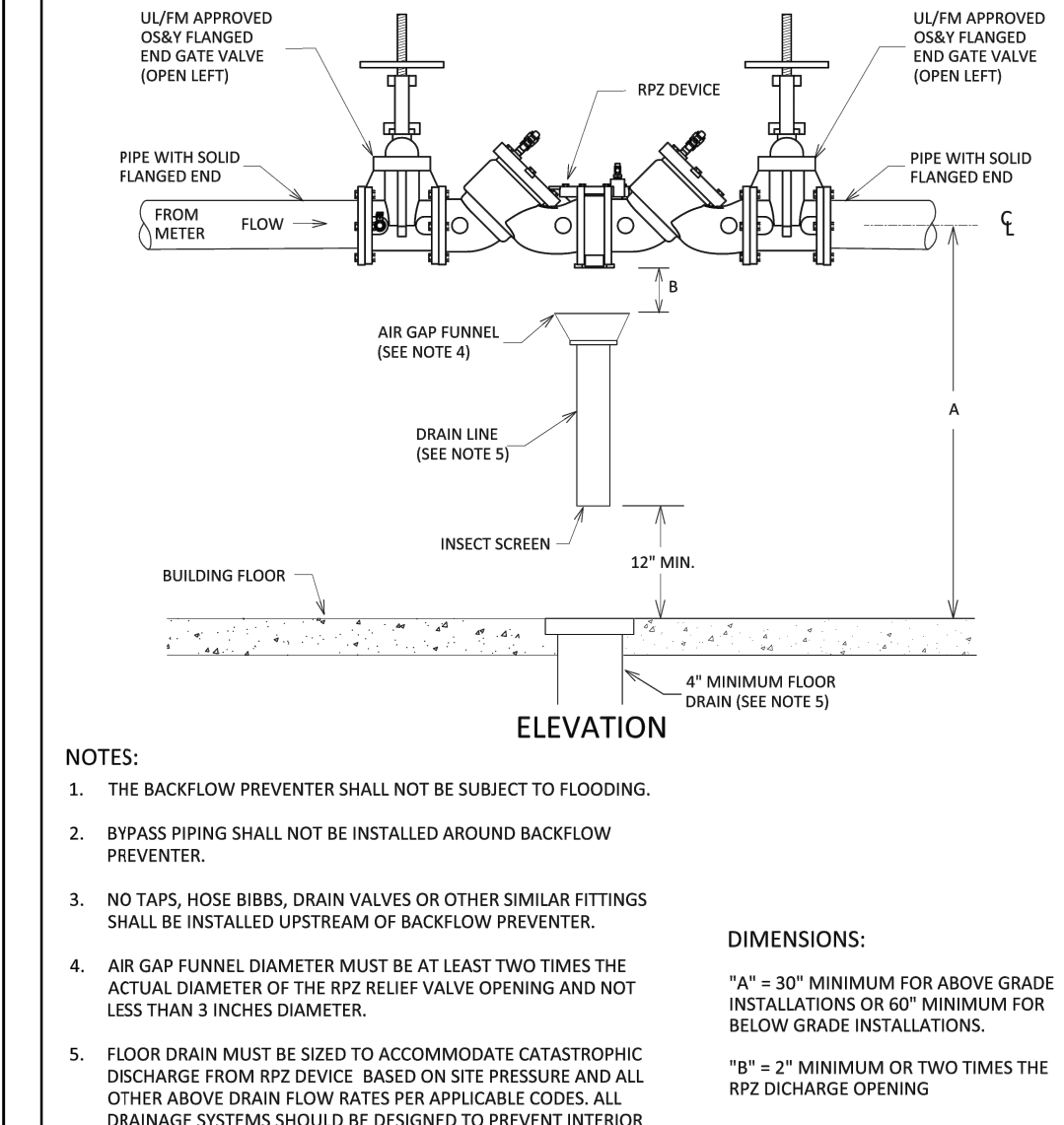
CITY OF ROCHESTER  
**NEW WATER SERVICE 4 INCH AND LARGER ON EXISTING WATER MAIN - NOTES**  
 ISSUED 8-11-11 NON-STANDARD  
 REVISED DWG.NO.S970-5



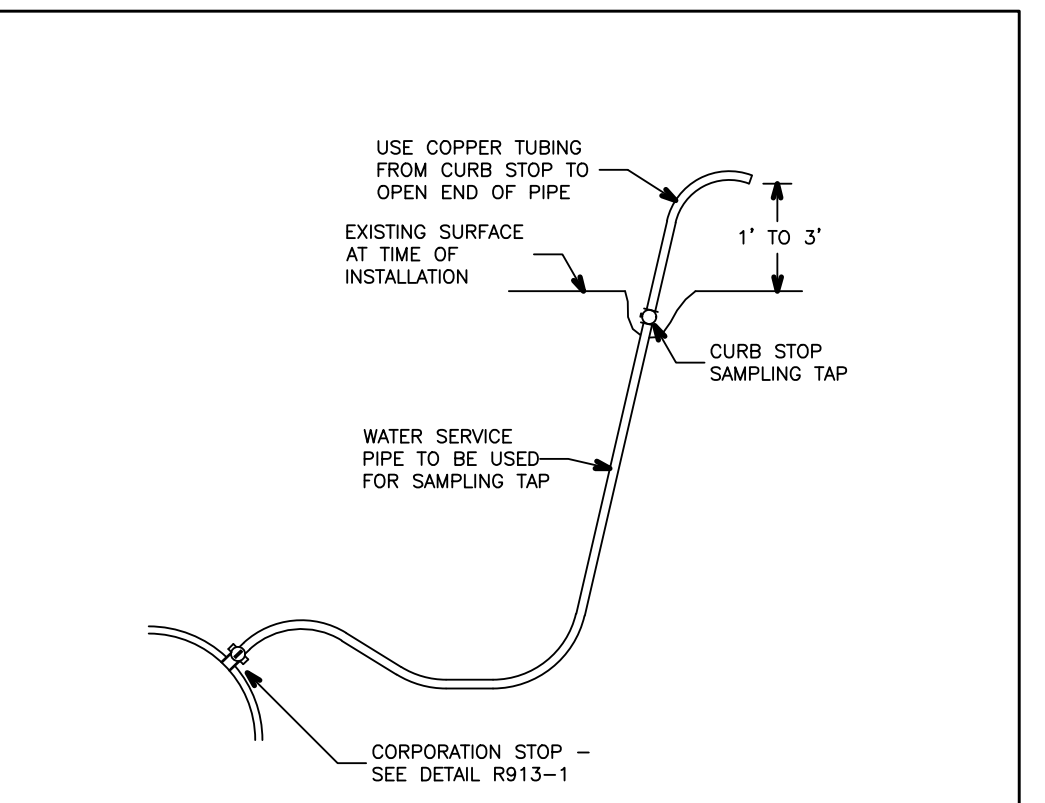
CITY OF ROCHESTER  
**NEW WATER SERVICE 4 INCH AND LARGER ON EXISTING WATER MAIN**  
 ISSUED 8-8-11 NON-STANDARD  
 REVISED DWG.NO.S970-4



CITY OF ROCHESTER  
**HORIZONTAL THRUST BLOCK DOMESTIC SYSTEM**  
 ISSUED 1-13-06 NON-STANDARD  
 REVISED 8-7-13 DWG.NO.S900-4

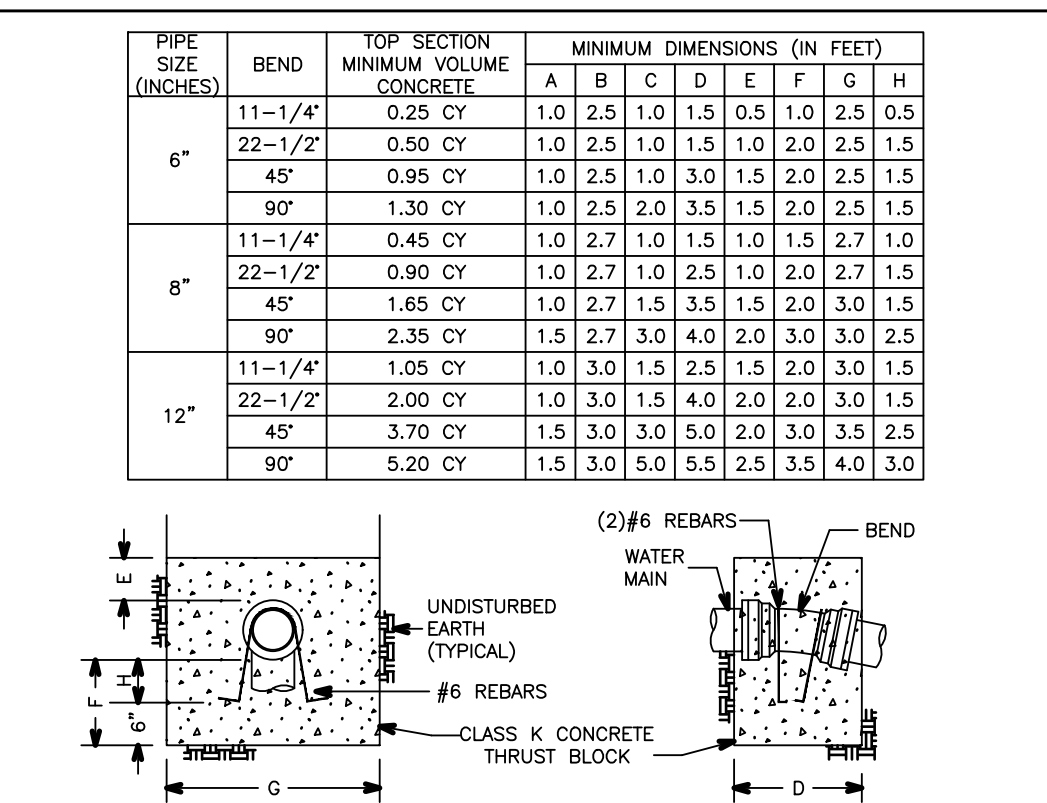


CITY OF ROCHESTER  
**REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE 2 1/2 INCH AND LARGER**  
 ISSUED 6-21-11 NON-STANDARD  
 REVISED DWG.NO.S971-2



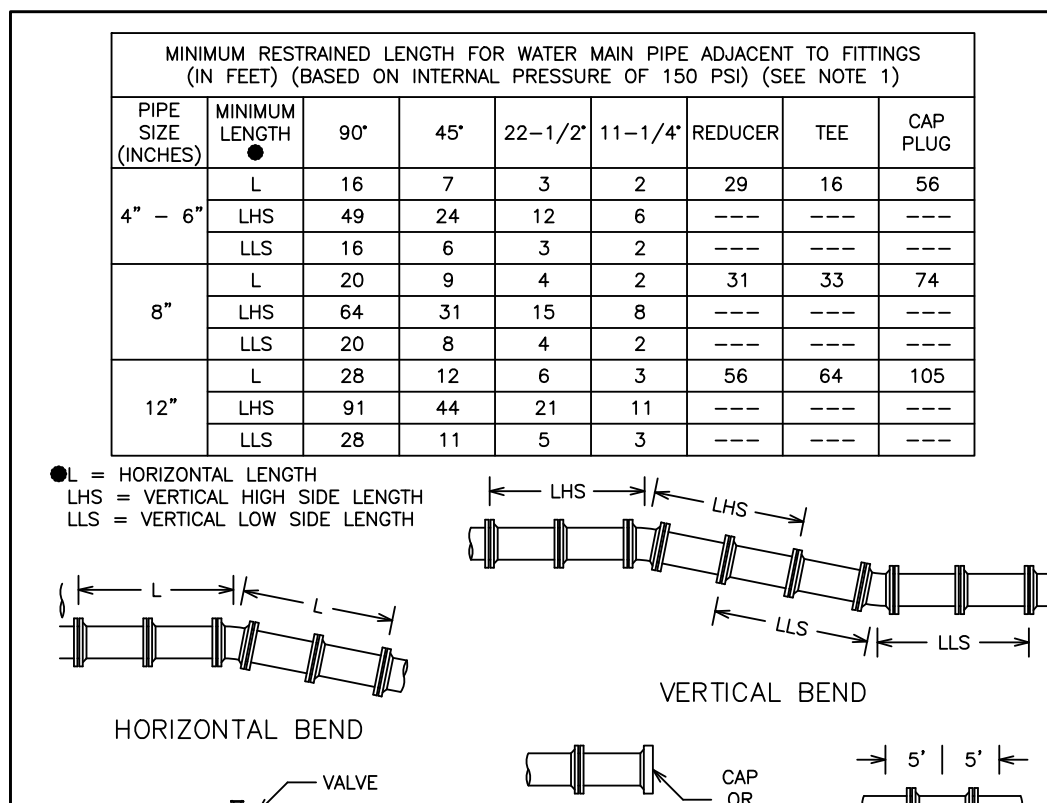
- NOTES:**
- LOCATION OF SAMPLING TAPS ARE SUBJECT TO PRIOR APPROVAL BY CITY AND MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
  - IF SAMPLING TAP IS LOCATED IN PAVED AREA, SAMPLING TAP IS TO BE KEPT BELOW GROUND EXCEPT WHEN IN USE.
  - IF APPROVED BY CITY, SAMPLING TAP MAY BE LOCATED AT SAME LOCATION AS NEW WATER SERVICE.
  - IF SAMPLING TAP IS NOT TO BE USED AS NEW WATER SERVICE, UPON NOTIFICATION OF ACCEPTABLE SAMPLE RESULTS, CORPORATION STOP IS TO BE REMOVED AND REPLACED WITH A BRASS PLUG OR CORPORATION STOP IS TO BE CLOSED, WATER SERVICE PIPE DISCONNECTED FROM CORPORATION AND BRASS CAP INSTALLED ON OUTLET OF CORPORATION STOP.
  - MAXIMUM DISTANCE BETWEEN SAMPLING TAPS ON NEW WATER MAIN INSTALLATION IS 1,000 FEET.

CITY OF ROCHESTER  
**DISINFECTION SAMPLING TAP**  
 ISSUED 1-13-06 NON-STANDARD  
 REVISED 2-19-15 DWG.NO.S900-6



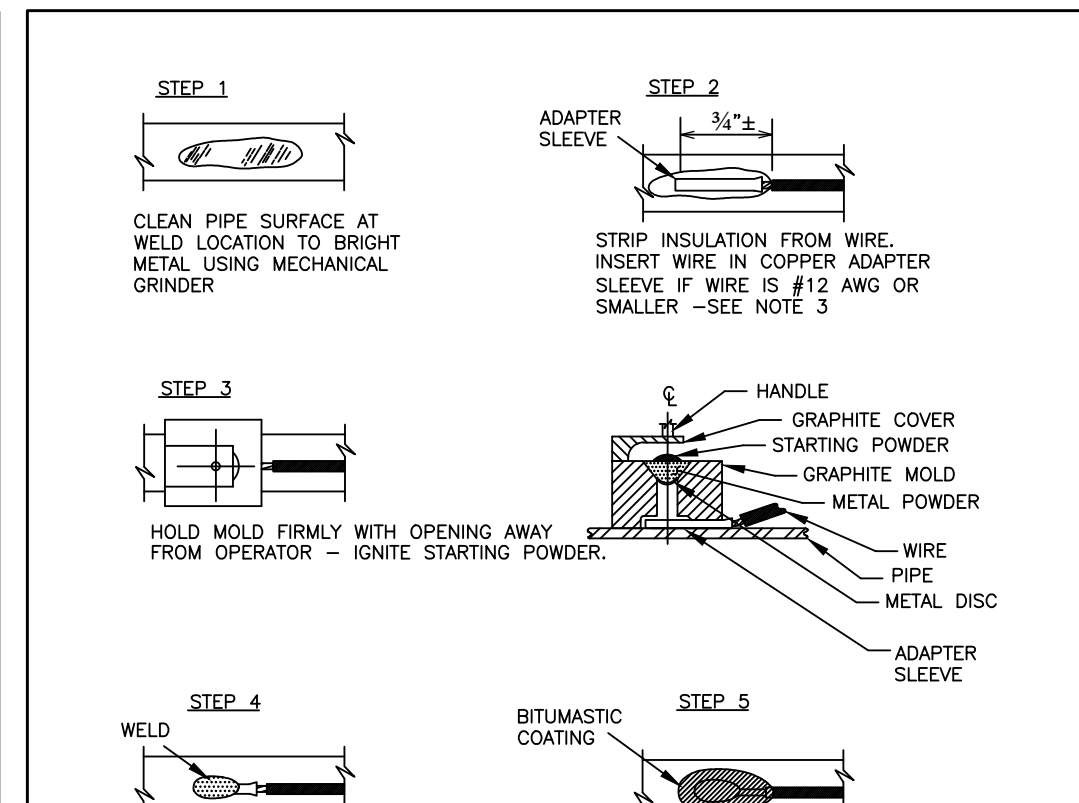
- NOTES:**
- SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES.
  - MECHANICAL RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCK, SEE DETAIL S900-7.

CITY OF ROCHESTER  
**VERTICAL THRUST BLOCK DOMESTIC SYSTEM**  
 ISSUED 1-13-06 NON-STANDARD  
 REVISED 6-1-09 DWG.NO.S900-5



- NOTES:**
- SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES AND FOR REDUCERS HAVING MORE THAN ONE PIPE SIZE DIFFERENCE.
  - CONCRETE THRUST BLOCK IS TO BE USED IN ADDITION TO MECHANICAL RESTRAINT DEVICES, SEE DETAILS S900-4 AND S900-5.
  - ALL PLASTIC AND POLYETHYLENE WRAPPED DUCTILE IRON DOMESTIC WATER MAIN PIPE AND FITTING JOINTS WITHIN L-LHS-LLS DIMENSIONS, MUST BE RESTRAINED USING APPROVED MECHANICAL RESTRAINT DEVICE.
  - ASSUMPTION: SP SOILS, 4.50 FEET COVER, AND TYPE 4 LAYING CONDITION.

CITY OF ROCHESTER  
**WATER MAIN PIPE RESTRAINT DOMESTIC SYSTEM**  
 ISSUED 5-8-08 NON-STANDARD  
 REVISED 9-1-09 DWG.NO.S900-7



- NOTES:**
- FOLLOW MANUFACTURER'S PROCEDURES AND RECOMMENDATIONS WHEN THERMITE WELDING.
  - USE APPROPRIATE WELD MOLDS AND WELD METALS FOR SPECIFIC SIZE AND MATERIAL OF PIPE THAT WIRE IS BEING ATTACHED TO.
  - WHEN THERMITE WELDING #12 AWG WIRES OR SMALLER, INSERT END OF WIRE INTO AN APPROVED COPPER SLEEVE PRIOR TO THERMITE WELDING AND CRIMP SLEEVE ON WIRE.
  - TEST WELD INTEGRITY BY STRIKING WELD WITH A HAMMER AFTER WELD HAS COOLED. AVOID STRIKING WIRE.

CITY OF ROCHESTER  
**THERMITE WELD DETAILS**  
 ISSUED 10-17-08 NON-STANDARD  
 REVISED 12-28-10 DWG.NO.S966-2

NO.	REVISIONS	DATE	BY
1	REVISED PER CITY OF ROCHESTER COMMENTS	02/04/22	MS
2	REVISED PER MCDON, WATER BUREAU, AND MCPW COMMENTS	02/04/22	MS
3			
4			
5			
6			
7			

**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
 10 DUFF BRIDGE LANE EAST  
 NEWARK, NJ 07105  
 WWW.BMEPC.COM  
 PHONE: 908-977-7360  
 FAX: 908-977-7369

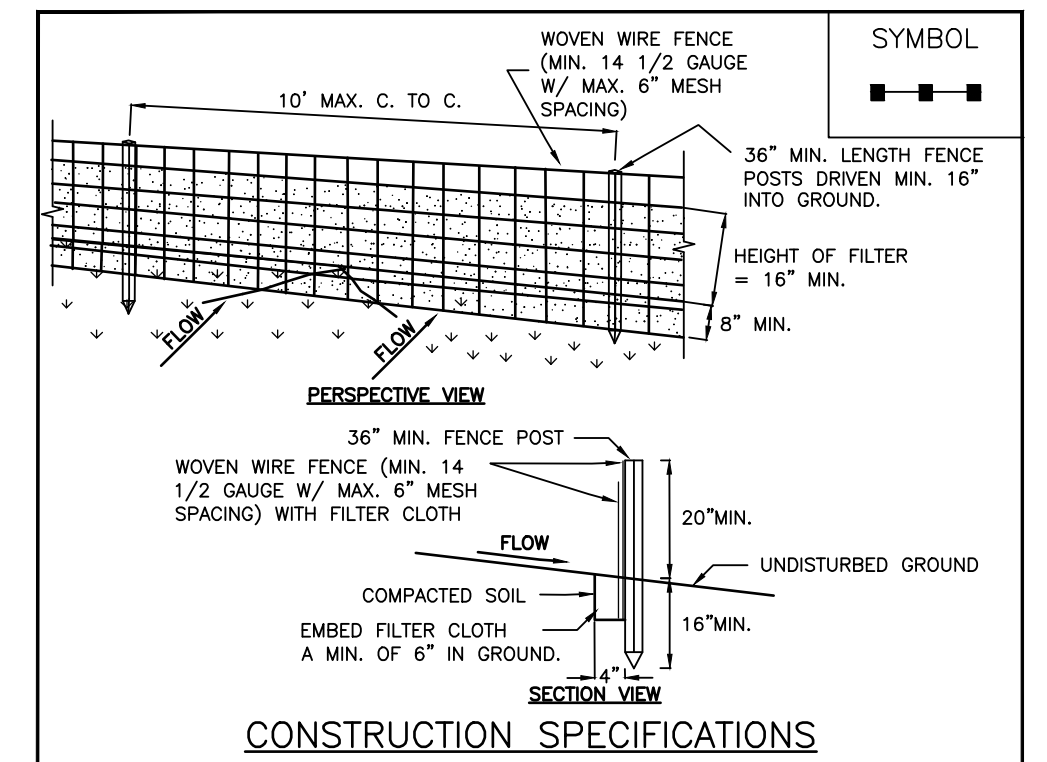
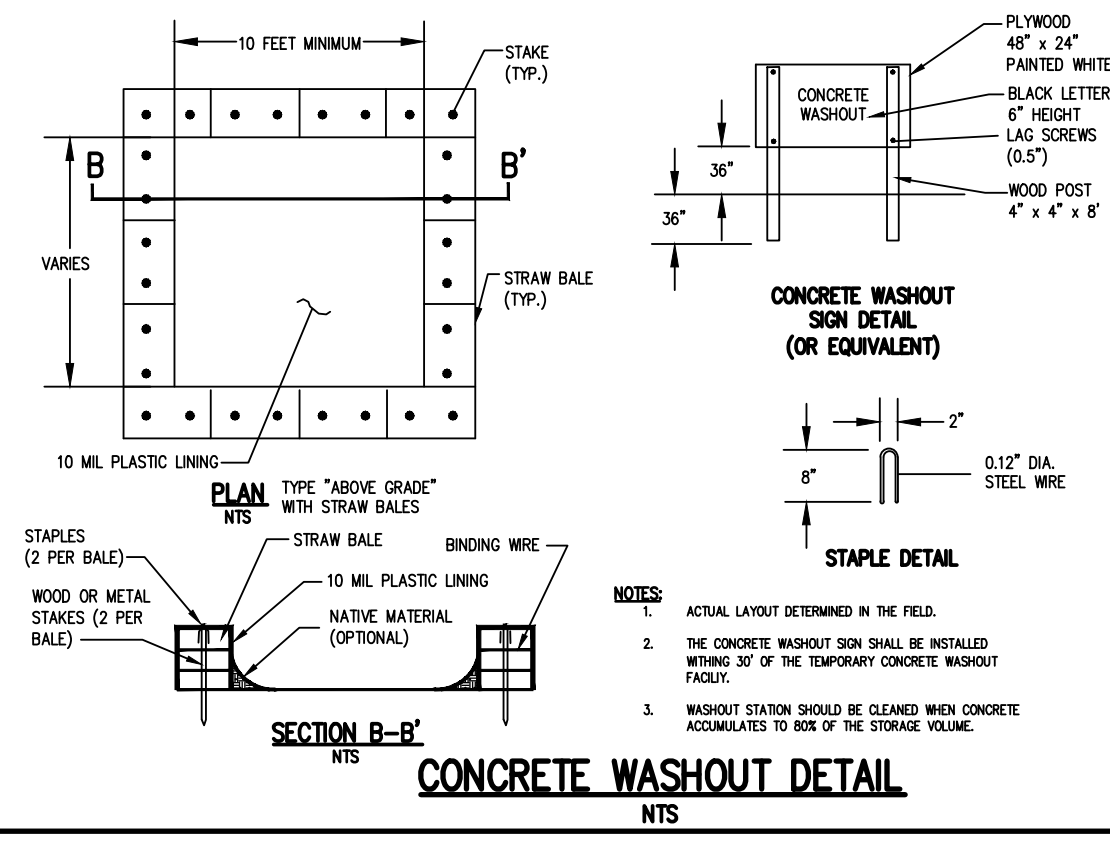


**ALTA VISTA AT ST. JOSEPH'S PARK**  
 CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
 ALTA VISTA HOLDINGS, LLC  
 504 CLEFTWOOD AVE.  
 ROCHESTER, NY 14621  
 CLIENT  
 PROJECT LOCATION  
 DRAWING TITLE

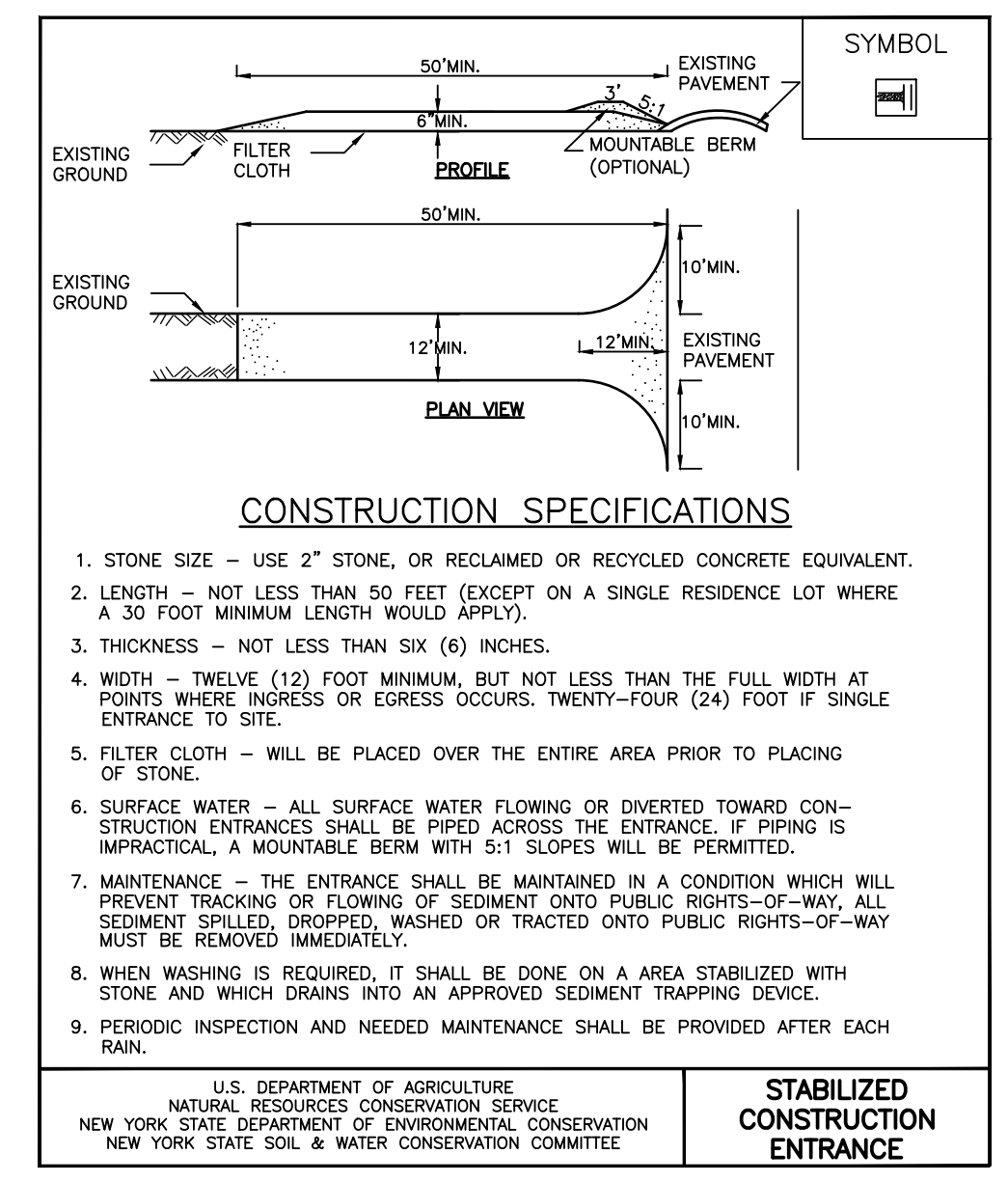
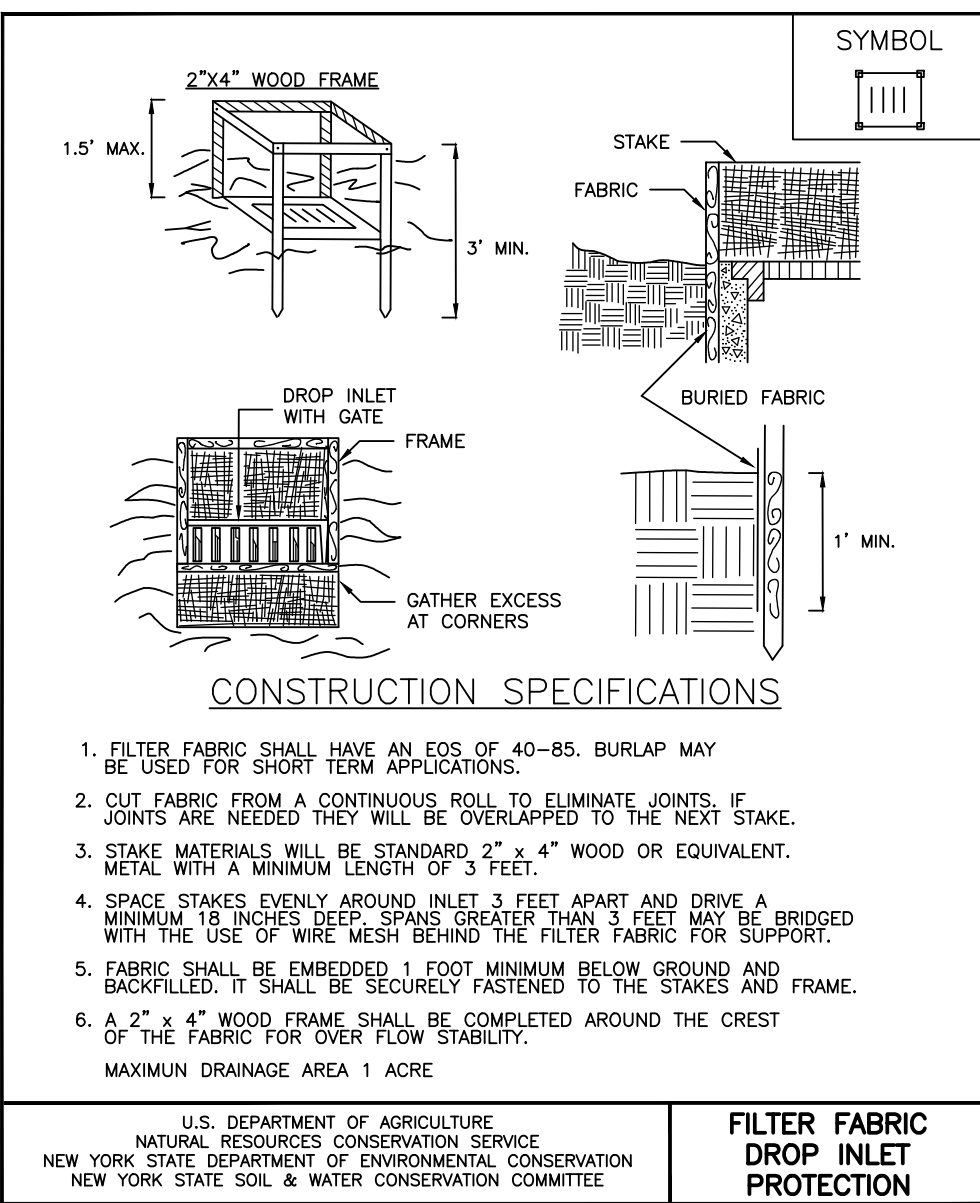
PROJECT MANAGER: J. SWEDROCK  
 PROJECT ENGINEER: RR. SPURR  
 DRAWN BY: VL. SCHLAGETER  
 SCALE: N.T.S.  
 DATE ISSUED: DECEMBER 07, 2021  
 PROJECT NO.: 2744  
 DRAWING NO.: 14  
 (SHEET 3 of 5)



P:\2744 Drawings\Final\2744 Detail Base.dwg



- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER "I" OR "U" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCES CONSERVATION SERVICE  
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE
- SILT FENCE**



Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of each alteration, and a specific description of the alteration."

NO.	DATE	BY	REVISIONS
7			
6			
5			
4			
3	2/19/22	MS	REVISED PER CITY OF ROCHESTER COMMENTS
2	02/04/22	MS	REVISED PER MCDON, WATER BUREAU, AND MCPW COMMENTS
1			

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 DUFF BRIDGE LANE EAST  
ROCHESTER, NY 14618  
WWW.BMEPC.COM

PHONE: 585-577-7360  
FAX: 585-577-7309



**ALTA VISTA AT ST. JOSEPH'S PARK**  
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE

PROJECT: ALTA VISTA LIVING, LLC  
LOCATION: 954 CLEFFORD AVE.  
CLIENT: ROCHESTER, NY 14621

PROJECT MANAGER: J. SWEDROCK  
PROJECT ENGINEER: RR. SPURR  
DRAWN BY: VJ. SCHLAGETER

SCALE: N.T.S.  
DATE ISSUED: DECEMBER 07, 2021

DRAWING TITLE: FINAL DETAIL SHEET

PROJECT NO. 2744  
DRAWING NO. 15  
(SHEET 4 of 5)

**NOT APPROVED**  
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.





ALTA VISTA PROJECT COPY  
ROCHESTER, NY

PROJECT INFORMATION table with fields: ENGINEERED PRODUCT NUMBER, ADS SALES REP, PROJECT NO.

MC-3500 STORMTECH CHAMBER SPECIFICATIONS

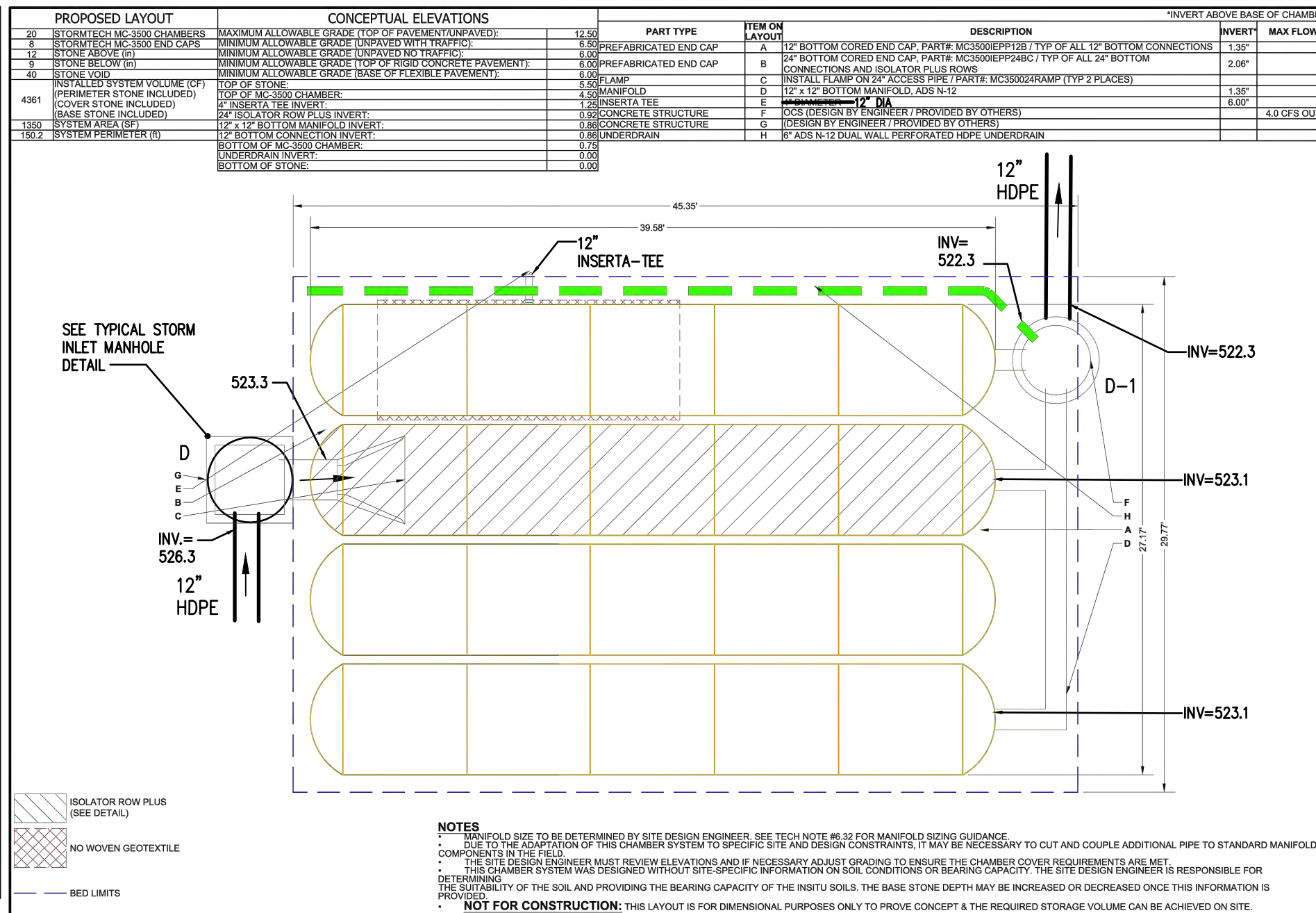
- 1. CHAMBERS SHALL BE STORMTECH MC-3500.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-18a...

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

- 1. STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE 'STORMTECH MC-3500MC-4500 CONSTRUCTION GUIDE'.
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SURFACE OVER THE CHAMBERS...

NOTES FOR CONSTRUCTION EQUIPMENT

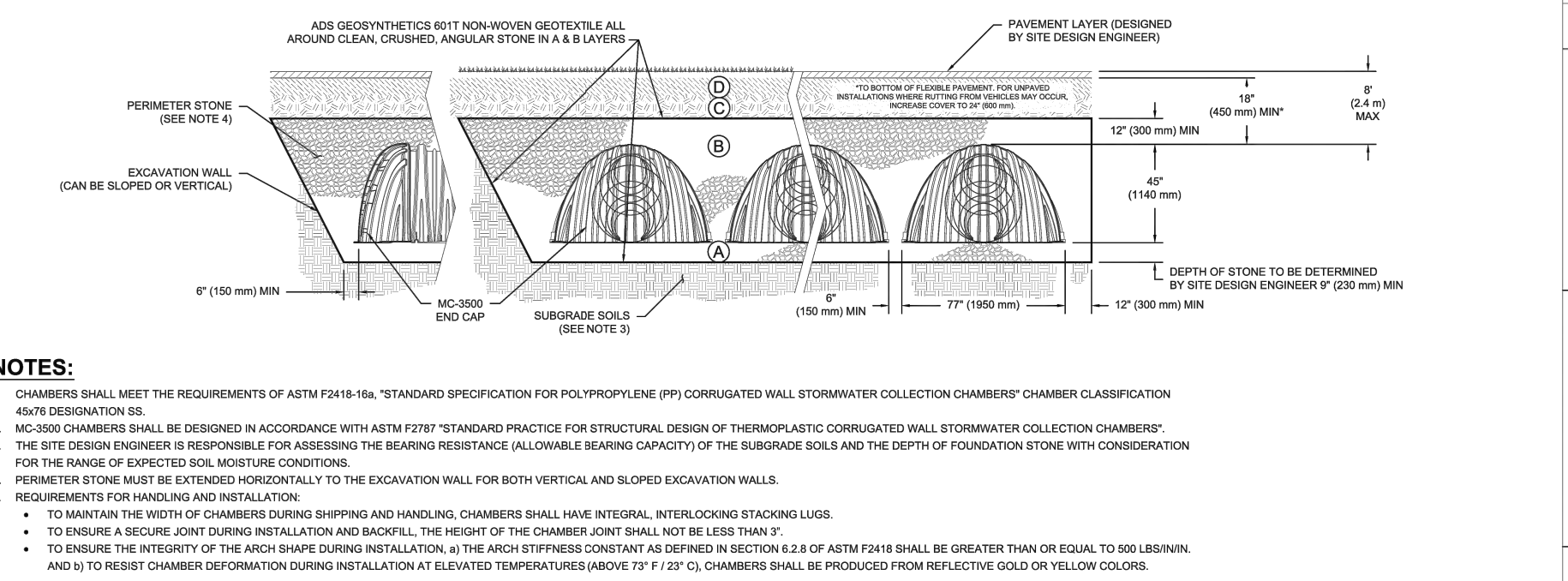
- 1. STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE 'STORMTECH MC-3500MC-4500 CONSTRUCTION GUIDE'.
2. THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED.
3. NO EQUIPMENT IS ALLOWED ON BASE CHAMBERS.
4. NO EQUIPMENT SHALL BE USED ON THE CHAMBERS UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE 'STORMTECH MC-3500MC-4500 CONSTRUCTION GUIDE'.



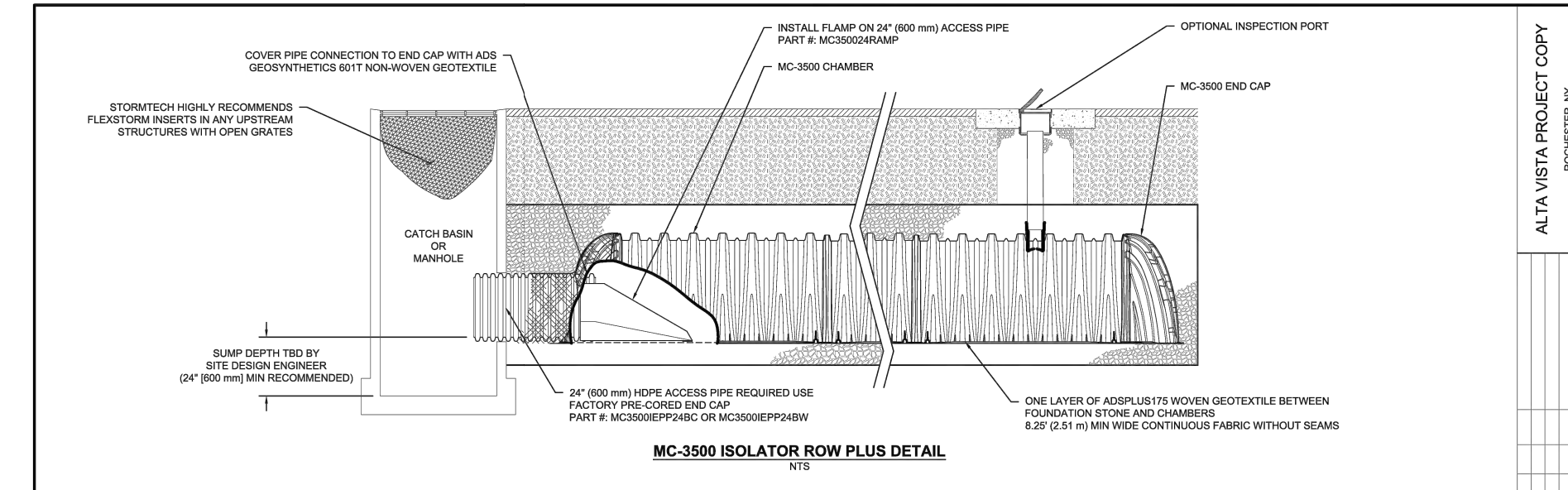
NOTES: MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE NOTE 46.32 FOR MANHOLE SIZING GUIDANCE. CONSULT US FOR DETAILS OF THE CHAMBER SYSTEM TO BE SPECIFIC TO THE SITE AND REGION CONSTRAINTS...

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS table with columns: MATERIAL LOCATION, DESCRIPTION, AASHTO MATERIAL CLASSIFICATIONS, COMPACTION / DENSITY REQUIREMENT.

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR 3/4\"



NOTES: CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-18a, 'STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'...



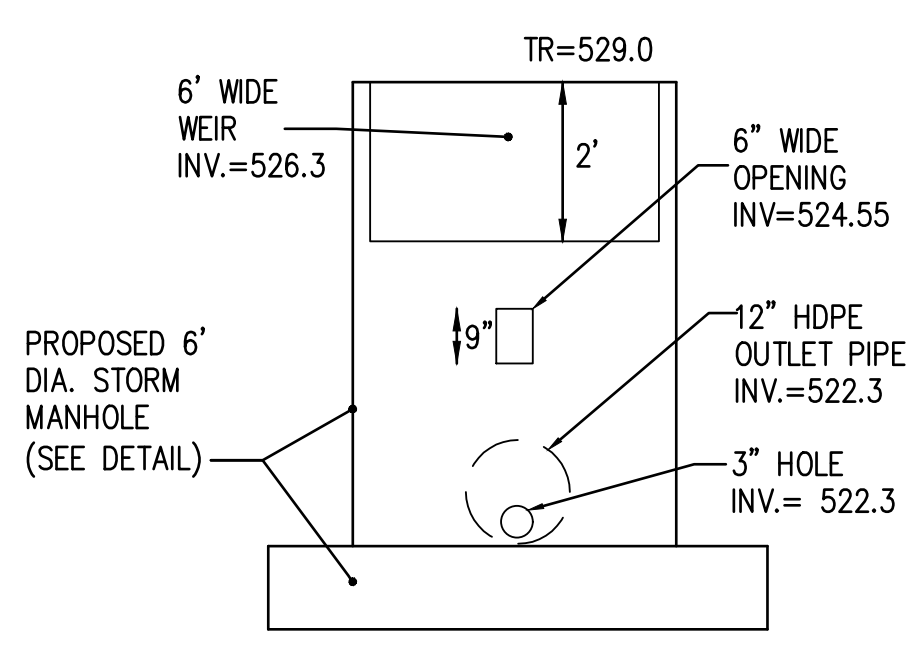
INSPECTION & MAINTENANCE: STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT. STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS. STEP 3) REPLACE ALL COVERS, GRATINGS, FILTERS, AND LIDS, RECORD OBSERVATIONS AND ACTIONS.

UNDERDRAIN DETAIL, MC-3500 TECHNICAL SPECIFICATION, and MC-SERIES END CAP INSERTION DETAIL diagrams and tables.

INSERTA TEE DETAIL diagram and table showing chamber specifications and inserta tee details.

PROPOSED UNDERGROUND STORMWATER CHAMBER SYSTEM (SWMF)

- BOTTOM OF STORMTECH ELEVATION = ±521.5
3" ORIFICE ELEVATION = 522.3
9"Hx6"W ORIFICE = 524.55
BOTTOM OF 2'Hx6"W WEIR = 526.3
1-YR PONDING ELEVATION = 523.72
10-YR PONDING ELEVATION = 525.16
100-YR PONDING ELEVATION = 526.26



STORMTECH OUTLET STRUCTURE DETAIL



Drawing Alteration: The following is an example from the New York State Education Law Article 145 Section 7209 and applies to this drawing.

Table for drawing alteration with columns: NO., DATE, BY, REVISIONS.

BME ASSOCIATES logo and contact information: ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS.

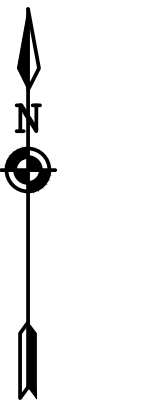
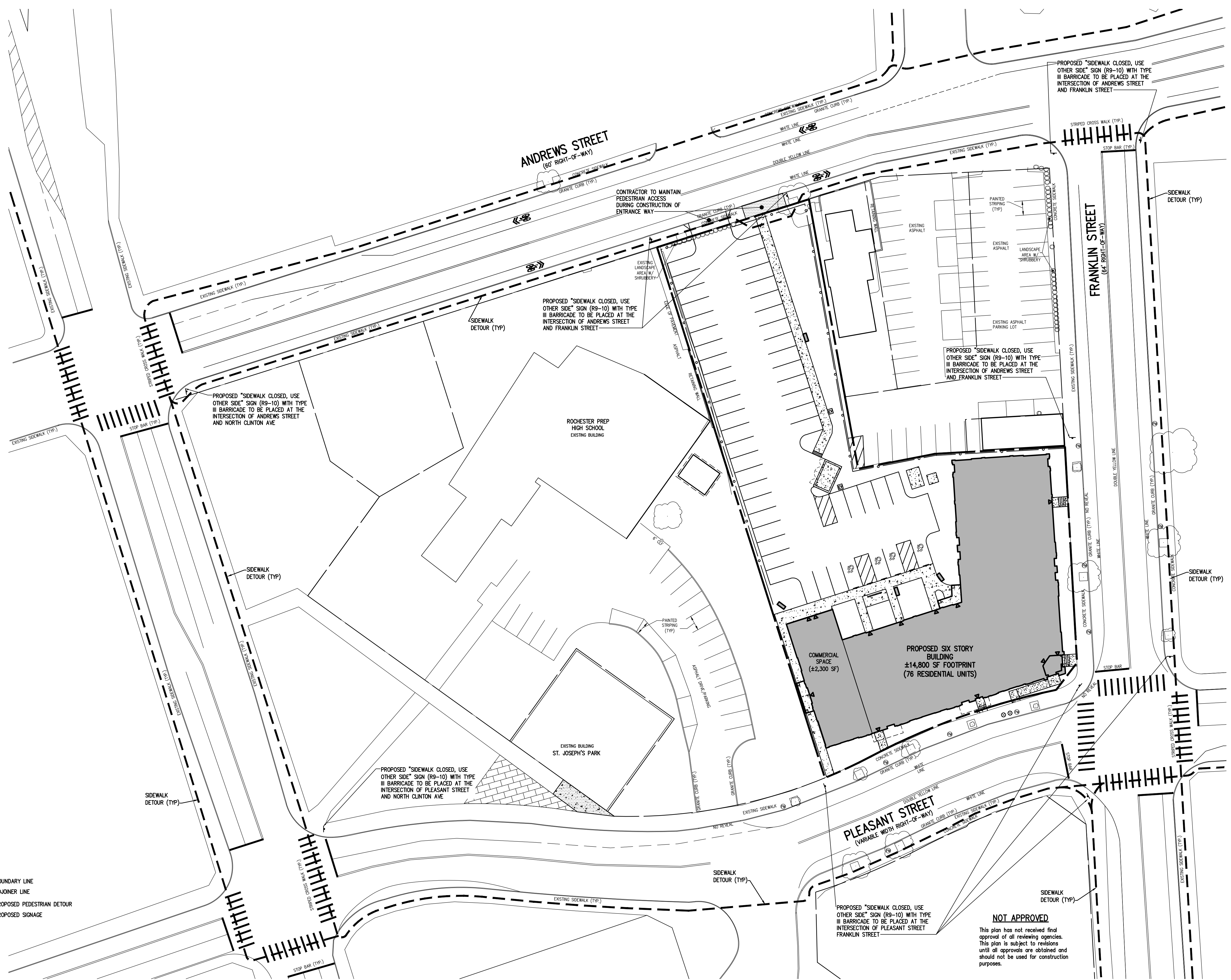


ALTA VISTA AT ST. JOSEPH'S PARK logo and contact information: PROJECT LOCATION CLIENT.

PROJECT MANAGER: J. SWEDROCK, PROJECT ENGINEER: R.R. SPURR, DRAWN BY: VU. SCHLAGETER, SCALE: N.T.S., DATE ISSUED: DECEMBER 07, 2021, PROJECT NO.: 2744, DRAWING NO.: 16 (SHEET 5 of 5).

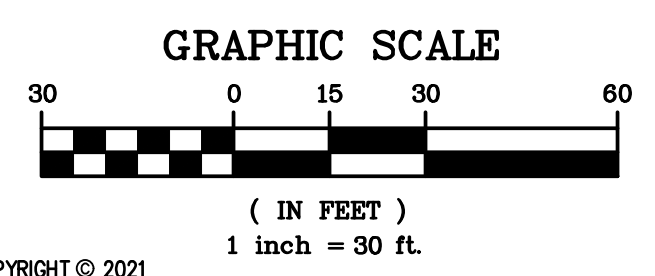


The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."



**LEGEND**

- BOUNDARY LINE
- ADJOINER LINE
- PROPOSED PEDESTRIAN DETOUR
- PROPOSED SIGNAGE



NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2	REVISED PER CITY OF ROCHESTER COMMENTS	2/19/22	MS
1	REVISED PER MCDON, WATER BUREAU, AND MCPW COMMENTS	02/04/22	MS

**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
 10 LIFT BRIDGE LANE EAST  
 ROCHESTER, NY 14615  
 WWW.BMEPC.COM  
 PHONE: 585-577-7360  
 FAX: 585-577-7309



**ALTA VISTA AT ST. JOSEPH'S PARK**  
 CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE  
 ALTA USEL LUSKINS LLC  
 954 CLEFFORD AVE.  
 ROCHESTER, NY 14621

**FINAL**  
**SIDEWALK DETOUR PLAN**

PROJECT LOCATION CLIENT DRAWING TITLE

**PROJECT MANAGER**  
 J. SWEDROCK  
**PROJECT ENGINEER**  
 RR. SPURR  
**DRAWN BY**  
 VJ. SCHLAGETER

SCALE DATE ISSUED  
 1" = 30' DECEMBER 07, 2021

PROJECT NO. **2744**  
 DRAWING NO. **17**

**NOT APPROVED**  
 This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.





FRANKLIN STREET

FIRST FLOOR







SECOND FLOOR







THIRD FLOOR





FOURTH FLOOR





FIFTH FLOOR







SIXTH FLOOR





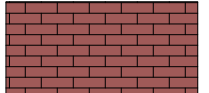

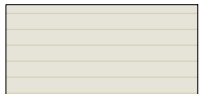


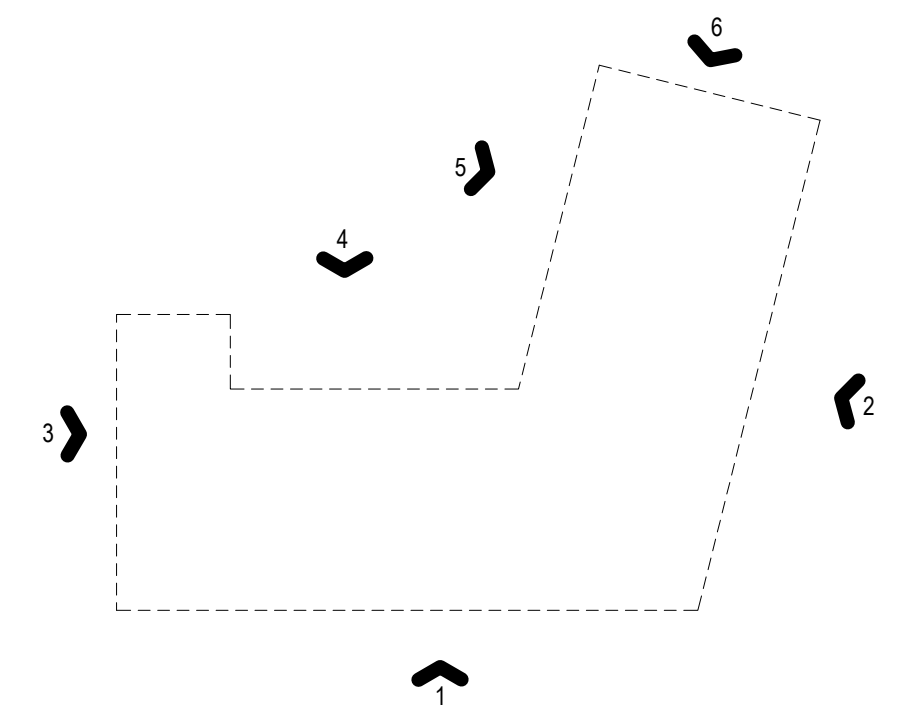
① SOUTH ELEVATION - 1/8" = 1'-0"  
1/8" = 1'-0"



② EAST ELEVATION - 1/8" = 1'-0"  
1/8" = 1'-0"

**MATERIALS LEGEND**

-  BRICK
-  LIMESTONE VENEER
-  HARDIE SIDING







③ NORTH ELEVATION - 1/8" = 1'-0"  
1/8" = 1'-0"



① NORTH ELEVATION 2 - 1/8" = 1'-0"  
1/8" = 1'-0"

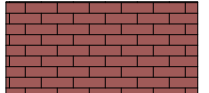

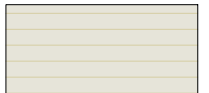


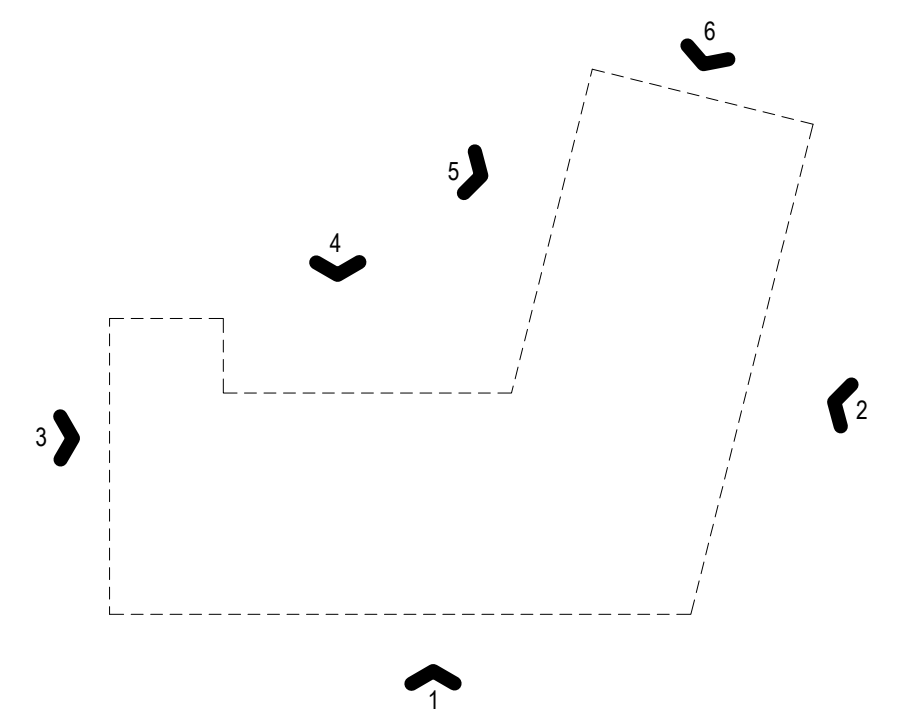
② NORTH ELEVATION -1 1/8" = 1'-0"  
1/8" = 1'-0"



④ WEST ELEVATION - 1/8" = 1'-0"  
1/8" = 1'-0"

**MATERIALS LEGEND**

-  BRICK
-  LIMESTONE VENEER
-  HARDIE SIDING





**1st flr Building Façade**

Req'd Min	40%
Req'd Max	75%

1st flr building façade SF	3360
Window SF	1139
Props'd Window Coverage	33.9%

<b>Evaluation</b>	<b>Variance</b>
-------------------	-----------------

**1st flr Rear Façade**

Req'd Min	20%
Req'd Max	100%

1st flr Rear façade SF	2316
Window SF	477
Props'd Window Coverage	20.6%

<b>Evaluation</b>	ok
-------------------	----

**1st flr Side (N) Façade**

Req'd Min	20%
Req'd Max	100%

1st flr Side 1 (N) façade SF	720
Window SF	120
Props'd Window Coverage	16.7%

<b>Evaluation</b>	<b>Variance</b>
-------------------	-----------------

**1st flr Side (W) Façade**

Req'd Min	20%
Req'd Max	100%

1st flr Side 2 (S) façade SF	924
Window SF	245
Props'd Window Coverage	26.5%

<b>Evaluation</b>	ok
-------------------	----

**2nd flr Building Façade**

Req'd Min	25%
Req'd Max	60%

2nd flr building façade SF	2890
Window SF	765
Props'd Window Coverage	26.5%

<b>Evaluation</b>	ok
-------------------	----

**2nd flr Rear Façade**

Req'd Min	20%
Req'd Max	100%

2nd flr Rear façade SF	1930
Window SF	438
Props'd Window Coverage	22.7%

<b>Evaluation</b>	ok
-------------------	----

**2nd flr Side (N) Façade**

Req'd Min	20%
Req'd Max	100%

2nd flr Side 1 (N) façade SF	600
Window SF	80
Props'd Window Coverage	13.3%

<b>Evaluation</b>	<b>Variance</b>
-------------------	-----------------

**2nd flr Side (W) Façade**

Req'd Min	20%
Req'd Max	100%

2nd flr Side 2 (S) façade SF	600
Window SF	120
Props'd Window Coverage	20.0%

<b>Evaluation</b>	ok
-------------------	----



**3rd flr Building Façade**

Req'd Min	25%
Req'd Max	60%

3rd flr building façade SF	2890
Window SF	740
Props'd Window Coverage	25.6%

<b>Evaluation</b>	ok
-------------------	----

**3rd flr Rear Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Rear façade SF	1930
Window SF	511
Props'd Window Coverage	26.5%

<b>Evaluation</b>	ok
-------------------	----

**3rd flr Side (N) Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Side 1 (N) façade SF	600
Window SF	80
Props'd Window Coverage	13.3%

<b>Evaluation</b>	Variance
-------------------	----------

**3rd flr Side (W) Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Side 2 (S) façade SF	600
Window SF	80
Props'd Window Coverage	13.3%

<b>Evaluation</b>	Variance
-------------------	----------

**4th flr Building Façade**

Req'd Min	
Req'd Max	

4th flr building façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--

**4th flr Rear Façade**

Req'd Min	
Req'd Max	

4th flr Rear façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--

**4th flr Side (N) Façade**

Req'd Min	
Req'd Max	

4th flr Side 1 (N) façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--

**4th flr Side (W) Façade**

Req'd Min	
Req'd Max	

4th flr Side 2 (S) façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--



25%  
60%

2890  
740  
25.6%

ok

20%  
100%

1930  
511  
26.5%

ok

20%  
100%

600  
80  
13.3%

**Variance**

20%  
100%

600  
80  
13.3%

**Variance**



**5th flr Building Façade**

Req'd Min	25%
Req'd Max	60%

3rd flr building façade SF	2890
Window SF	740
Props'd Window Coverage	25.6%

<b>Evaluation</b>	ok
-------------------	----

**5th flr Rear Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Rear façade SF	1930
Window SF	511
Props'd Window Coverage	26.5%

<b>Evaluation</b>	ok
-------------------	----

**5th flr Side (N) Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Side 1 (N) façade SF	600
Window SF	80
Props'd Window Coverage	13.3%

<b>Evaluation</b>	Variance
-------------------	----------

**5th flr Side (W) Façade**

Req'd Min	20%
Req'd Max	100%

3rd flr Side 2 (S) façade SF	600
Window SF	80
Props'd Window Coverage	13.3%

<b>Evaluation</b>	Variance
-------------------	----------

**6th flr Building Façade**

Req'd Min	
Req'd Max	

4th flr building façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--

**6th flr Rear Façade**

Req'd Min	
Req'd Max	

4th flr Rear façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--

**6th flr Side (N) Façade**

Req'd Min	
Req'd Max	

4th flr Side 1 (N) façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--

**6th flr Side (W) Façade**

Req'd Min	
Req'd Max	

4th flr Side 2 (S) façade SF	
Window SF	
Props'd Window Coverage	

<b>Evaluation</b>	
-------------------	--



25%  
60%

2890  
740  
25.6%

ok

20%  
100%

1930  
511  
26.5%

ok

20%  
100%

600  
80  
13.3%

**Variance**

20%  
100%

600  
80  
13.3%

**Variance**



March 8, 2022

City of Rochester  
Bureau of Buildings and Zoning  
30 Church Street, Room 125B  
Rochester, NY 14614

Attn: Anna L. Keller, Senior Community Housing Planner

**Re: ALTA Vista  
Site Plan Review  
PRC Response to Comments**

**2744**

Dear Anna:

On behalf of the project applicant, ALTA Vista Housing LLC, we have reviewed the PRC comments for the above-referenced project, dated February 16, 2022, and have the following responses for the City's consideration:

Massing

The material layout does not reinforce a vertical fenestration pattern.

**Requests:**

- 1) Revise building design accordingly.

The height of the cornice was increased at the projecting portions of the façade, defined by the piers extending the full six stories, to create a vertical delineation in two locations on each facade. The 6-story stone corner element was expanded on both Pleasant and Franklin Streets to provide an even stronger presence.

Transparency

It is necessary for the proposed project to align with the purpose of the zoning district by designing the building and configuring the site with the public realm in mind. The PRC recommends providing transom windows above current proposed windows and doors on all first floor facades and/or increasing the size of the proposed doors.

**Requests:**

- 1) Transparency requirements for all first floor facades must be met.

The transparency for the street facades was increased from 23% to 33.9%. Any additional changes to the window pattern would disrupt and draw unwanted attention. More importantly, as a residential building, safety and privacy are important to tenants that have apartments along the first floor. The double doors were removed at the street level and changed to double casements instead to help with security and also control possible dust and snow concerns at the grade plane. Additional windows were also added to the North façade.

- 2) Transparency requirements for all facades facing the landmark site must be met.

Additional windows were added to the South West corner of the West façade as suggested in the review. Additional windows were added to the second floor of the commercial space to create more transparency. Additional windows were also added to the North façade.



Commercial Entrance

The project site is adjacent to St Joseph's Park, a landmark site. The project plans include a 2,810 square foot commercial, multi-purpose room intended to be used for special events occurring at the adjacent landmark park. The PRC stated that the detailing of the proposed building, specifically the façade that faces the landmark site is important due to the proximity and relationship to the landmark site. Given that a new commercial space is proposed in the CCD-B district pedestrian access is needed to strengthen and maintain street-level activity and pedestrian circulation.

**Requests:**

- 1) Provide renderings that demonstrate how the proposed building, specifically the west façade relates to the adjacent landmark site. Be sure to include any other improvements that strengthen the connection between the two structures.

Additional windows were added to the first and second floor of the commercial space to provide a better visual connection to St. Joseph Church. The existing walkway will have dedicated lighting to create a guided pathway between the commercial space and St. Joseph's Church.

- 2) Provide an entrance to the commercial space with direct pedestrian access from the street.

The Landmark Society has ownership of St. Joseph's Church and holds several functions throughout the year. The commercial space allows them to expand their options to host events throughout the year and provide additional hosting benefits. There is currently a 10 year lease agreement in place and there is no indication that this relationship will not continue well into the future. The tenant has been involved in design meetings and have indicated that this orientation provides the best possible set up for their hosting needs.

Design

Additional detailing is requested on the tower situated on the Corner of Franklin St and Pleasant St. This tower should serve as a prominent architectural feature of the proposed building.

The 6-story stone corner element was expanded on both Pleasant and Franklin Streets to provide an even stronger presence with additional transparency added.

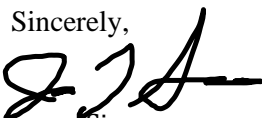
The PRC is unable to comment on the brick pilasters with the provided renderings and thus requests new renderings in order to determine if their massing is satisfactory or whether a modification or alternative is preferable.

It is the belief of the project team that the stepping of the façade and brick pilasters due their part to provide vertical articulation of the façade during the daylight hours and will have lighting to provide that effect at night.

The project cannot support the financial cost of 5 stories of brick

If you have any additional comments or require any additional information, please contact our office.

Sincerely,



Jason Simmons

IN/EX Architecture

c: Eugenio Marlin; ALTA Vista Housing LLC, Chris Roland, Edgemere Development





4 March 2022

Mike McCracken  
Hospitality Syracuse  
290 Elwood Davis Road, Suite 320  
Syracuse, NY 13088

**Re: Site Plan Review (SP-01-21-22)  
1737 Mt. Hope Avenue, 20 Elmerston Road, 35 Shelbourne Road  
C-2 Community Center District**

Dear Mr. McCracken:

We appreciate the thorough and detailed response to our preliminary findings. This office remains concerned about the appropriateness of this design given the numerous waivers from the current zoning code required in order to make it work on this very restricted site, as well as its inability to meet the draft new code for Drive-Through Restaurants. This draft code is not yet adopted, but aligns the current zoning with the Rochester 2034 Comprehensive Plan, which is adopted. Therefore it is appropriate for consideration in this review.

However, we will be proceeding to Project Review Committee in accordance with the Site Plan Review process. In preparation for that meeting, we offer the following additional commentary. The current and alternate schemes proposed fail to address the desired changes to the site. These include, but are not limited to:

- Direct pedestrian access.
- Building frontage on Mt. Hope Avenue.
- Minimization of conflict points with internal vehicular circulation including:
  - Elimination of cars entering the drive through from two possible directions.
  - Establishment of a by-pass lane.
- Elimination of drive-through elements between the building and the public streets.

After review of the materials presented, it is clear that a plan could be provided that meets all or most of these requests. It is also clear that, in meeting all of them, there are significant detriments to the goals of the development and developer. This brings into question whether this site is workable at all and continues to lead this office towards denial.

We believe there are reasonable considerations that could greatly improve the site with minimal detriment to the development that have not been explored. These include, but are not limited to, the items below. These items are not necessarily additive:

- One-way traffic to eliminate conflict points. While the applicant has shown multiple examples of projects with conflict points, in all cases they are sites adjacent to multiple parking and access aisles that allow alternative routes, and the sites



themselves offer enough clear visibility of the conflict point for a potential customer to see the conflict point well before they are stuck in the queue line because additional cars have come in behind them, and cars are blocking their access to the drive aisle to leave.

- Reduction of the number order lanes.
- Elimination of Shelbourne Road access except for truck access. This access could be gated and limited to use by delivery trucks.
- Use of a non-standard building layout/design to address the non-standard site constraints, including corner frontage to keep the existing curb cut on Mt. Hope, provide direct pedestrian access and eliminate the vehicular elements between the building and the street. The applicant has used the example of the Lake Avenue project to show the need for pedestrians to cross at least one driveway curb cut to get to the Taco Bell. This is true, however we continue to contend that walking along a sidewalk and crossing driveways/curb cuts along that sidewalk is inherently different from crossing internal drive aisles within a site. The use of curbing on the site plan does mitigate this difference. But direct pedestrian access remains a code requirement and a desired part of the site design.
- Shifting of the building further back on the site.

We hope we are able to resolve these major issues and find a site plan that uses the new C-2 zoning to its advantage and meets the requirements for a C-2 site. We look forward to further discussion at the Project Review Committee. If you have any further questions regarding this proposal, please contact my office.

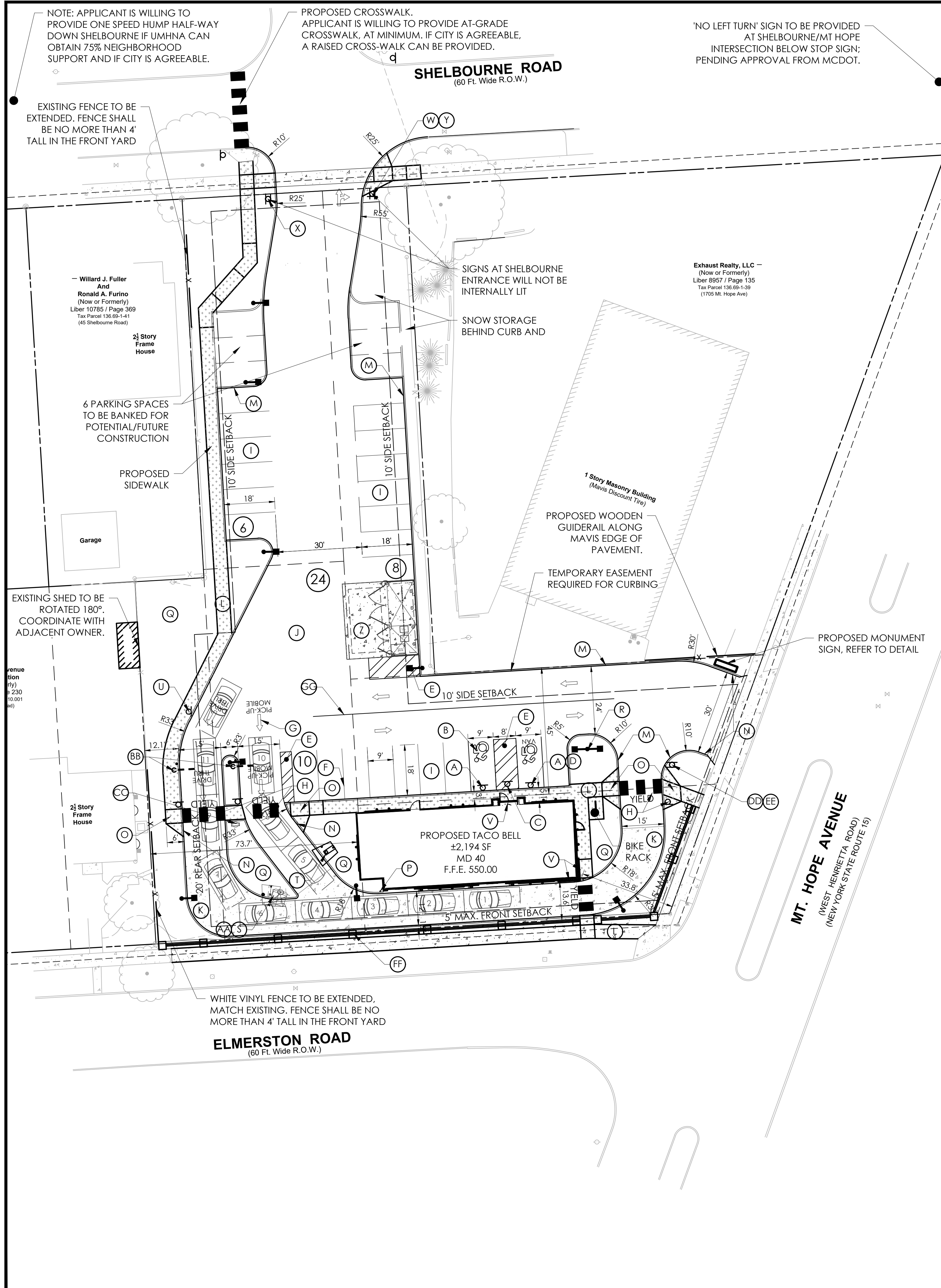
**Sincerely,**

A handwritten signature in black ink, appearing to read "Roseanne Khaleel". The signature is fluid and cursive, with the first name being more prominent.

Roseanne Khaleel  
Manager of Zoning

cc: Stephanie Albright, P.E., ADP  
Anna Keller, COR  
Marcia Barry, COR





**SITE LEGEND:**

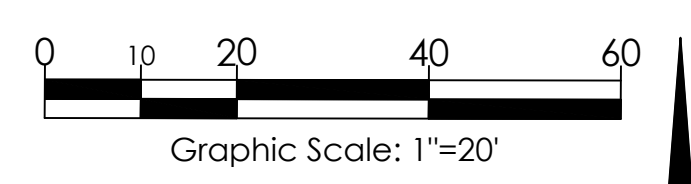
- (A) ACCESSIBLE PARKING SIGN, POST & BOLLARD (REFER TO DETAIL)
- (B) PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- (C) "NO PARKING ANY TIME" SIGN, POST & BOLLARD (REFER TO DETAIL)
- (D) "VAN ACCESSIBLE" STRIPING AND SIGN (REFER TO DETAIL)
- (E) PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
- (F) SYSL/4" PARKING STALL STRIPING
- (G) PAVEMENT MARKINGS - ARROWS (REFER TO DETAIL)
- (H) PEDESTRIAN CROSSWALK, YIELD TEXT, AND SIGNAGE (REFER TO DETAIL)
- (I) REGULAR DUTY PAVEMENT (REFER TO DETAIL)
- (J) HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- (K) HEAVY DUTY CONCRETE (REFER TO DETAIL)
- (L) CONCRETE SIDEWALK (REFER TO DETAIL)
- (M) CONCRETE CURB (REFER TO DETAIL)
- (N) TRANSITION CURB (REFER TO DETAIL)
- (O) ADA RAMP AND DETECTABLE WARNING (REFER TO DETAIL)
- (P) BOLLARDS (REFER TO ARCH. PLAN DETAIL)
- (Q) LAWN/MULCH AREA (REFER TO PLANTING PLAN FOR DELINEATION)
- (R) LIGHT POLE (REFER TO DETAIL)
- (S) CANOPY & SPEAKER BOX (REFER TO DETAIL)
- (T) SPEAKER BOX (REFER TO DETAIL)
- (U) DRIVE THRU SIGN (PROVIDED BY SIGN VENDOR)
- (V) TACO BELL LOGO SIGN (PROVIDED BY SIGN VENDOR)
- (W) TACO BELL EXIT SIGN (PROVIDED BY SIGN VENDOR)
- (X) TACO BELL ENTER SIGN (PROVIDED BY SIGN VENDOR)
- (Y) NO LEFT TURN SIGN
- (Z) CONCRETE DUMPSTER PAD (REFER TO ARCH. PLANS)
- (AA) MENU BOARD (REFER TO DETAIL)
- (BB) CLEARANCE BAR (REFER TO DETAIL)
- (CC) PREVIEW BOARD (REFER TO DETAIL)
- (DD) TACO BELL "THANK YOU" SIGN (PROVIDED BY SIGN VENDOR)
- (EE) "DO NOT ENTER" SIGN (PROVIDED BY SIGN VENDOR)
- (FF) 5' HIGH SOLID WALL (REFER TO DETAIL)
- (CG) SINGLE YELLOW SOLID LINE/4" WIDE

**GENERAL NOTES:**

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, AND/OR OTHER AUTHORITIES HAVING JURISDICTION.
2. ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC., WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
4. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. OUTSIDE OF WORK LIMITS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. SIDEWALKS WITHIN R.O.W. SHALL REMAIN OPEN AT ALL TIMES DURING CONSTRUCTION.
5. REFER TO THE SURVEY FOR THE PROPERTY BOUNDARY INFORMATION (E.G. LOT AREA, BEARINGS, DISTANCES, ETC).
6. THE SITE IS IN FLOOD ZONE X. AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS SHOWN ON FLOOD STUDY INSURANCE MAP OF CITY OF ROCHESTER PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NO. 36055C0351G, MAP EFFECTIVE DATE 08/28/08.

**REFERENCE:**

1. PICTOMETRY AERIAL IMAGERY
2. ALTA/NSPS LAND TITLE SURVEY LANDS OF 1737 MT HOPE AVE AND 35 SHELBOURNE RD, PROJECT NUMBER 2021.045.001, PREPARED BY JACOBS LAND SURVEYING, LAST REVISED OCTOBER 12, 2021.



AS REQUIRED BY NEW YORK STATE LAW, CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" (UFPD) @ 1-800-962-7962 FOR LOCATION STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION.

**LEGEND OF IMPROVEMENTS**

- BACK OF CURB
- FACE OF CURB
- FACE OF CURB/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- CONCRETE SIDEWALK (REFER TO DETAIL)
- HEAVY DUTY CONCRETE (REFER TO DETAIL)
- HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- LIGHT POLES

**SITE DATA:**

LOCAL JURISDICTION:	City of Rochester
ZONING CLASSIFICATION:	C-2 Community Center District and R-1 Low Density Residential
PROPOSED ZONING:	C-2 Community Center District
PERMITTED USES:	Restaurants, without drive thru
SPECIAL PERMITTED USES:	Drive Thru
CURRENT OWNER:	1737 Mt Hope Avenue Realty Corporation and 35 Shelbourne, LLC
FUTURE OWNER:	Fairlane Drive
PROPERTY AC REAGE:	± 0.76 Ac (Lot consolidation req'd)
EXISTING IMPERVIOUS:	± 0.63 Ac
PROPOSED IMPERVIOUS:	± 0.57 Ac

**EXISTING PARCEL DATA:**

ADDRESS	SECTION/BLOCK/LOT	ZONING	ACREAGE
35 SHELBOURNE RD	136.69-1-40	C-2 (NOTE 1)	0.272 AC
20 ELMERSON RD	136.77-1-11.001	C-2 (NOTE 1)	0.224 AC
1737 MT. HOPE AVE	136.77-1-12.001	C-2	0.262 AC
			<b>TOTAL = 0.76 AC</b>

NOTES:  
1. CITY COUNCIL APPROVED THE REZONING AT THEIR 11/09/21 MEETING.

BULK REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
MAX. FRONT YARD	5 FT	25 FT (MT HOPE), 22.7 FT (ELMERSTON)	33.7 FT (MT HOPE), 13.5' ELMERSTON
REAR YARD (WEST) (PER R-1 DISTRICT)	20 FT	87 FT	73.7 FT
SIDE YARD (NORTH) (PER R-1 DISTRICT)	10' MIN. WITH A COMBINED WIDTH OF 25 FT.	0 FT	45 FT
MAXIMUM BUILDING AREA	6,000 SF	33,103 SF	2,194 SF
MINIMUM BUILDING HEIGHT	20 FT	11.1 FT (MIN.)	23 FT
DRIVE THRU LOCATION	PROHIBITED IN THE FRONT YARD	N/A	FRONT YARD
DRIVE THRU SCREENING	DRIVE THRU AND QUEUING LANES SHALL BE SCREENED FROM RESIDENTIAL PROPERTIES.	N/A	
MINIMUM PARKING REQUIREMENT	6 PER 1,000 SF OF NET FLOOR AREA (13 SPACES)	37 SPACES	24 SPACES (6 BANKED)
MAXIMUM PARKING REQUIREMENT	110% OF MINIMUM PARKING. PARKING ANALYSIS PLAN AND SPECIAL PERMIT REQUIRED TO EXCEED MAXIMUM. (14 SPACES)	37 SPACES	24 SPACES (6 BANKED)
BICYCLE PARKING	10% OF THE VEHICLE PARKING REQUIREMENTS, WITH A MINIMUM OF 2 BICYCLES	0	7

**SITE NOTES:**

1. ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES.
2. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
3. THE SETBACK LINES AND NOTES RELATED TO SETBACKS SHOWN HEREIN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE CITY OF ROCHESTER AS OF THE DATE OF THIS PLAN AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
4. REFER TO LIGHTING PLAN, SHEET C5, FOR LIGHT POLE AND BUILDING MOUNTED LIGHT LOCATIONS, AND FIXTURE TYPE.

Issued:	Date:
A City of Rochester	11/12/21
B City of Rochester	02/10/22
C	
D	
E	
F	
G	
H	

Revisions:	Date:
1 Per City Site Plan comments	02/10/22
2	
3	
4	
5	
6	
7	
8	

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CIVIL ENGINEER OF RECORD  
Name: Stephanie L. Albright  
New York License No.: 087051  
Exp. Date: December 31, 2023  
Firm Reg. No.: 0014815  
Exp. Date: December 31, 2023

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ROCHESTER, NY 14620

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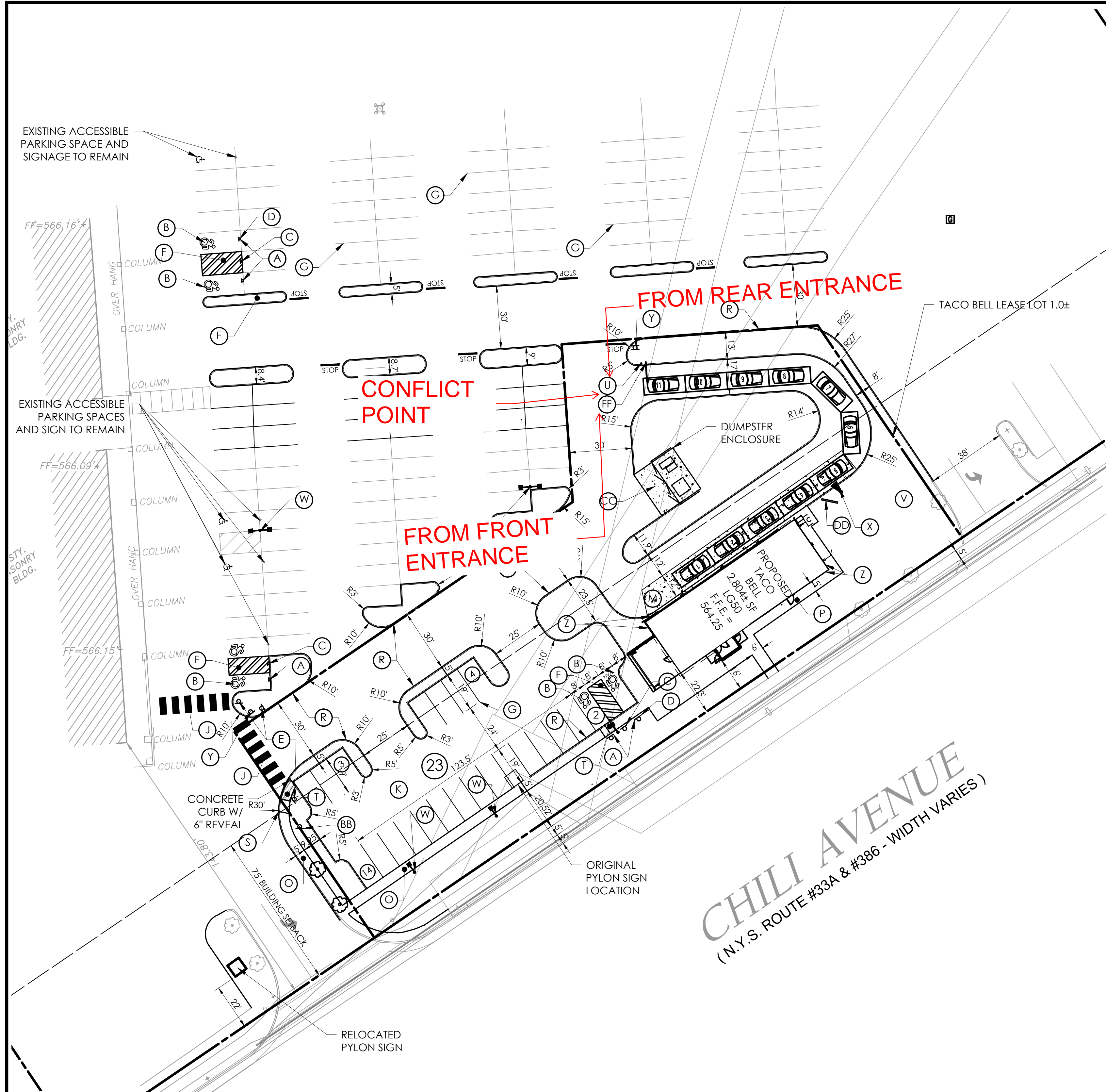
615 Fishers Run Victor, NY 14564  
585.742.2222 - www.apd.com

Hospitality Syracuse, Inc.  
290 Elwood Davis Road  
Suite 320  
Liverpool, NY 13088  
315-451-1927  
315-451-9808

Taco Bell - Rochester NY  
1737 Mt. Hope Ave  
City of Rochester  
Monroe County  
Project Name & Location:

Site Plan	
Drawing Name:	Project No.
Date: 06/10/21	20-0531
Type: MD40	
Drawn By: SLA	C2
Scale: 1" = 20'	Drawing No.

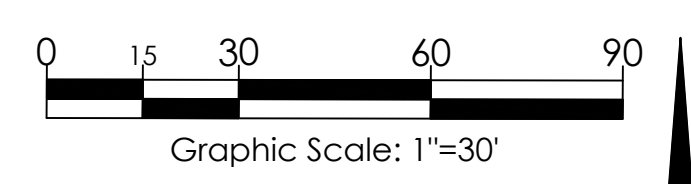




**SITE LEGEND:**

- (A) ACCESSIBLE PARKING SIGN, POST & BOLLARD (REFER TO DETAIL)
- (B) PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- (C) "NO PARKING ANY TIME" SIGN, POST & BOLLARD (REFER TO DETAIL)
- (D) "VAN ACCESSIBLE" SIGN (REFER TO DETAIL)
- (E) PEDESTRIAN CROSSING SIGN (REFER TO DETAIL)
- (F) PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
- (G) SYSL/4" PARKING STALL STRIPING
- (J) PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- (K) REGULAR DUTY PAVEMENT (REFER TO DETAIL)
- (M) HEAVY DUTY CONCRETE (REFER TO DETAIL)
- (N) EDGE OF PAVEMENT
- (O) CONCRETE SIDEWALK (REFER TO DETAIL)
- (P) CONCRETE SIDEWALK (REFER TO ARCH. PLANS). SIDEWALK ADJACENT TO CANOPY & IN FRONT OF HANDICAP PARKING SHALL BE FLUSH WITH PAVEMENT.
- (R) CONCRETE CURB (REFER TO DETAIL)
- (S) TRANSITION CURB (REFER TO DETAIL)
- (T) ADA RAMP AND DETECTABLE WARNING (REFER TO DETAIL)
- (U) BOLLARDS (REFER TO ARCH. PLAN DETAIL)
- (V) LAWN/GRASS AREA
- (W) LIGHT POLE (REFER TO DETAIL)
- (X) CANOPY AND SPEAKER BOX (REFER TO ARCH. PLAN)
- (Y) DRIVE THRU SIGN (REFER TO DETAIL)
- (Z) TACO BELL LOGO SIGN (REFER TO DETAIL)
- (AA) EXIT SIGN (REFER TO DETAIL)
- (BB) TACO BELL ENTRANCE (REFER TO DETAIL)
- (CC) CONCRETE DUMPSTER PAD (REFER TO DETAIL)
- (DD) MENU BOARD (REFER TO DETAIL)
- (FF) CLEARANCE BAR (REFER TO DETAIL)

**REFERENCE:**  
 SURVEY PROVIDED BY RAVI ENGINEERING & LAND SURVEYING, P.C.  
 LAST UPDATED ON 04/03/17



AS REQUIRED BY NEW YORK STATE LAW, CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" (UFPD) @ 1-800-962-7962 FOR LOCATION STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION.

**LEGEND OF EXISTING FEATURES**

REFER TO THE SURVEY PREPARED BY RAVI ENGINEERING & LAND SURVEYING, P.C.

**LEGEND OF IMPROVEMENTS**

- BACK OF CURB
- FACE OF CURB
- EDGE OF PAVEMENT/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- CONCRETE SIDEWALK (REFER TO DETAIL)
- PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- LIGHT POLES

**SITE DATA:**

LOCAL JURISDICTION: TOWN OF CHILI  
 ZONING CLASSIFICATION: GENERAL BUSINESS  
 PERMITTED USES: EATING ESTABLISHMENTS

BULK REQUIREMENTS	REQUIRED	EXISTING	PROPOSED	VARIANCE
FRONT YARD	75 FT	N/A	16± (1)	YES
SIDE YARD	None			NO
REAR YARD	N/A			NO
PARKING	1 space per table or 1 for each 200 SQFT of floor area or 1 space per 4 seats whichever is greater (50 seats / 14 tables = 14 spaces (greatest)	N/A	23	NO
PARKING STALL WIDTH	9.5 FT		9.5 FT	NO
PARKING STALL LENGTH	19 FT		19 FT	NO

NOTES:  
 1. SETBACK VARIANCE GRANTED 04/26/19.

**ABBREVIATIONS:**

- 1. SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- 2. TYP. - TYPICAL
- 3. P.D.C. - PROTECT DURING CONSTRUCTION
- 4. SF - SQUARE FEET

**GENERAL NOTES:**

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CHILI AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, AND/OR OTHER AUTHORITIES HAVING JURISDICTION.
- ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC., WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
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- APD ENGINEERING AND ARCHITECTURE, PLLC (APD) IS ONLY RESPONSIBLE FOR THE PROPOSED SITE IMPROVEMENTS RELATED TO THIS BUILDING CONSTRUCTION, AS SHOWN ON THE PLANS. APD DID NOT PERFORM THE ORIGINAL SITE DESIGN OR SURVEY AND ACCEPTS NO RESPONSIBILITY FOR EXISTING SITE CONDITIONS OR FEATURES THAT WERE DESIGNED AND BUILT PREVIOUS TO THE PREPARATION OF THESE PLANS. CONTRACTOR SHALL REVIEW EXISTING SITE FEATURES PRIOR TO PREPARATION OF BID.
- ANY EXISTING STRIPING WHICH IS TO REMAIN IN PLACE AND WHICH MAY BECOME OBSCURED OR DAMAGED DUE TO THE CONSTRUCTION OF IMPROVEMENTS SHALL BE REPLACED AND/OR REPAINTED AS NECESSARY.
- REFER TO THE SURVEY FOR THE PROPERTY BOUNDARY INFORMATION (E.G. LOT AREA, BEARINGS, DISTANCES, ETC).

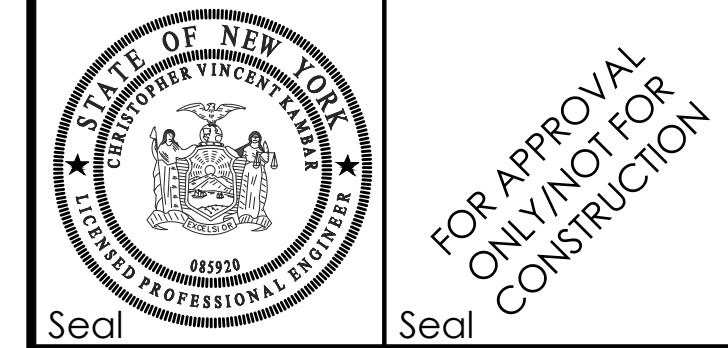
**SITE NOTES:**

- ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES. REPAINT (TWO COATS) EXISTING DIRECTIONAL ARROWS, STOP BARS, AND OTHER PAVEMENT MARKINGS ON ENTIRE SITE TO MATCH EXISTING.
- ALL WORK SHALL BE COORDINATED WITH THE CLIENT CONSTRUCTION MANAGER AND PLAZA OWNER/MANAGER 48 HOURS IN ADVANCE, AND VEHICULAR, TRUCK AND PEDESTRIAN ACCESS TO THE STORE SHALL BE MAINTAINED AT ALL TIMES.

- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
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- REFER TO LIGHTING PLAN, SHEET C9, FOR LIGHT POLE AND BUILDING MOUNTED LIGHT LOCATIONS, FIXTURE TYPE, AND PHOTOMETRICS.

Issued:	Date:
A INITIAL TOWN SUBMITTAL	07/07/17
B TOWN RESUBMITTAL	03/06/19
C ZBA	03/19/19
D	
E	
F	
G	
H	

Revisions:	Date:
1 UPDATED BUILDING FOOTPRINT	03/05/19
2 PER DEVELOPERS RESTRIPING LAYOUT	03/19/19
3	
4	
5	
6	
7	
8	



CIVIL ENGINEER OF RECORD  
 Name: Christopher, V. Kambor  
 New York License No.: 085920  
 Exp. Date.: October 31, 2019  
 Firm Reg. No.: 0008742

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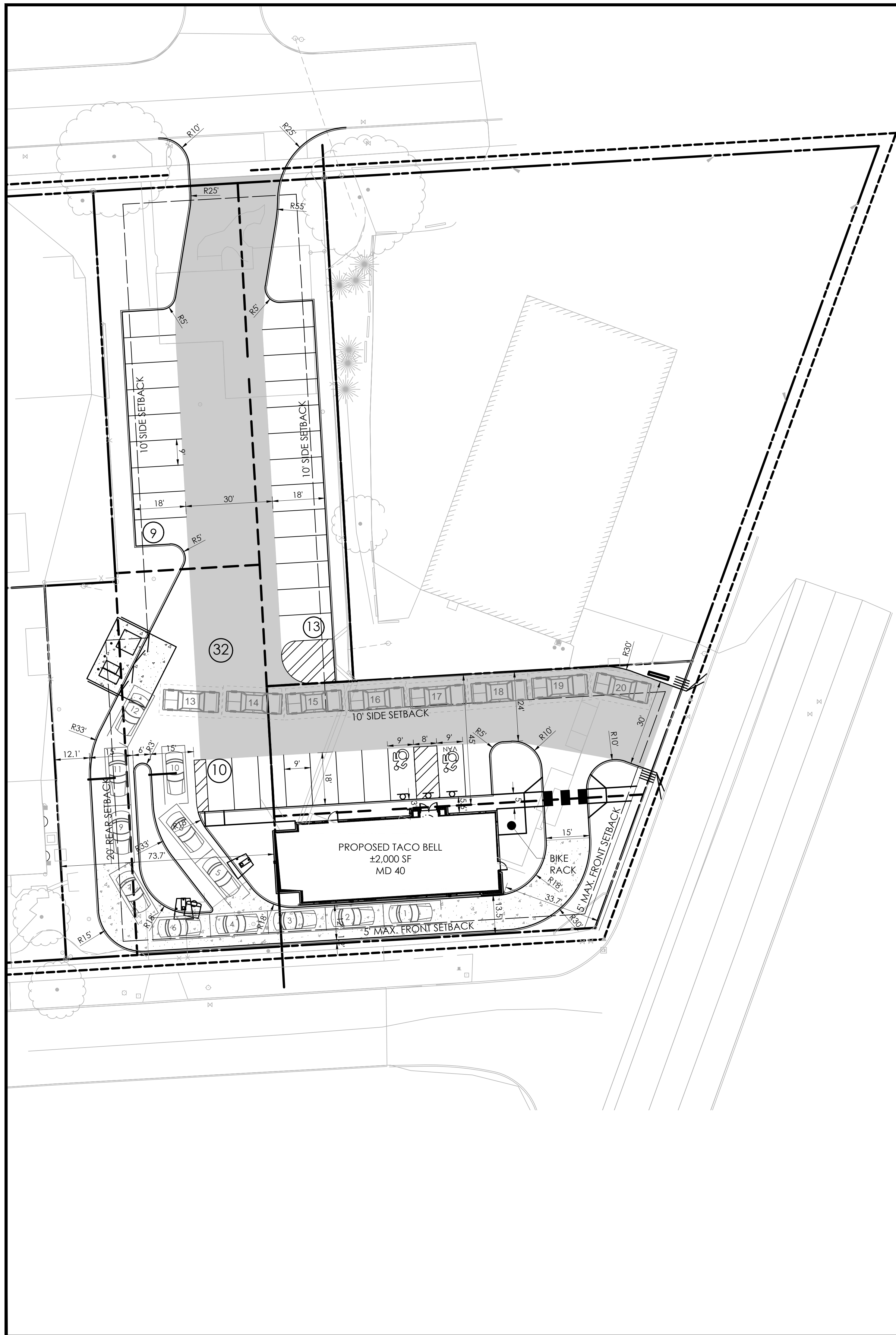
**APD ENGINEERING ARCHITECTURE**  
 615 Fishers Run Victor, NY 14564  
 585.742.2222 - www.apd.com

**Hospitality Syracuse, Inc.**  
 290 Elwood Davis Road  
 Suite 320  
 Liverpool, NY 13088  
 315-451-1957  
 315-451-9658

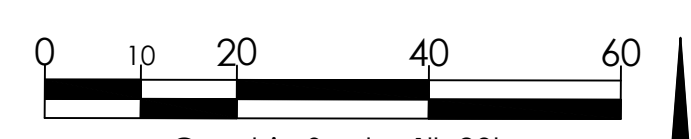
Taco Bell - Chili, NY  
 3240 Chili Ave  
 City of Rochester  
 Monroe County, NY  
 Project Name & Location:

Site Plan	
Drawing Name:	Project No.
Date: 07/07/17	16-0166
Type: LG50	
Drawn By: JWD	C2
Scale: 1" = 30'	Drawing No.





- REFERENCE:**
1. PICTOMETRY AERIAL IMAGERY
  2. ALTA/NSPS LAND TITLE SURVEY LANDS OF 1737 MT HOPE AVE AND 35 SHELBOURNE RD, PROJECT NUMBER 2021.045.001, PREPARED BY JACOBS LAND SURVEYING, LAST REVISED JUNE 8, 2021.



AS REQUIRED BY NEW YORK STATE LAW, CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" (UFPO) @ 1-800-962-7962 FOR LOCATION STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION.

**LEGEND OF IMPROVEMENTS**

- BACK OF CURB
- FACE OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- TRANSFORMER PAD
- ▨ CONCRETE SIDEWALK (REFER TO DETAIL)
- HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- BUILDING EXPANSION AREA
- ▨ PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- LIGHT POLES
- ▲ STOP
- ▲ STOP

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Revisions:	Date:
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Seal Seal

CIVIL ENGINEER OF RECORD  
 Name: Christopher, V. Kambar  
 New York License No.: 085920  
 Exp. Date: October 31, 2022  
 Firm Reg. No.: 0014815  
 Exp. Date: December 31, 2023

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**Hospitality Syracuse, Inc.**  
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 Suite 320  
 Liverpool, NY 13088  
 315-451-1957  
 315-451-9603

Taco Bell - Rochester NY

Mt. Hope and Elmerston Rd  
 City of Rochester  
 Monroe County  
 Project Name & Location:

**Site Plan**

Drawing Name:

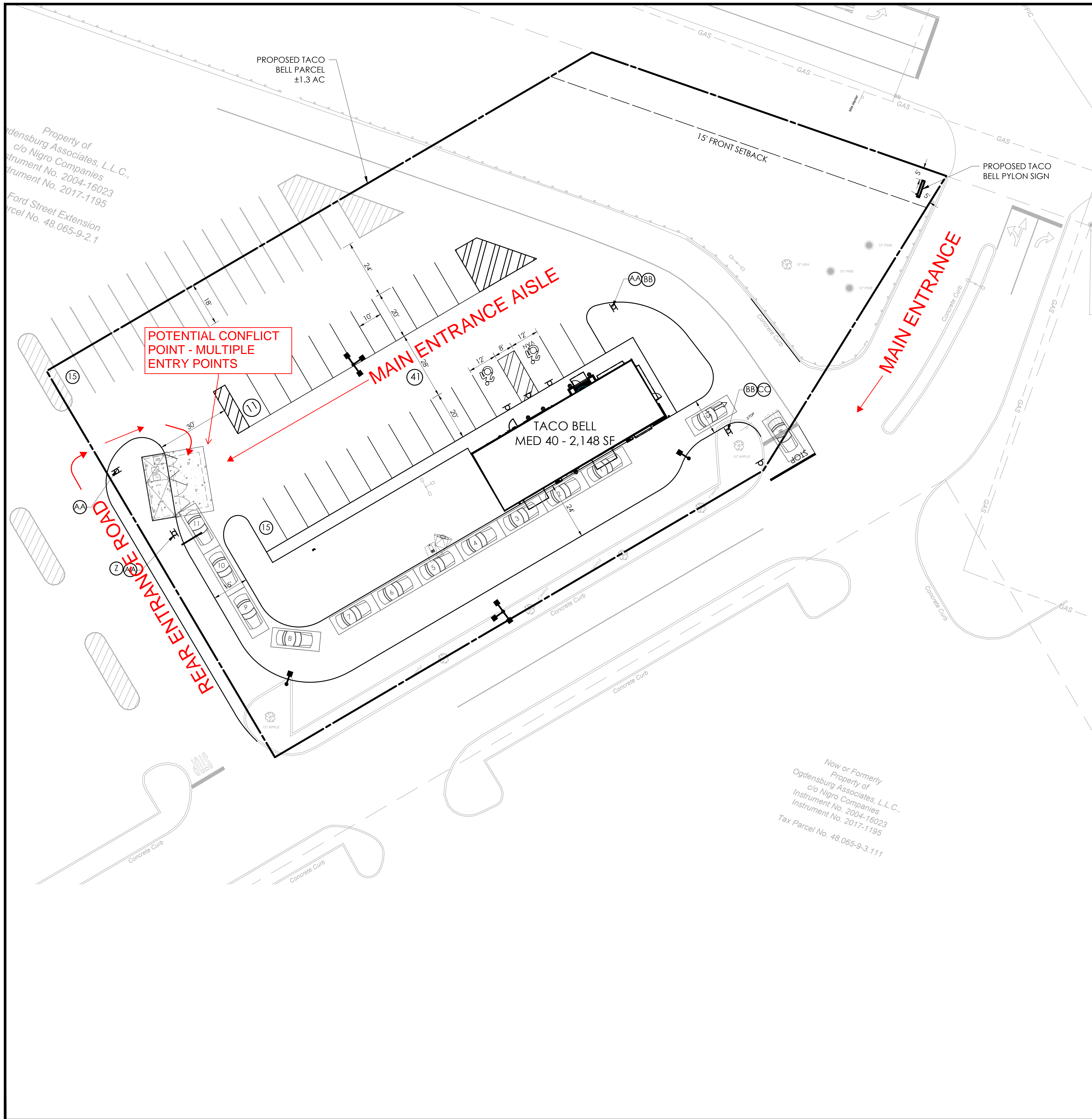
Date: 06/10/20	Project No. 20-0531
Type: MD40	
Drawn By: SLA	C2
Scale: 1" = 20'	Drawing No.

**SITE DATA:**

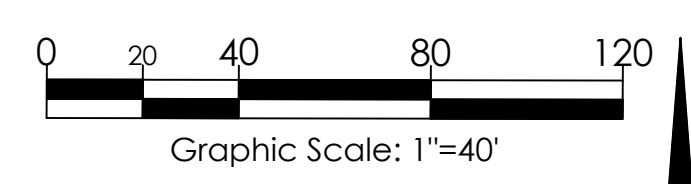
LOCAL JURISDICTION:	City of Rochester
ZONING CLASSIFICATION:	C-2 Community Center District
PERMITTED USES:	Restaurants, without drive thru
SPECIAL PERMITTED USES:	Drive Thru
CURRENT OWNER:	1737 Mt Hope Avenue Realty Corporation and 35 Shelbourne, LLC
FUTURE OWNER:	Fairlane Drive
PROPERTY ACREAGE:	± 0.76 Ac (Lot consolidation req'd)

BULK REQUIREMENTS	REQUIRED	EXISTING	PROPOSED	Variance Required
MAX. FRONT YARD	5 FT	25 FT (MT HOPE), 22.7 FT (ELMERSTON)	33.7 FT (MT HOPE), 13.5' ELMERSTON	YES
REAR YARD (WEST) (PER R-1 DISTRICT)	20 FT	87 FT	73.7 FT	NO
SIDE YARD (NORTH) (PER R-1 DISTRICT)	10' MIN. WITH A COMBINED WIDTH OF 25 FT.	0 FT	45 FT	NO
MAXIMUM BUILDING AREA	6,000 SF	33,103 SF	XX SF	NO
MINIMUM BUILDING HEIGHT	20 FT	11.1 FT (MIN.)	23 FT	NO
DRIVE THRU LOCATION	PROHIBITED IN THE FRONT YARD	N/A	FRONT YARD	YES
DRIVE THRU SCREENING	DRIVE THRU AND QUEUING LANES SHALL BE SCREENED FROM RESIDENTIAL PROPERTIES.	N/A		
MINIMUM PARKING REQUIREMENT	6 PER 1,000 SF OF NET FLOOR AREA	37 SPACES	32 SPACES	NO
MAXIMUM PARKING REQUIREMENT	110% OF MINIMUM PARKING. PARKING ANALYSIS PLAN AND SPECIAL PERMIT REQUIRED TO EXCEED MAXIMUM.	37 SPACES	32 SPACES	YES
BICYCLE PARKING	10% OF THE VEHICLE PARKING REQUIREMENTS, WITH A MINIMUM OF 2 BICYCLES	0	2	NO





**REFERENCE:**  
 1. CONNECTEXPLORER ONLINE  
 ORTHOGRAPHIC HI-RES IMAGERY  
 BY EAGLEVIEW.



AS REQUIRED BY NEW YORK STATE LAW,  
 CONTRACTOR SHALL CONTACT "DIG SAFELY NEW  
 YORK" (UFCO) @ 1-800-962-7962 FOR LOCATION  
 STAKE-OUT OF ALL UTILITIES, AT LEAST 2 FULL  
 WORKING DAYS PRIOR TO ANY EXCAVATION.

**LEGEND OF EXISTING FEATURES**  
 REFER TO THE SURVEY PREPARED BY THEW ASSOCIATES

**LEGEND OF IMPROVEMENTS**

- BACK OF CURB
- FACE OF CURB/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- TRANSFORMER PAD
- CONCRETE SIDEWALK (REFER TO DETAIL)
- HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- BUILDING EXPANSION AREA
- PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- LIGHT POLES
- SITE SIGN, PAINTED STOP BAR & "STOP" LETTERING

**SITE LEGEND:**

- (A) ACCESSIBLE PARKING SIGN, POST & BOLLARD (REFER TO DETAIL)
- (B) PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- (C) "NO PARKING ANY TIME" SIGN, POST & BOLLARD (REFER TO DETAIL)
- (D) "VAN ACCESSIBLE" SIGN (REFER TO DETAIL)
- (E) STOP SIGN, PAINTED STOP BAR, & "STOP" LETTERING (REFER TO DETAIL)
- (F) PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
- (G) SYSL/4" PARKING STALL STRIPING
- (H) PAVEMENT MARKINGS - ARROWS (REFER TO DETAIL)
- (I) REGULAR DUTY PAVEMENT (REFER TO DETAIL)
- (J) HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- (K) HEAVY DUTY CONCRETE (REFER TO DETAIL)
- (L) EDGE OF PAVEMENT
- (M) CONCRETE SIDEWALK (REFER TO DETAIL)
- (N) CONCRETE SIDEWALK (REFER TO ARCH. PLANS). SIDEWALK ADJACENT TO CANOPY & IN FRONT OF HANDICAP PARKING SHALL BE FLUSH WITH PAVEMENT.
- (O) TRANSFORMER PAD. INSTALL PER ELECTRIC COMPANY REQUIREMENTS. INCLUDE BOLLARDS AS NECESSARY.
- (P) CONCRETE CURB (REFER TO DETAIL)
- (Q) ADA RAMP AND DETECTABLE WARNING (REFER TO DETAIL)
- (R) BOLLARDS (REFER TO ARCH. PLAN DETAIL)
- (S) LAWN/MULCH AREA (REFER TO PLANTING PLAN FOR DELINEATION)
- (T) LIGHT POLE (REFER TO DETAIL)
- (U) CONCRETE DUMPSTER PAD (REFER TO ARCH. PLANS)
- (V) CANOPY & SPEAKER BOX (REFER TO DETAIL)
- (W) MENU BOARD (REFER TO DETAIL)
- (X) CLEARANCE BAR (REFER TO DETAIL)
- (Y) TACO BELL WALL MOUNTED SIGN (PROVIDED BY SIGN VENDOR)
- (Z) DRIVE THRU SIGN (PROVIDED BY SIGN VENDOR)
- (AA) ENTER SIGN (PROVIDED BY SIGN VENDOR)
- (BB) 'THANK YOU' SIGN (REFER TO DETAIL)
- (CC) DO NOT ENTER SIGN (SEE DETAIL)
- (DD) SNOW STORAGE AREA

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Revisions:	Date:
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CIVIL ENGINEER OF RECORD  
 Name: Christopher, V. Kambar  
 New York License No.: 085920  
 Exp. Date: October 31, 2022  
 Firm Reg. No.: 0014815  
 Exp. Date: December 31, 2023

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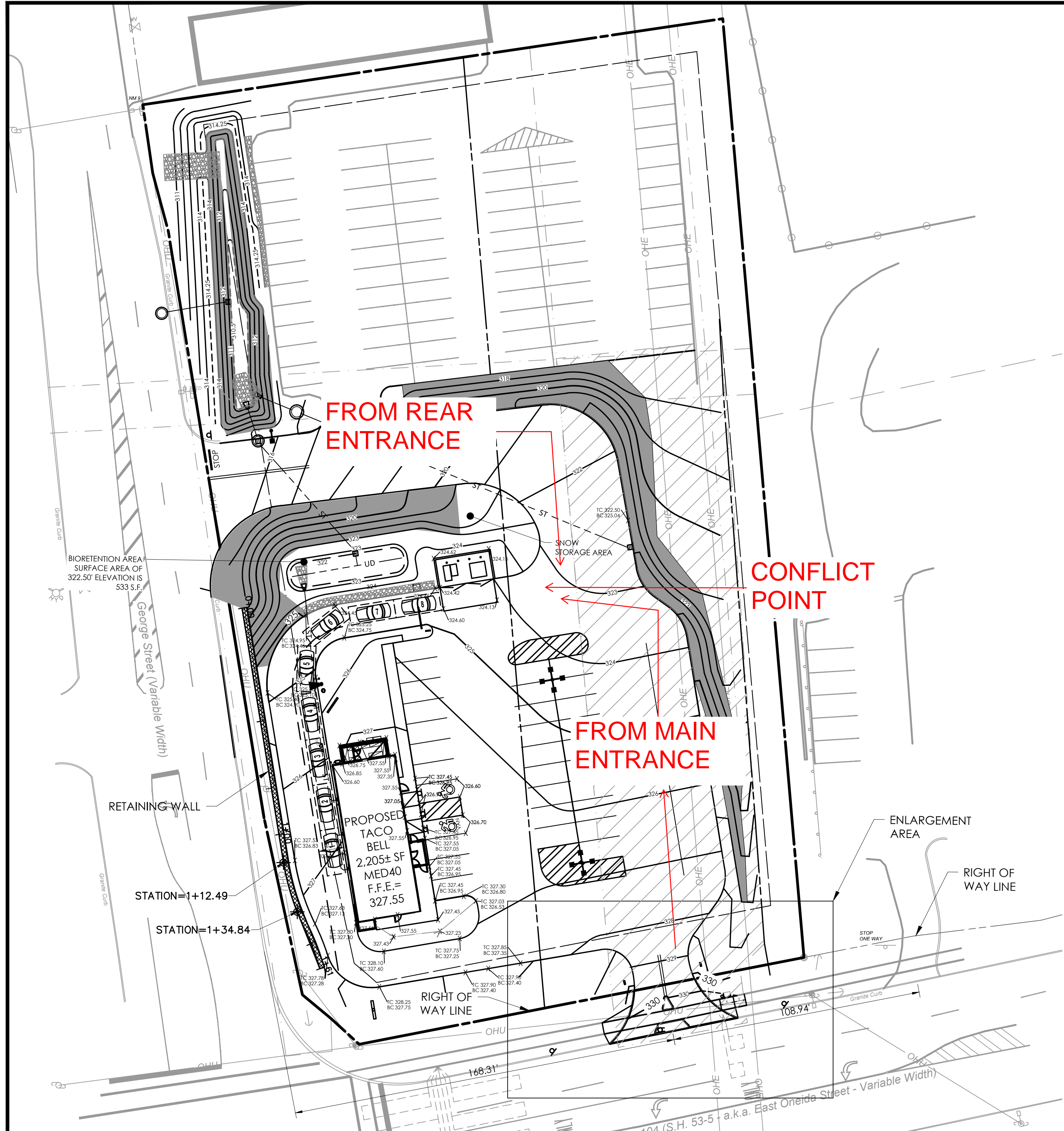
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 585.742.2222 - www.apd.com

**Hospitality Syracuse, Inc.**  
 290 Elwood Davis Road  
 Suite 320  
 Liverpool, NY 13088  
 315-451-1957  
 315-451-9803

**Taco Bell - Ogdensburg, NY**  
 Gateway Plaza  
 Ford St Ext  
 City of Ogdensburg, NY  
 St. Lawrence County  
 Project Name & Location:

<b>Site Plan</b>	
Drawing Name:	Project No.
Date: 05/10/21	21-0215
Type: MED 40	C2
Drawn By: SLA	Drawing No.
Scale: 1" = 20'	





**SITE NOTES:**

1. ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES. REPAINT (TWO COATS) EXISTING DIRECTIONAL ARROWS, STOP BARS, AND OTHER PAVEMENT MARKINGS ON ENTIRE SITE TO MATCH EXISTING.
2. ALL WORK SHALL BE COORDINATED WITH THE CLIENT CONSTRUCTION MANAGER AND STORE MANAGER 48 HOURS IN ADVANCE, AND VEHICULAR, TRUCK AND PEDESTRIAN ACCESS TO THE STORE SHALL BE MAINTAINED AT ALL TIMES.
3. CONTRACTOR SHALL PROVIDE TOUCH-UP PAINT FOR ALL FIRE HYDRANTS, BOLLARDS, LIGHT POLE BASES, VALVE COVERS, AND CURBS WHICH ARE CURRENTLY PAINTED WITHIN THE PROJECT LIMITS. CONTRACTOR SHALL REVIEW EXISTING SITE FEATURES PRIOR TO PREPARATION OF BID. COST SHALL BE INCLUDED IN THE BASE BID.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. THE SETBACK LINES AND NOTES RELATED TO SETBACKS SHOWN HEREIN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE CITY OF OSWEGO AS OF THE DATE OF THIS PLAN AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR ANY/ALL DAMAGE TO NYSDOT SIGNAL EQUIPMENT. ANY DAMAGE WILL REQUIRE THE REPLACE OF EQUIPMENT TO NYSDOT SPECIFICATIONS, INCLUDING NO SPLICING OF LOOP WIRES OUTSIDE THE PULL BOX. RESET OR RELOCATE THE TRAFFIC MANHOLE AS NEEDED.
7. CONTRACTOR SHALL RESTORE ANY DAMAGED STRIPING ON THE DOT RIGHT OF WAY IN ACCORDANCE WITH NYSDOT STANDARDS AND SPECIFICATIONS.
8. EXISTING CATCHBASIN TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY/ALL DAMAGES TO THE STORMDRAIN APPURTENANCES. ANY DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED IN KIND TO NYSDOT STANDARDS AND SPECIFICATIONS.
9. CONTRACTOR SHALL ENSURE CONCRETE SIDEWALK (INCLUDE WALKWAY ACROSS DRIVE AISLE) MEETS ALL ADA CRITERIA. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, A MAXIMUM OF 2% CROSS-SLOPE, 5% SLOPE IN THE DIRECTION OF TRAVEL FOR A WALKWAY, AND 8.33% LONGITUDINAL SLOPE FOR A RAMP.

**REFERENCE:**  
SURVEY PREPARED BY THEW ASSOCIATES LAND SURVEYORS, LAST UPDATED 04/23/18

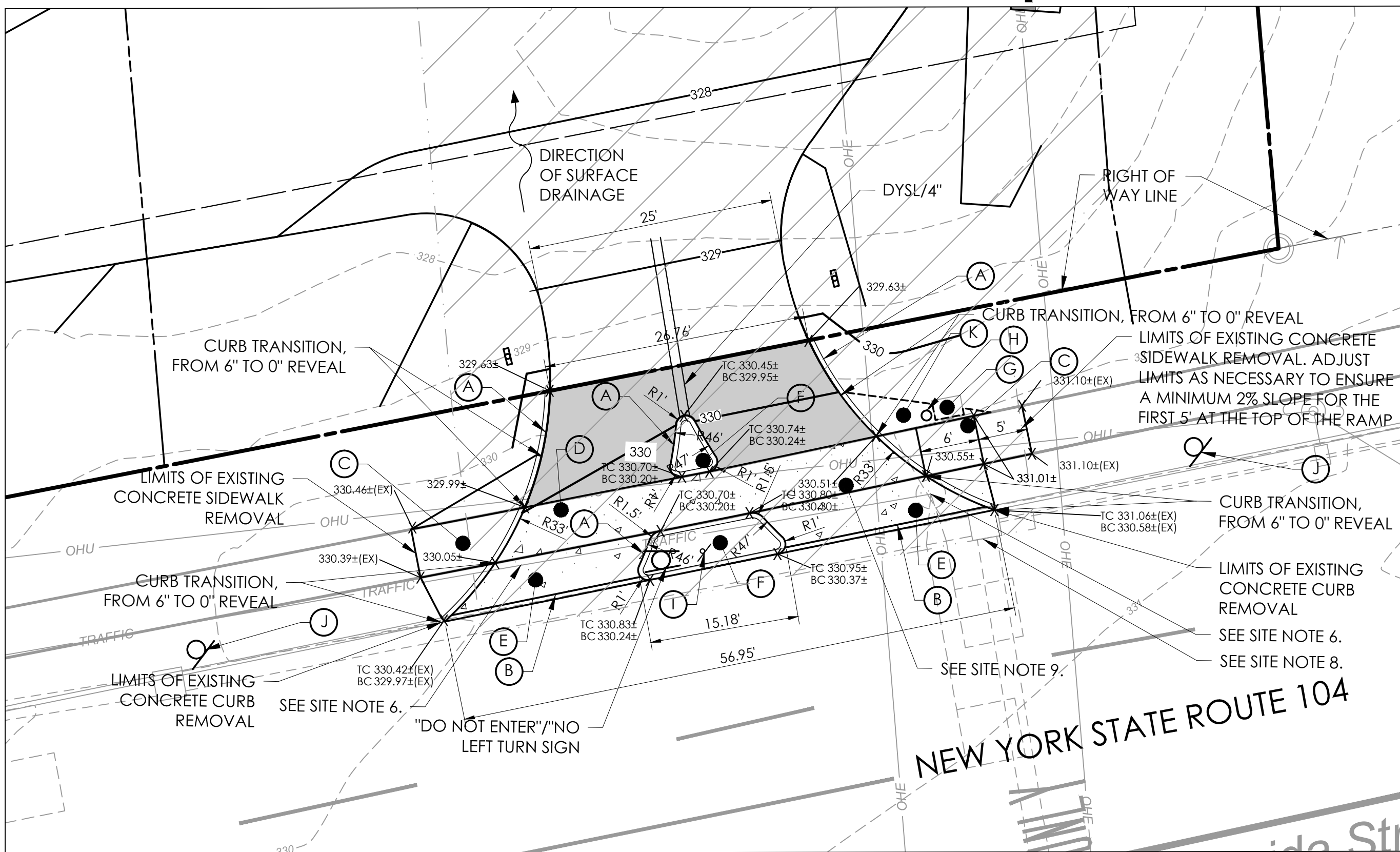
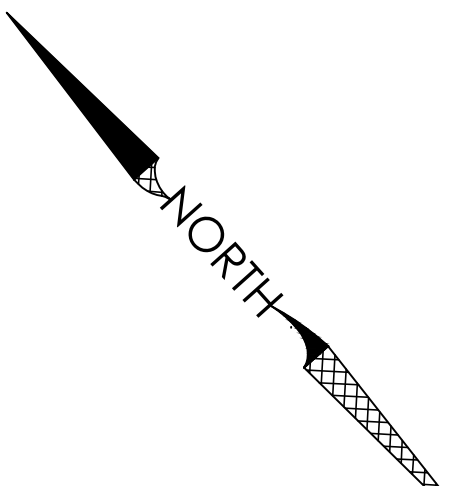
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**LEGEND OF EXISTING FEATURES**

REFER TO THE SURVEY PREPARED BY THEW ASSOCIATES

**LEGEND OF IMPROVEMENTS**

- BACK OF CURB
- FACE OF CURB
- EDGE OF PAVEMENT/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- CONCRETE SIDEWALK (REFER TO DETAIL)
- ASPHALT PAVEMENT SECTION (REFER TO DETAIL)
- LIGHT POLES



**ENLARGEMENT: WORK WITHIN NYS DOT ROW**  
SCALE: 1" = 10'

**GENERAL NOTES:**

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, AND/OR OTHER AUTHORITIES HAVING JURISDICTION.
2. ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. OUTSIDE OF WORK LIMITS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY

WITHIN PROXIMITY OF THE BUILDING AND UTILITY INTERRUPTIONS WITH THE CLIENT CONSTRUCTION MANAGER AND STORE MANAGER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES OF WORK TO MINIMIZE DISTURBANCE AND INCONVENIENCE.

4. ANY EXISTING STRIPING WHICH IS TO REMAIN IN PLACE AND WHICH MAY BECOME OBSCURED OR DAMAGED DUE TO THE CONSTRUCTION OF IMPROVEMENTS SHALL BE REPLACED AND/OR REPAINTED AS NECESSARY.
5. REFER TO THE SURVEY FOR THE PROPERTY BOUNDARY INFORMATION (E.G. LOT AREA, BEARINGS, DISTANCES, ETC).
6. THE SITE IS IN FLOOD ZONE X. AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS SHOWN ON FLOOD STUDY INSURANCE MAP OF OSWEGO COUNTY PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NO. 0278, MAP EFFECTIVE DATE 06/18/13.
7. DUE TO PREVIOUS DEVELOPMENT ON-SITE AND MINIMAL PERVIOUS/LAWN AREAS, WETLANDS ARE NOT EXPECTED TO BE PRESENT.

**ABBREVIATIONS:**

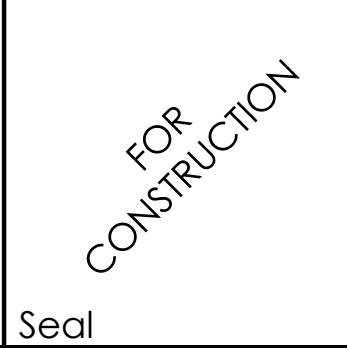
1. DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
2. TYP. - TYPICAL
3. P.D.C. - PROTECT DURING CONSTRUCTION
4. SF - SQUARE FEET

**NYS DOT SITE LEGEND:**

- (A) 6" REVEAL STONE CURB, GRANITE TYPE A (ITEM 609.0201) OR MATCH EXISTING (REFER TO DETAIL)
- (B) 1" REVEAL STONE CURB, GRANITE TYPE A (ITEM 609.0201)
- (C) SIDEWALK RAMP (REFER TO NYSDOT STANDARD DETAIL 608-03)
- (D) 5' WIDE, 6" CONCRETE SIDEWALK (ITEM 608.0101) (REFER TO NYSDOT STANDARD DETAIL 608-03)
- (E) 6" CONCRETE DRIVEWAY APRON (ITEM 608.01101015)
- (F) CURBED RAISED CONCRETE ISLAND, 6" CURB REVEAL, 4" PCC CAP. (REFER TO NYSDOT STANDARD DETAIL 608-01)
- (G) EXISTING POWER TOWER TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH TOWER OWNER BEFORE CONSTRUCTION BEGINS.
- (H) BOLLARD (REFER TO DETAIL), CONTRACTOR SHALL COORDINATE WITH TOWER OWNER PRIOR TO INSTALLATION
- (I) REMOVE AND REUSE EXISTING NO PARKING ANY TIME SIGN AND POLE
- (J) NO PARKING ANY TIME SIGN
- (K) LAWN

Issued:	Date:
A PERM 33 Stage 2 submittal	03/23/18
B OTB	02/27/19
C CONSTRUCTION	05/09/19
D CCD #2	09/03/19
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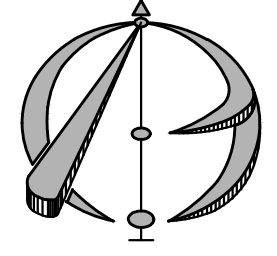
Revisions:	Date:
1 Revised spot elevations	09/03/19
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CIVIL ENGINEER OF RECORD  
Name: Christopher, V. Kambar  
New York License No.: 085920  
Exp. Date.: October 31, 2019  
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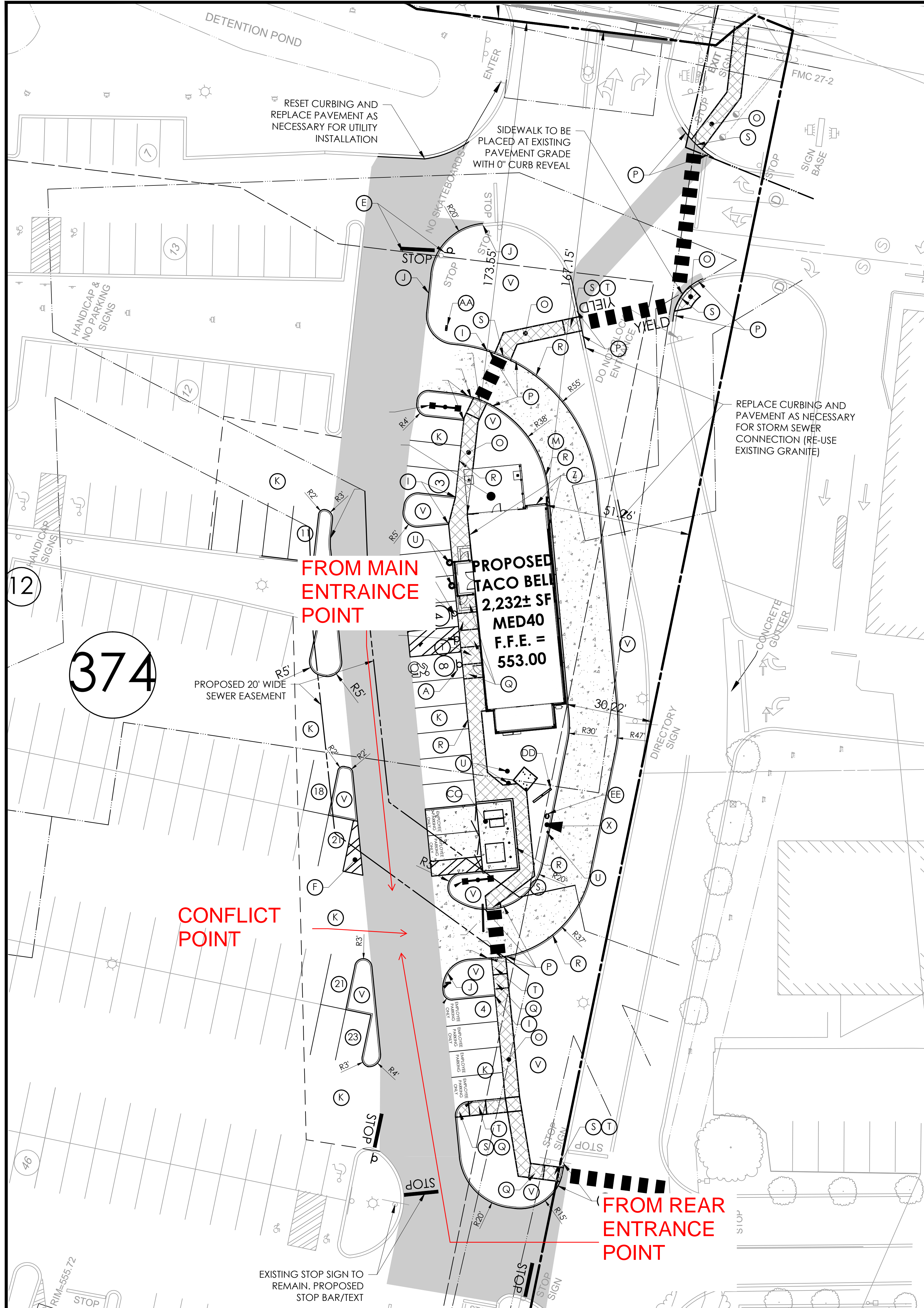
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290 Elwood Davis Road  
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Liverpool, NY 13088  
315-451-1957  
315-451-9605

**Taco Bell - Oswego, NY**  
Highway Improvement Plans  
151 George Street  
City of Oswego  
Oswego County, NY  
Project Name & Location:

<b>Highway Site Plan</b>	
Drawing Name:	Project No.
Date: 03/09/18	16-0528
Type: Final	HSP
Drawn By: SPA	Drawing No.
Scale: 1" = 30'	

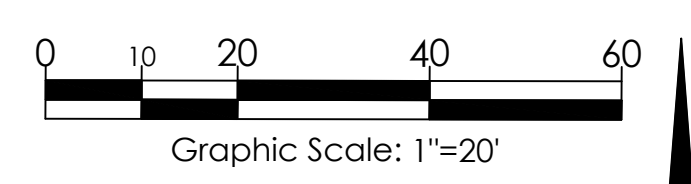




APPROVED BY TOWN ENGINEER  
 SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVED BY COMMISSIONER OF PUBLIC WORKS  
 SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

**REFERENCE:**  
 EXISTING FEATURES PLAN, VI-100, LAST REVISED ON 3/8/18, PREPARED BY COSTICH ENGINEERING.



APPROVED BY TOWN ATTORNEY  
 SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

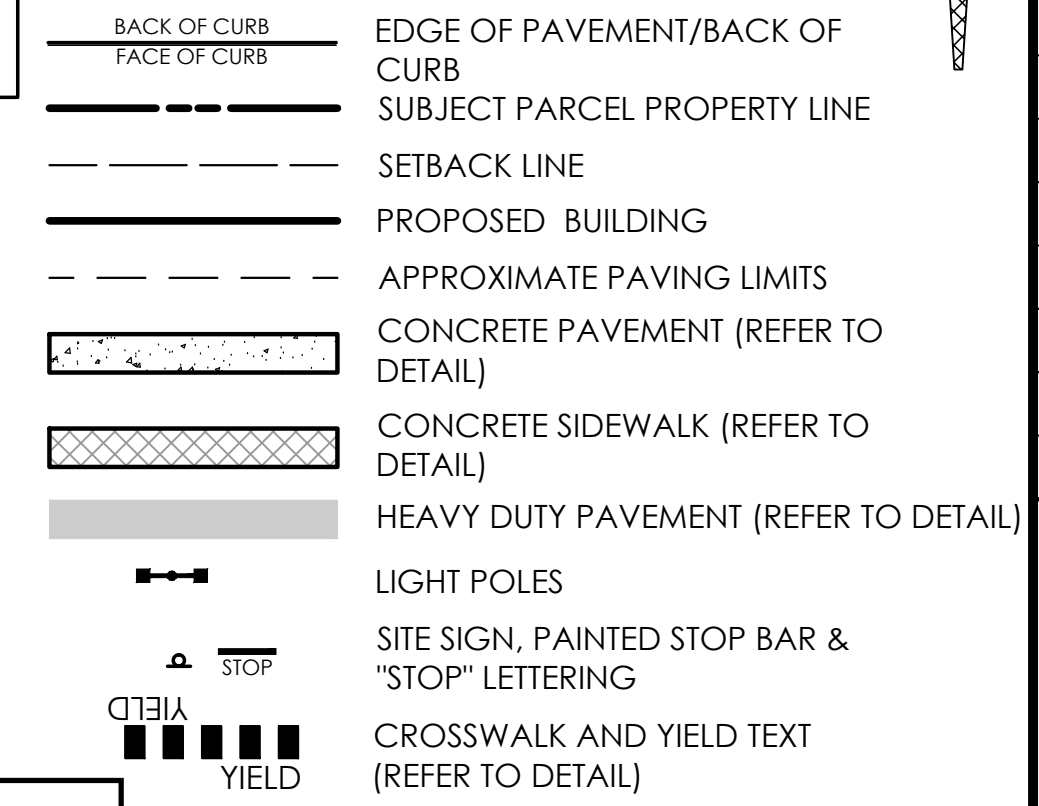
APPROVED BY PLANNING BOARD CHAIRMAN  
 SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVED BY FIRE CHIEF  
 SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

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**LEGEND OF EXISTING FEATURES**  
 REFER TO THE SURVEY PREPARED BY COSTICH ENGINEERING

**LEGEND OF IMPROVEMENTS**



**SITE LEGEND:**

- (A) ACCESSIBLE PARKING SIGN, POST & BOLLARD (REFER TO DETAIL)
- (B) PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- (C) "NO PARKING ANY TIME" SIGN, POST & BOLLARD (REFER TO DETAIL)
- (D) "VAN ACCESSIBLE" SIGN (REFER TO DETAIL)
- (E) STOP SIGN, PAINTED STOP BAR, & "STOP" LETTERING (REFER TO DETAIL)
- (F) PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE SYSL/4" PARKING STALL STRIPING
- (G) TRANSITION FROM GRANITE TO CONCRETE CURB
- (J) GRANITE CURBING (REFER TO DETAIL - REUSED PER DEMO PLAN)
- (K) REGULAR DUTY PAVEMENT (REFER TO DETAIL)
- (L) HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- (M) HEAVY DUTY CONCRETE (REFER TO DETAIL)
- (N) EDGE OF PAVEMENT
- (O) CONCRETE SIDEWALK (REFER TO DETAIL)
- (P) 3' CURB TRANSITION FROM 6" TO 0" REVEAL
- (Q) 5'X5' ADA LANDING AREA (MAX. 2% LONGITUDINAL AND CROSS SLOPE)
- (R) CONCRETE CURB (REFER TO DETAIL)
- (S) DETECTABLE WARNING (REFER TO ACCESSIBLE PARKING DETAIL)
- (T) ADA RAMP (REFER TO DETAIL)
- (U) BOLLARDS (REFER TO ARCH. PLAN DETAIL)
- (V) LAWN/LANDSCAPED AREA
- (W) RELOCATED LIGHT POLE
- (X) CANOPY (REFER TO ARCH. PLAN)
- (Y) DRIVE THRU SIGN
- (Z) TACO BELL LOGO SIGN
- (AA) DO NOT ENTER SIGN
- (BB) CONCRETE DUMPSTER PAD (REFER TO ARCH PLANS)
- (DD) MENU BOARD (REFER TO DETAIL)
- (EE) SPEAKER BOX (REFER TO DETAIL)
- (FF) CLEARANCE BAR (REFER TO DETAIL)

**ABBREVIATIONS:**

1. SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
2. TYP. - TYPICAL
3. P.D.C. - PROTECT DURING CONSTRUCTION
4. SF - SQUARE FEET

**SITE DATA:**

LOCAL JURISDICTION:	TOWN OF PERINTON			
ZONING CLASSIFICATION:	CO (COMMERCIAL)			
PERMITTED USES:	RESTAURANTS			
<b>BULK REQUIREMENTS</b>	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>	<b>Variance Required</b>
FRONT YARD	85 FT	122.5±	122.5 FT	No
REAR YARD	30 FT	186.4±	186.4± FT	No
SIDE YARD	30 FT	61.5±	30.82 FT	No
MINIMUM LOT AREA	40,000 SQ FT	394,653.6 SQ FT	394,653.6 SQ FT	No
MINIMUM LOT WIDTH	200 FT	N/A	N/A	No
MAXIMUM SITE/BUILDING	30%	18%±	19%±	No
MINIMUM GREENSPACE AREA	MIN 35% OF THE PARCEL	25.6%	25.4%	No*
<b>PARKING REQUIREMENT</b>	1 SPACE PER 225 GROSS LEASABLE FLOOR AREA: 73,317± SF / 225 = 325.85 = 326 SPACES	411 SPACES	374 SPACES	No
<b>ADA PARKING</b>	SHALL BE PROVIDED IN A LOCATION AND NUMBER IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE. PARKING LOTS 374'.02=7.48 ADA SPACES	25 SPACES	27 SPACES	No
<b>PARKING STALL WIDTH</b>	9 FT	9 FT	9 FT	No
<b>PARKING STALL LENGTH</b>	18 FT	18 FT	18 FT	No
<b>aisle WIDTH</b>	24 FT	VARIES (24' MIN.)	24 FT (MIN.)	No
*GREENSPACE WAIVER PER 3/7/12 PB MEETING				

**GENERAL NOTES:**

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF PERINTON AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, AND/OR OTHER AUTHORITIES HAVING JURISDICTION.
2. ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC., WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
4. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. OUTSIDE OF WORK LIMITS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN PROXIMITY OF THE BUILDING AND UTILITY INTERRUPTIONS WITH THE CLIENT CONSTRUCTION MANAGER AND STORE MANAGER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES OF WORK TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO THE STORE OPERATION AND THE CUSTOMERS OF STORE. THE EXISTING STORES SHALL REMAIN IN OPERATION DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL APPLICABLE AGENCIES TO MAINTAIN EMERGENCY ACCESS TO THEIR SATISFACTION. ALL WORK THAT WILL IMPACT TRUCK DELIVERIES, ACCESS, AND/OR PARKING SHALL BE PHASED IN SUCH A WAY AS TO MAINTAIN OPERATION AND ACCESS TO THE STORE.
5. APD ENGINEERING AND ARCHITECTURE, PLLC (APD) IS ONLY RESPONSIBLE FOR THE PROPOSED SITE IMPROVEMENTS RELATED TO THIS SITE DEVELOPMENT, AS SHOWN ON THE PLANS. APD DID NOT PERFORM THE ORIGINAL SITE DESIGN OR SURVEY AND ACCEPTS NO

RESPONSIBILITY FOR EXISTING SITE CONDITIONS OR FEATURES THAT WERE DESIGNED AND BUILT PREVIOUS TO THE PREPARATION OF THESE PLANS. CONTRACTOR SHALL REVIEW EXISTING SITE FEATURES PRIOR TO PREPARATION OF BID.

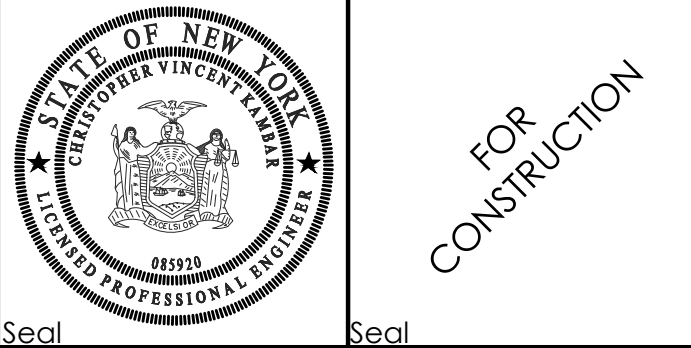
6. ANY EXISTING STRIPING WHICH IS TO REMAIN IN PLACE AND WHICH MAY BECOME OBSCURED OR DAMAGED DUE TO THE CONSTRUCTION OF IMPROVEMENTS SHALL BE REPLACED AND/OR REPAINTED AS NECESSARY.
7. REFER TO THE SURVEY FOR THE PROPERTY BOUNDARY INFORMATION (E.G. LOT AREA, BEARINGS, DISTANCES, ETC).
8. THE SITE IS IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS SHOWN ON FLOOD STUDY INSURANCE MAP OF TOWN OF PERINTON PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NO. 0379, MAP EFFECTIVE DATE 8/28/08.
9. DUE TO PREVIOUS DEVELOPMENT ON-SITE AND MINIMAL PERVIOUS/LAWN AREAS; WETLANDS ARE NOT EXPECTED TO BE PRESENT.

**SITE NOTES:**

1. ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES, REPAINT (TWO COATS) EXISTING DIRECTIONAL ARROWS, STOP BARS, AND OTHER PAVEMENT MARKINGS ON ENTIRE SITE TO MATCH EXISTING.
2. ALL WORK SHALL BE COORDINATED WITH THE CLIENT CONSTRUCTION MANAGER AND STORE MANAGER 48 HOURS IN ADVANCE, AND VEHICULAR, TRUCK AND PEDESTRIAN ACCESS TO THE STORE SHALL BE MAINTAINED AT ALL TIMES.
3. CONTRACTOR SHALL PROVIDE TOUCH-UP PAINT FOR ALL FIRE HYDRANTS, BOLLARDS, LIGHT POLE BASES, VALVE COVERS, AND CURBS WHICH ARE CURRENTLY PAINTED WITHIN THE PROJECT LIMITS. CONTRACTOR SHALL REVIEW EXISTING SITE FEATURES PRIOR TO PREPARATION OF BID. COST SHALL BE INCLUDED IN THE BASE BID.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL RADII ARE 5' UNLESS NOTED OTHERWISE.
5. THE SETBACK LINES AND NOTES RELATED TO SETBACKS SHOWN HEREIN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF PERINTON AS OF THE DATE OF THIS PLAN AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.

Issued:	Date:
A INITIAL PLANNING BOARD SUBMITTAL	03/16/18
B ISSUED FOR BID	06/04/18
C ISSUED FOR CONSTRUCTION	07/17/18
D ISSUED FOR CONSTRUCTION	9/6/18
E CCD #2	11/01/18
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G	
H	

Revisions:	Date:
1 PER TOWN COMMENTS	03/29/18
2 PER INTERNAL QC/QA REVIEW	05/17/18
3 PER INTERNAL REVIEW	06/01/18
4 REVISED XFRMR LOC. PER INSTALLED GREASE INTERCEPTOR LOCATION	11/01/18
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8	



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 Suite 320  
 Liverpool, NY 13088  
 315-451-1957  
 315-451-9605

TACO BELL - PERINTON HILLS PLAZA, NY  
 6687 PITTSFORD PALMYRA ROAD  
 SUITE 70  
 TOWN OF PERINTON  
 MONROE COUNTY, NY 14450  
 Project Name & Location:

<b>Site Plan</b>	
Drawing Name:	Project No.
Date: 03/08/18	17-0275
Type: Final	
Drawn By: JWD	C2
Scale: 11"=30'	Drawing No.



**SITE PLAN NOTES**

1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS ETC...
3. DEMOLITION/SITE CLEARING: SEE CIVIL DWG'S AND GEOTECHNICAL REPORT FOR EXTENT OF SITE DEMOLITION. THIS WORK SHALL INCLUDE REMOVAL OF ALL EXISTING PAVEMENTS, CURBS (U.O.N.), LIGHT POLES (INCLUDING FTG'S.), VEGETATION (INCLUDING STUMPS), UTILITIES (NOT OTHERWISE REUSED), ETC. AS REQUIRED FOR NEW CONSTRUCTION.
4. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS & SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING & REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AND MOISTURE CONDITIONED AS SPECIFIED IN THE SOILS REPORT. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS, AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
5. THE A.L.T.A. SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. THE G.C. IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.
6. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANY. NO COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
7. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
8. SEE CIVIL PLANS FOR ALL WORK IN STREET RIGHT OF WAY. HIGHWAY (IF APPLICABLE) AND CITY ENCROACHMENT PERMITS TO BE OBTAINED AND PAID FOR BY THE GENERAL CONTRACTOR.
9. REFER TO BUILDING ELEVATIONS, SHEET 3, FOR BUILDING SIGNAGE.
10. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE. CONTRACTOR TO CALL THE NEW YORK ONE CALL SYSTEM (1-800-962-7962 TOLL FREE) 48 HOURS BEFORE DIGGING, DRILLING, OR BLASTING.
11. EXISTING INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "SITE LAYOUT" FOR TACO BELL, PREPARED BY CLOUGH, HARBOUR & ASSOCIATES, DATED JULY, 1994.

**GENERAL**

THESE PLANS AND SPECIFICATIONS ARE SUBJECT TO MODIFICATION DURING CONSTRUCTION WHEN CONDITIONS DEVELOP THAT WERE NOT APPARENT DURING THE DESIGN AND PREPARATION OF THESE PLANS. ALL MODIFICATIONS MUST BE APPROVED BY LOCAL JURISDICTION PRIOR TO CONSTRUCTION AND/OR IMPLEMENTATION.

BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATION TO THESE PLANS OR OF ANY FIELD CONFLICTS.

IN THE EVENT OF ANY DISCREPANCY BETWEEN ANY DRAWING AND THE FIGURES WRITTEN THEREON, THE FIGURES SHALL BE TAKEN AS CORRECT.

SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

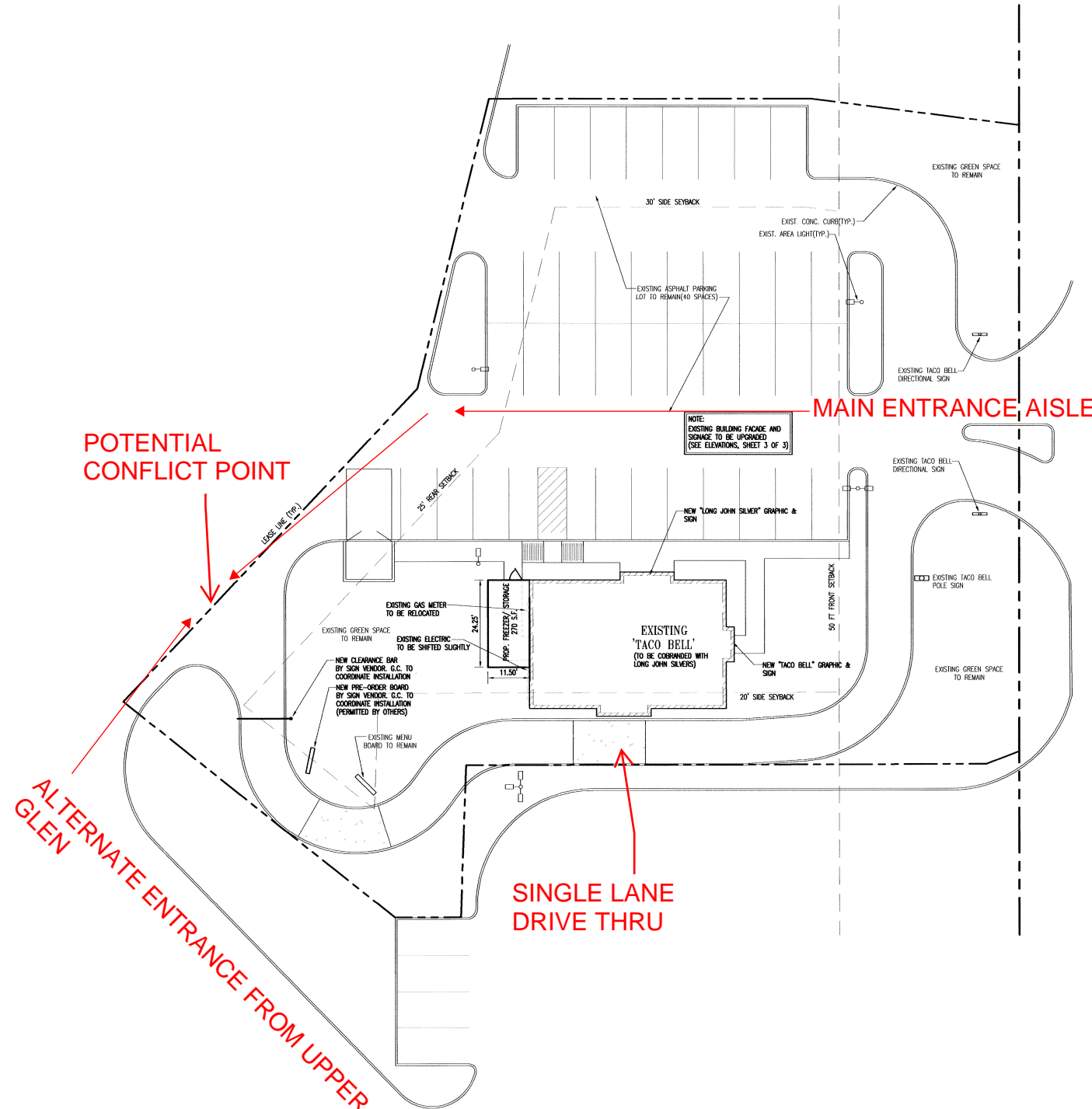
CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OR CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMITS PRIOR TO COMMENCING CONSTRUCTION INVOLVING RIGHT OF WAYS, AND FOR THE CONSTRUCTION, MODIFICATION, OR CONNECTION TO FACILITIES. ALL WORKMANSHIP EQUIPMENT AND MATERIALS SHALL CONFIRM TO LOCAL JURISDICTION STANDARDS AND SPECIFICATIONS.

TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL JURISDICTION.

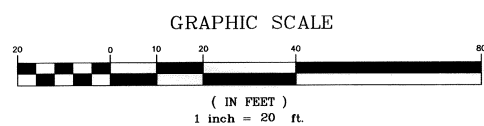
THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY.

WHERE SOIL OR GEOLOGIC CONDITIONS ENCOUNTERED IN GRADING OPERATIONS ARE DIFFERENT FROM THOSE ANTICIPATED IN THE SOIL AND GEOLOGICAL INVESTIGATION REPORT, OR WHERE CONDITIONS WARRANT CHANGES TO THE RECOMMENDATIONS CONTAINED THEREIN, A REVISED SOIL OR GEOLOGIC REPORT SHALL BE SUBMITTED FOR APPROVAL AND SHALL BE ACCOMPANIED BY AN ENGINEER'S OPINION AS TO THE SAFETY OF THE SITE FROM THE POSSIBILITY OF LAND SLIPPAGE, SETTLEMENT AND SEISMIC ACTIVITY.



UPPER GLEN STREET - U.S. ROUTE 9

	EXISTING	PROPOSED
TOTAL LEASE PARCEL AREA	36,962 S.F.	UNCHANGED
BUILDING	1,989 S.F.	2,219 S.F.
PAVED, OTHER HARD SURFACES	22,291 S.F.	22,303 S.F.
TOTAL NON-PERMEABLE	24,280 S.F.	24,522 S.F.
TOTAL GREEN SPACE	12,682 S.F.	12,440 S.F.
PERCENT NON-PERMEABLE	65.7%	66.3%



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1321 NORTH NEW STREET  
BETHLEHEM, PA 18018  
(610) 865-8101

**L.M. STEIN**  
REGISTERED PROFESSIONAL ENGINEER  
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PENNSYLVANIA LICENSE NO. 2044  
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NORTH WALKER, PENNSYLVANIA 19845  
(610) 398-8800 FAX: (610) 398-8301 P: bohlere.com

SHEET TITLE: SITE PLAN

ADDRESS & SITE NO.: 740 UPPER GLEN STREET QUEENSBURY, N.Y.

SITE NO. 01-6529

REVISIONS		
NO.	DATE	DESCRIPTION
1	9/26/02	REMOVED BUILDING SIGN
2	10/21/02	PRESHY WINDOW BUMPED OUT
3	4/22/03	PRESHY WINDOW REMOVED

CONTRACT DATE: 08/07/02

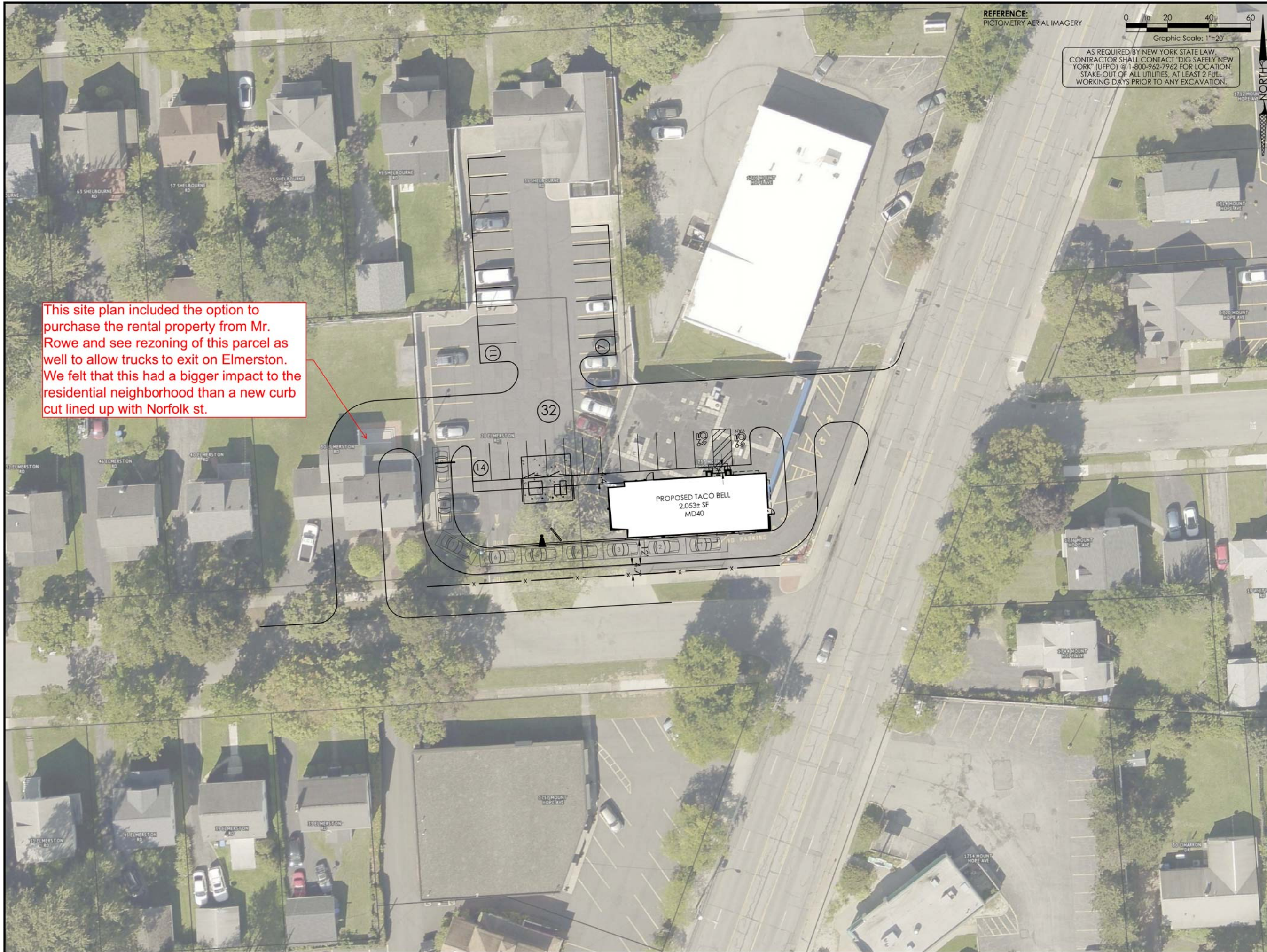
BUILDING TYPE: M-70 H

PROTOTYPE ISSUE DATE: 7/22/02

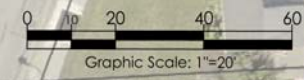
SITE NUMBER: 6529

SHEET NUMBER: C2

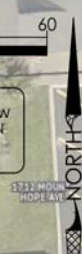




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This site plan included the option to purchase the rental property from Mr. Rowe and see rezoning of this parcel as well to allow trucks to exit on Elmerston. We felt that this had a bigger impact to the residential neighborhood than a new curb cut lined up with Norfolk st.

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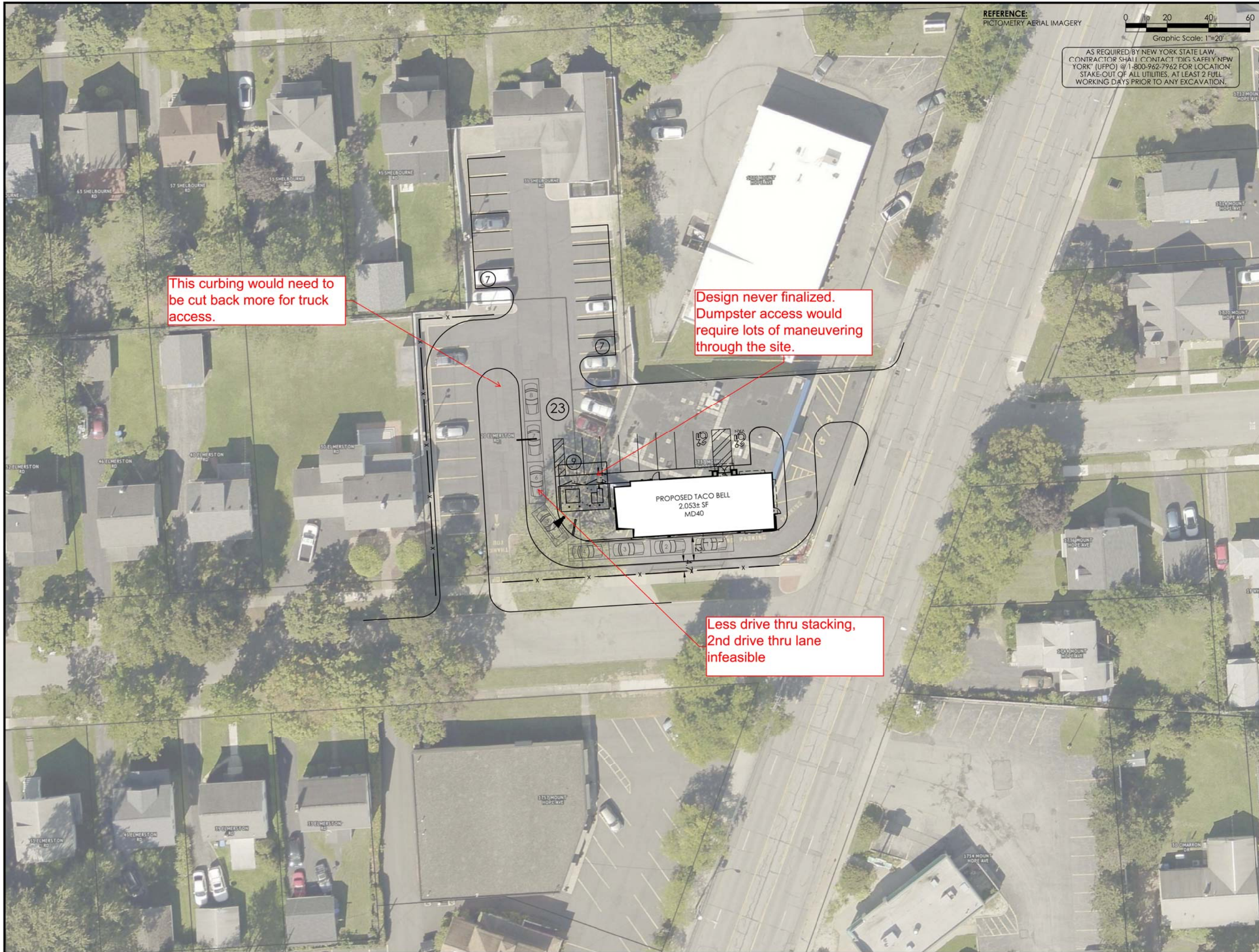
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315-481-3926

Taco Bell - Rochester NY  
Mt. Hope and Elmerston Rd  
City of Rochester  
Monroe County  
Project Name & Location:

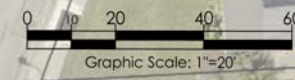
Sketch Plan

Drawing Name:	Project No.
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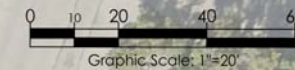
Taco Bell - Rochester NY  
Mt. Hope and Elmerston Rd  
City of Rochester  
Monroe County  
Project Name & Location:

**Sketch Plan**

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Type: MD40	
Drawn By: SLA	SK2
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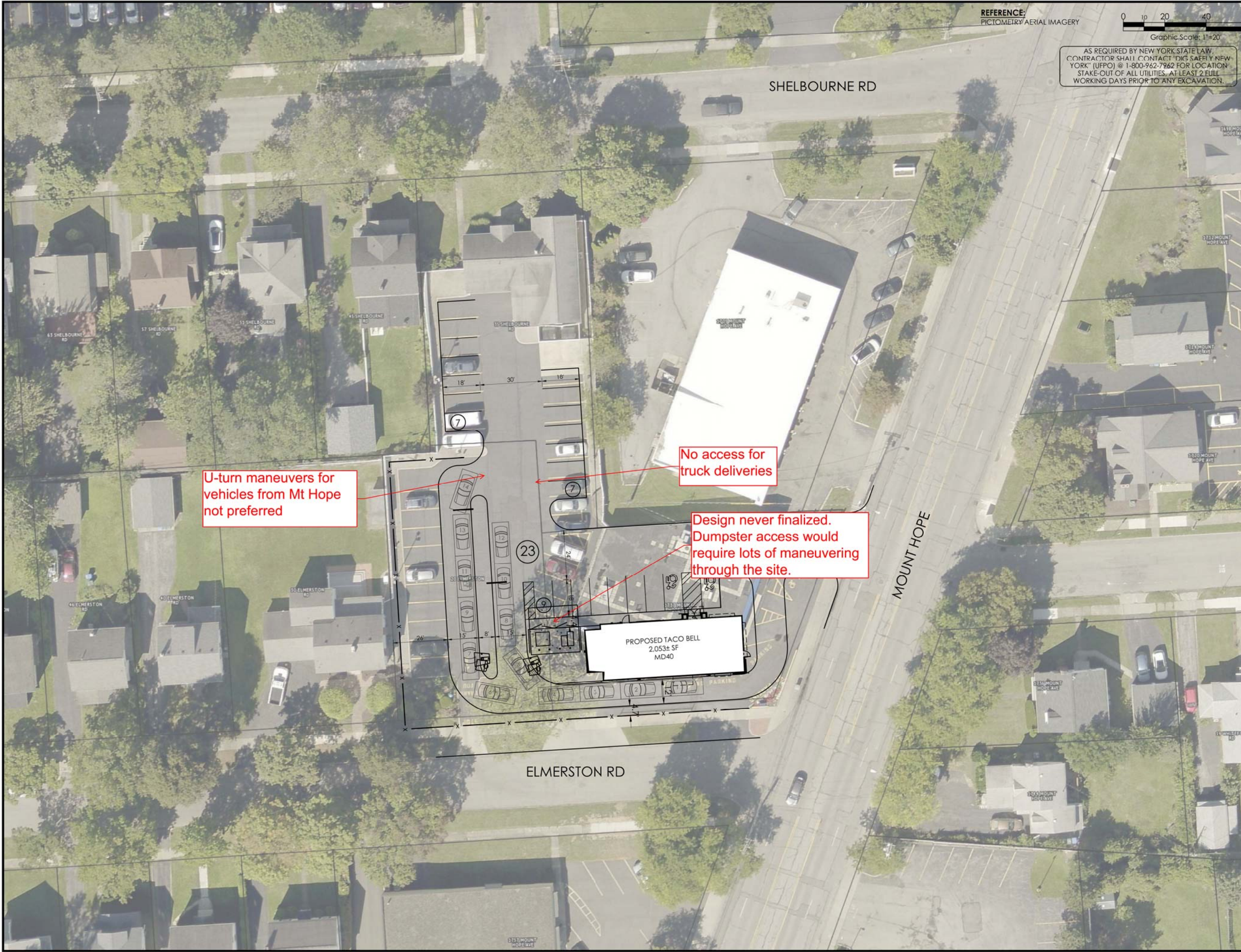
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U-turn maneuvers for vehicles from Mt Hope not preferred

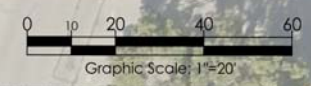
No access for truck deliveries

Design never finalized. Dumpster access would require lots of maneuvering through the site.





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 585.742.2222 - www.apd.com

**Hospitality Syracuse, Inc.**  
 290 Elwood Davis Road  
 Suite 320  
 Liverpool, NY 13088  
 315-481-1925  
 315-481-1926

Taco Bell - Rochester NY  
 Mt. Hope and Elmerston Rd  
 City of Rochester  
 Monroe County  
 Project Name & Location:

Sketch Plan	
Drawing Name:	Project No.
Date: 08/31/20	20-0531
Type: MD40	
Drawn By: SLA	SK5
Scale: 1" = 20'	Drawing No.



REFERENCE:  
PICTOMETRY AERIAL IMAGERY



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Revisions:	Date:
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CIVIL ENGINEER OF RECORD  
Name: Christopher, V. Kambar  
New York License No.: 085920  
Exp. Date: October 31, 2022  
Firm Reg. No.: 0014815  
Exp. Date: December 31, 2020

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Mt. Hope and Elmerston Rd  
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Monroe County  
Project Name & Location:

Sketch Plan	
Drawing Name:	Project No.
Date: 08/31/20	20-0531
Type: MD40	
Drawn By: SLA	SK6
Scale: 1" = 20'	Drawing No.



Building location greatly cuts off visibility to southbound travel which has a direct correlation to success of a quick service restaurant.

Closing off Mt Hope at this point would impact DOT moratorium. No access to Mt Hope would force all traffic to side streets, add to more residential congestion, noise, and traffic issues.

Drive thru still in front yard and pedestrians still need to cross internal drives



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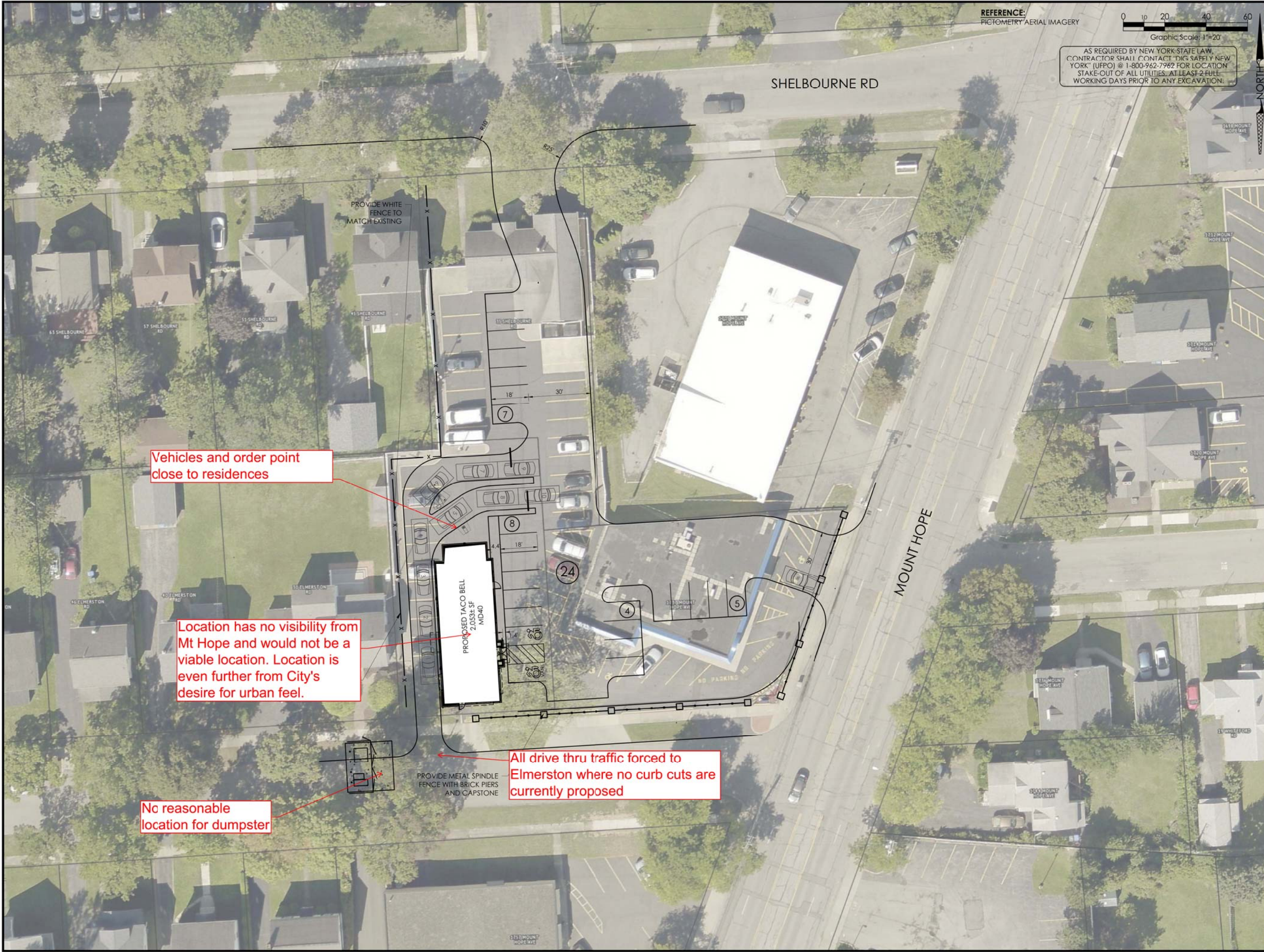
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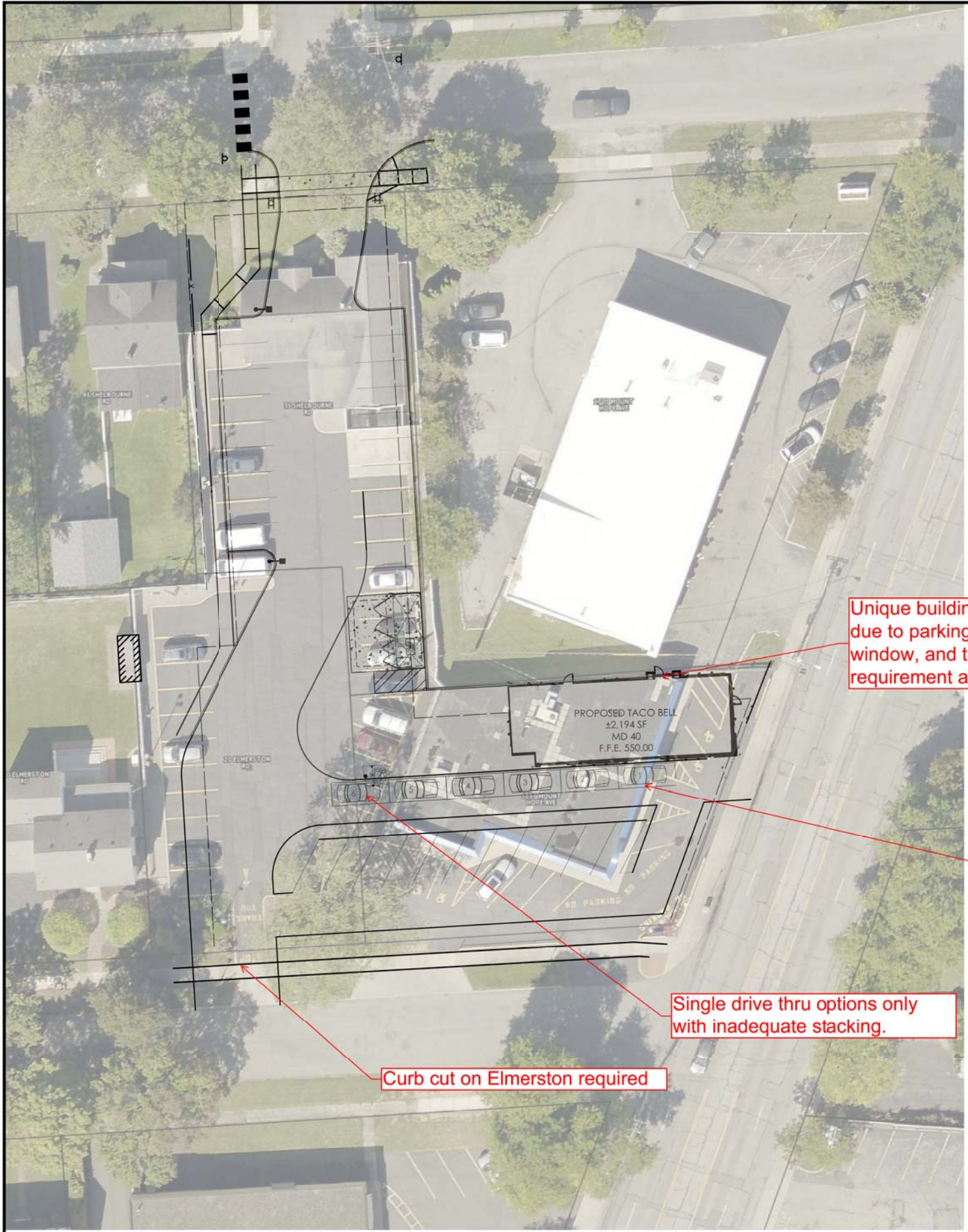
Hospitality Syracuse, Inc.  
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Taco Bell - Rochester NY  
Mt. Hope and Elmerston Rd  
City of Rochester  
Monroe County  
Project Name & Location:

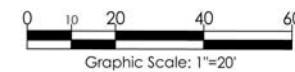
Sketch Plan	
Drawing Name:	Project No.
Date: 08/31/20	20-0531
Type: MD40	
Drawn By: SLA	SK7
Scale: 1" = 20'	Drawing No.







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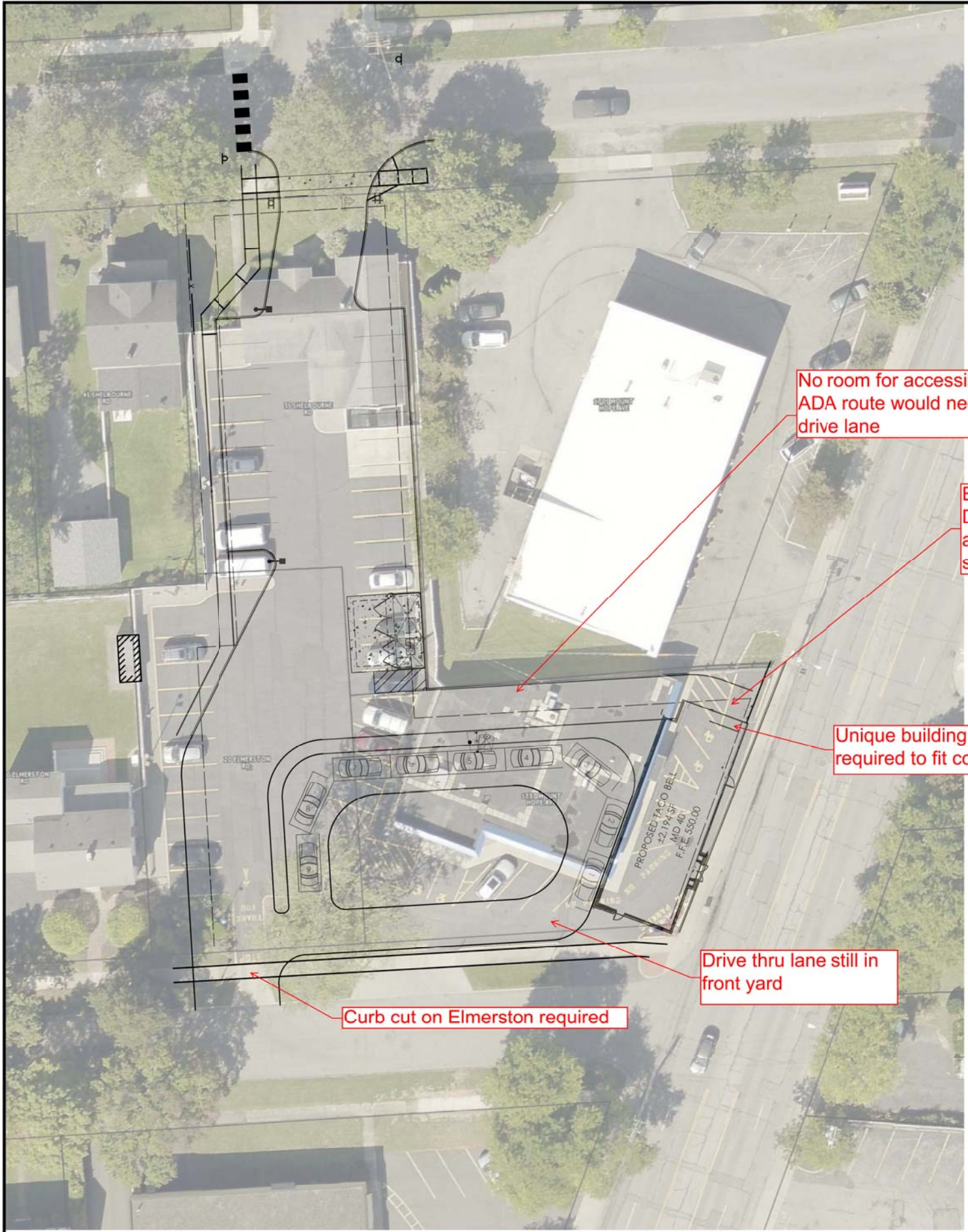
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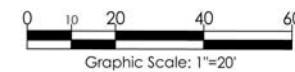
Taco Bell - Rochester NY  
Mt. Hope and Elmerston Rd  
City of Rochester  
Monroe County  
Project Name & Location:

Site Plan	
Drawing Name:	Project No.
Date: 07/27/20	20-0531
Type: MD40	
Drawn By: SLA	C2
Scale: 1" = 20'	Drawing No.





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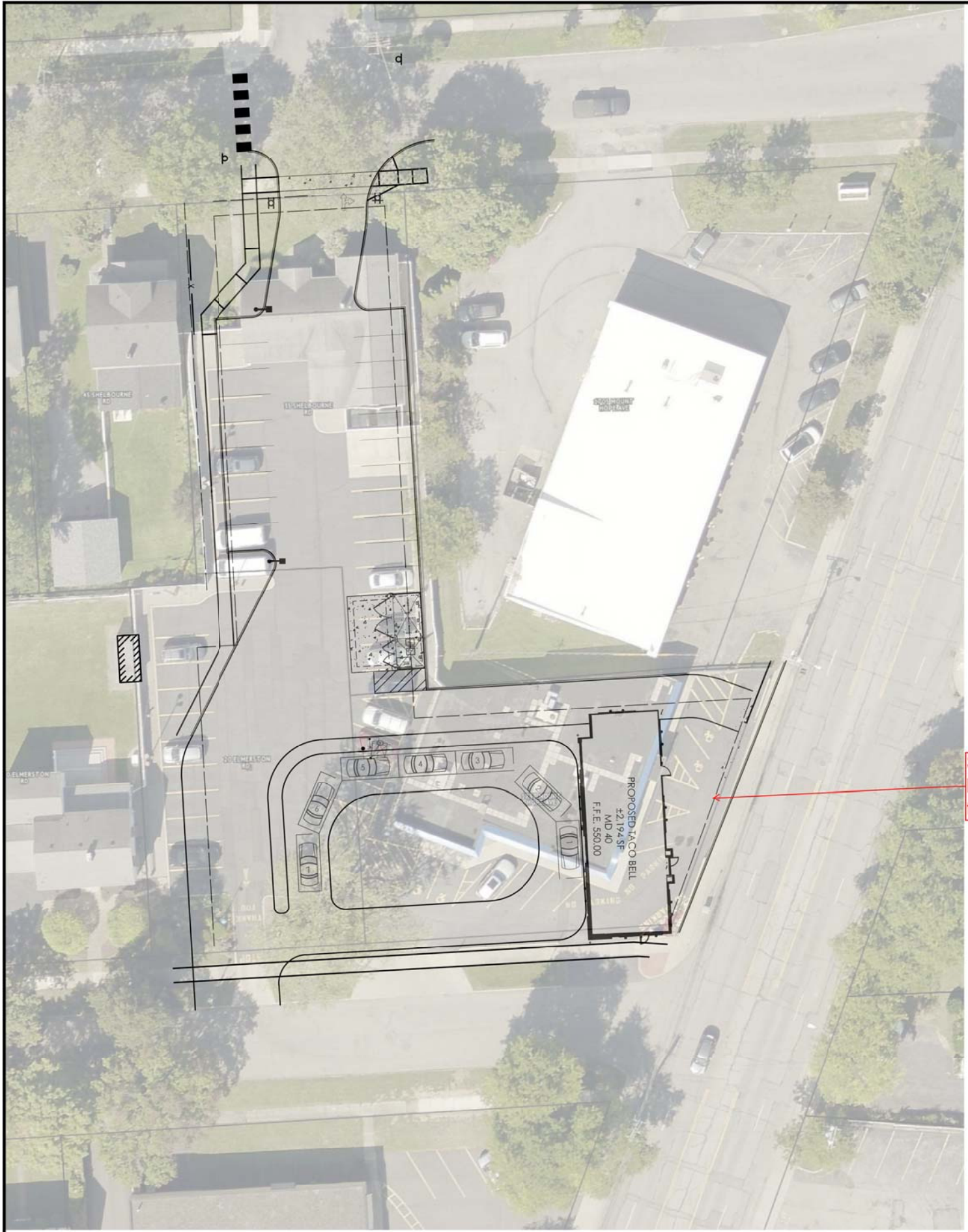
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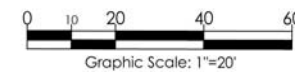
Site Plan	
Drawing Name:	Project No.
Date: 07/27/20	20-0531
Type: MD40	
Drawn By: SLA	C2
Scale: 1" = 20'	Drawing No.





Same general comments as the last plan, but building is rotated along Elmerston and there is less stacking

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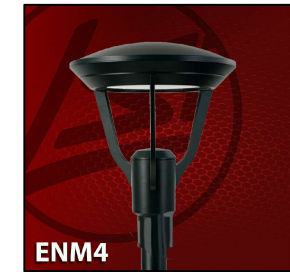
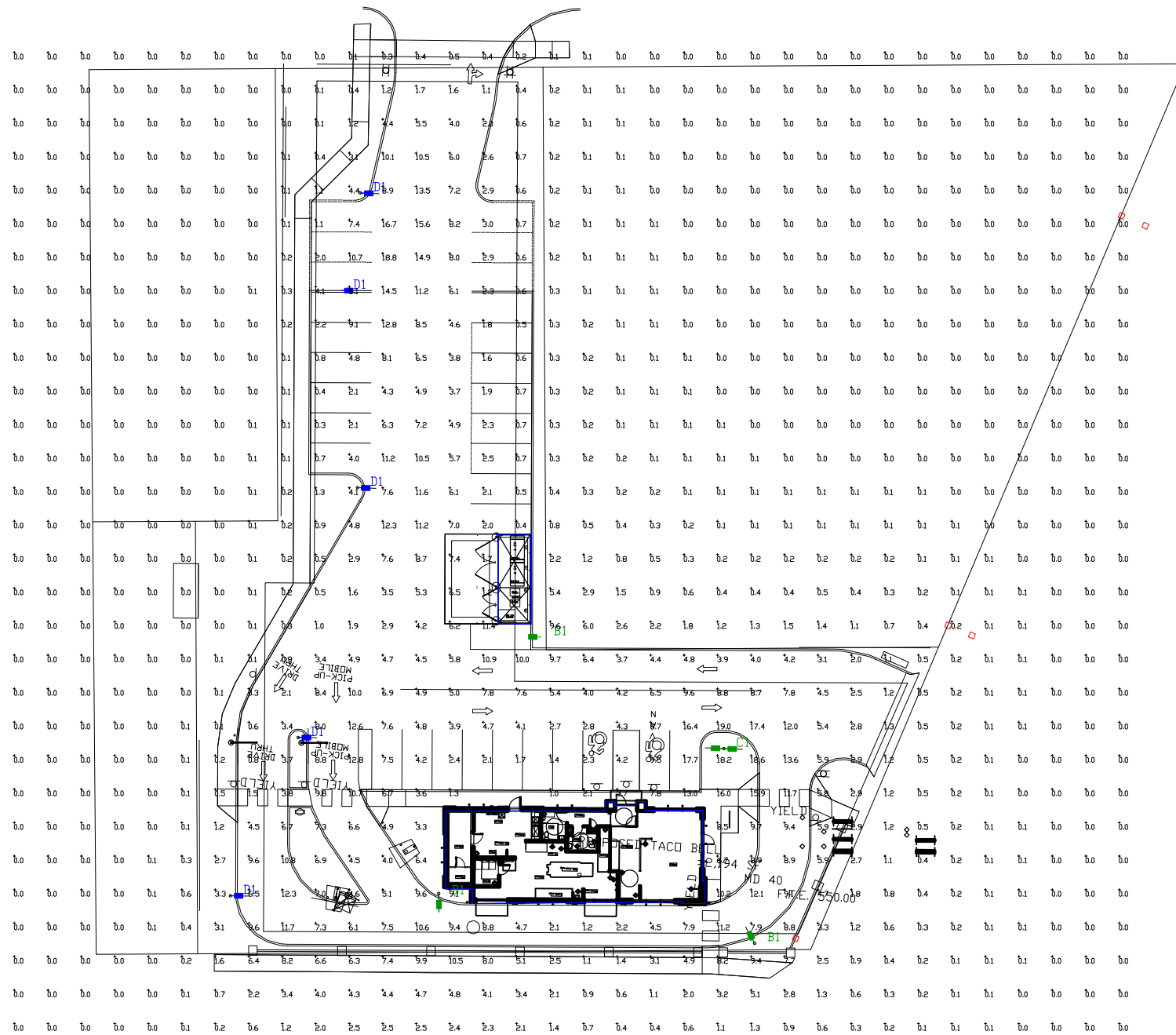
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Taco Bell - Rochester NY  
Mt. Hope and Elmerston Rd  
City of Rochester  
Monroe County  
Project Name & Location:

Site Plan	
Drawing Name:	Project No.
Date: 07/27/20	20-0531
Type: MD40	
Drawn By: SLA	C2
Scale: 1" = 20'	Drawing No.





Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	3	B1	SINGLE	ENM4-PT-FT-LED-25L-30-SINGLE-15' MH	1.000	1.000	1.000	22806	227.9
	1	C1	DI80°	ENM4-PT-FT-LED-25L-30-DI80-15' MH	1.000	1.000	1.000	45612	455.8
	5	D1	SINGLE	ENM4-PT-FT-LED-25L-30-IL-SINGLE-15' MH	1.000	1.000	1.000	17223	227.1

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.82	19.0	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	5.98	19.0	0.3	19.93	63.33

Total Project Watts  
Total Watts = 2275



LIGHTING PROPOSAL LD-154319-5

FACD BELL  
MT. HOPE & ELMERSTON RD  
ROCHESTER NY

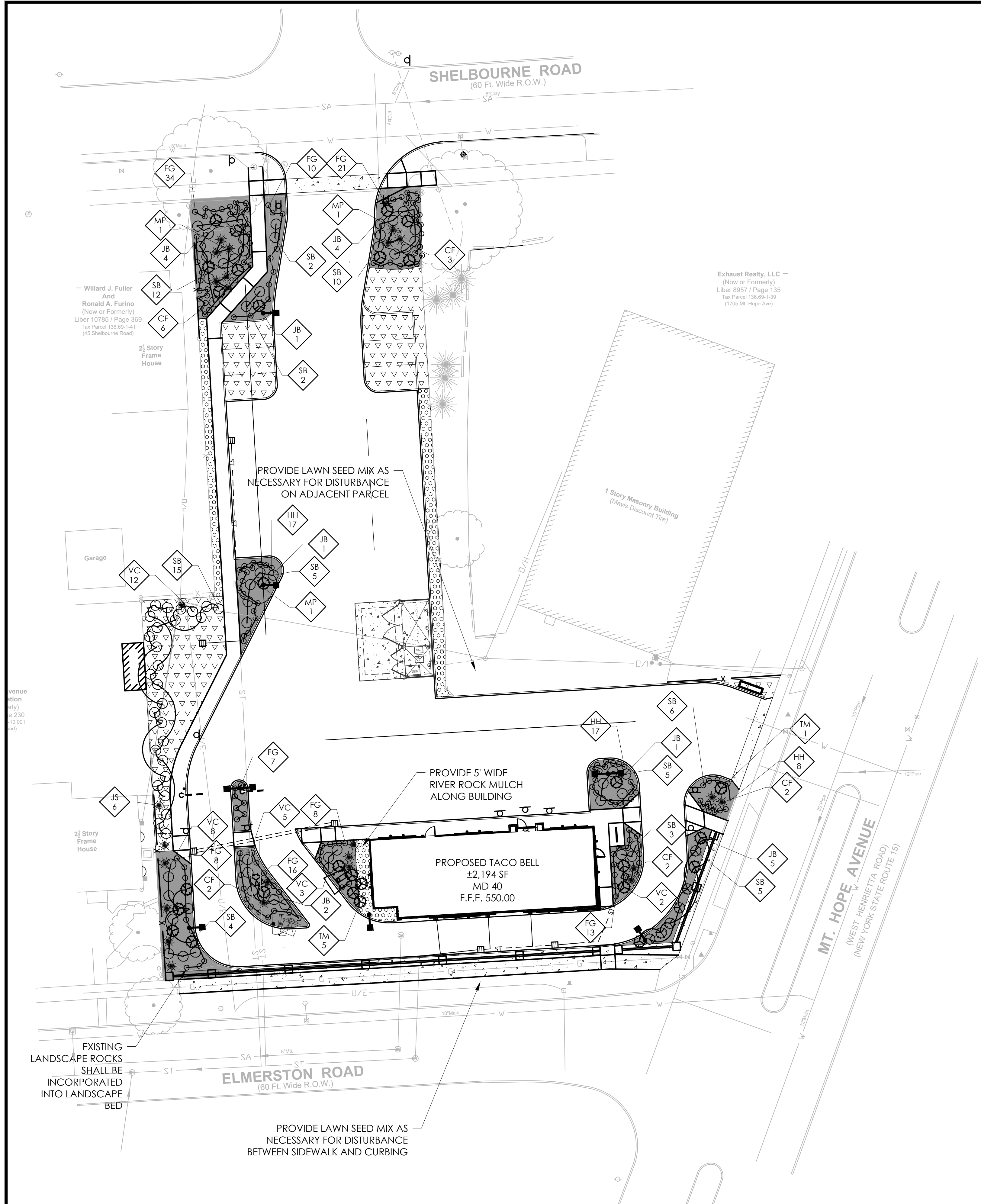
BY: SAHMMED DATE: 08-19-21 REV: 2-7-22 SHEET 1 OF 1

SCALE: 1"=20' 0 20

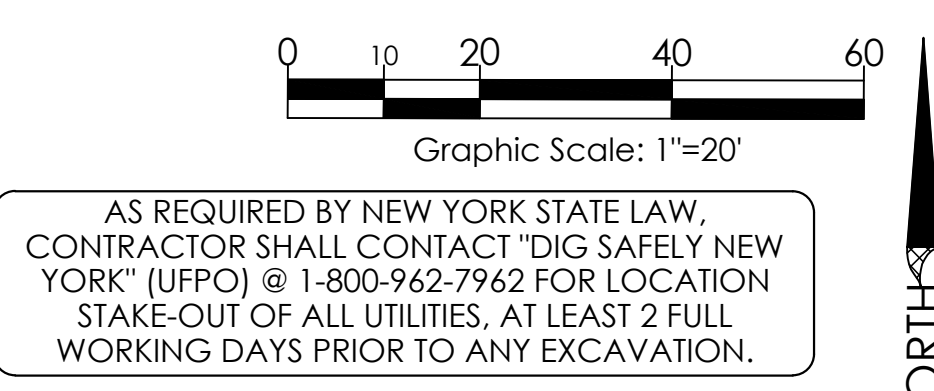
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.





**REFERENCE:**  
 1. PICTOMETRY AERIAL IMAGERY  
 2. ALTA/NSPS LAND TITLE SURVEY LANDS OF 1737 MT HOPE AVE AND 35 SHELBOURNE RD, PROJECT NUMBER 2021.045.001, PREPARED BY JACOBS LAND SURVEYING, LAST REVISED OCTOBER 12, 2021.



**LIGHTING NOTES:**

- CONTRACTOR TO REFER TO DETAIL FOR LIGHT POLE BASES.
- CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING AND WIRING SCHEDULE OF LIGHT POLES, DIRECTIONAL SIGNAGE, CLEARANCE BAR, MENU BOARD, SPEAKER BOX, MONUMENT SIGN, ETC.
- LIGHT POLES PLACED BEHIND CURBING SHALL BE A MINIMUM OF 2' FROM THE FACE OF CURB TO THE OUTER EDGE OF THE LIGHT POLE BASE.
- BASED ON COORDINATION WITH THE NEIGHBORHOOD GROUP, PENDING CITY APPROVAL; TACO BELL IS WILLING TO DIM THE LIGHTS SOME AFTER THE DINING ROOM CLOSURES WITH EVEN FURTHER DIMMING AFTER THE DRIVE THRU CLOSURES. THIS WILL BE FURTHER EVALUATED IN THE FIELD AFTER CONSTRUCTION.

**LANDSCAPE NOTES:**

- REFER TO SPECIFICATIONS FOR SEED MIXES AND ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKE OUT OF ALL PLANT MATERIAL AND SHRUB BEDS. LOCATIONS SHOWN ON THE PLAN CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE OWNER AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. CONTRACTOR SHOULD OBTAIN CURRENT UTILITY RECORD MAPS AND NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCING WORK.
- STAKE PLANTS AS INDICATED OR AS APPROVED IN THE FIELD. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATIVE PLANT LOCATIONS HAVE BEEN SELECTED. STAKES AND WRAPPING ARE TO BE REMOVED BY THE CONTRACTOR AT THE END OF THE GUARANTEE PERIOD.
- SHRUBS SHALL NOT BE PLACED WITHIN TWO (2) FEET OF A CURB.
- TREES SHALL BE A MINIMUM OF 5' FROM ROOT BALL TO UNDERGROUND UTILITIES AND 20' FROM OVERHEAD UTILITIES.

**LEGEND OF IMPROVEMENTS**

- SUBJECT PARCEL PROPERTY LINE
- PROPOSED BUILDING
- E — E — UNDERGROUND ELECTRIC
- T — T — UNDERGROUND TELEPHONE
- G — G — GAS SERVICE
- W — W — WATER SERVICE
- C/O — SA — SANITARY SEWER LATERAL & CLEANOUT
- UD --- UNDERDRAIN
- ST --- STORM LATERAL
- S — S — STORM SEWER & STRUCTURES
- Y Y Y Y Y Y PROPOSED STEEP SLOPES
- ⊕ LIGHT POLES
- ⊗ SHRUBS/BUSHES
- ⊕ DECIDUOUS TREE
- ⊗ CONIFER TREE
- ▽▽▽▽ LAWN SEED MIX
- BARK MULCH BED
- ⊘ RIVER ROCK MULCH BED

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1 PER CITY COMMENTS	02/10/22
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 Name: Stephanie L. Albright  
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 Exp. Date: December 31, 2023  
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 290 Elwood Davis Road  
 Suite 320  
 Liverpool, NY 13088  
 315-451-1957  
 315-451-9803

Taco Bell - Rochester NY  
 1737 Mt. Hope Ave  
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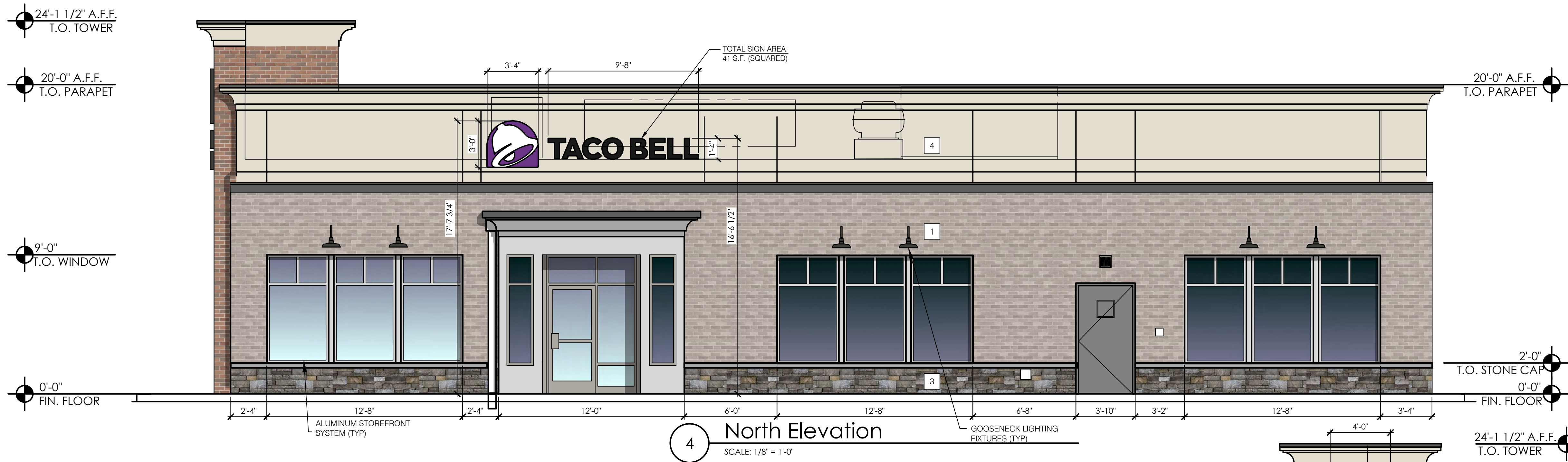
Planting and Lighting Plan  
 Drawing Name:  
 Project No. 20-0531  
 Date: 06/10/21  
 Type: MD40  
 Drawn By: SLA  
 Scale: 1" = 20'  
 C5  
 Drawing No.

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
—	2	B1	SINGLE	ENM4-PT-FT-LED-25L-30-SINGLE-25' MH	1,000	1,000	1,000	22806	227.9
—	1	C1	D180°	ENM4-PT-FT-LED-25L-30-D180-25' MH	1,000	1,000	1,000	45612	455.8
—	4	D1	SINGLE	ENM4-PT-FT-LED-25L-30-IL-SINGLE-25' MH	1,000	1,000	1,000	17223	227.1

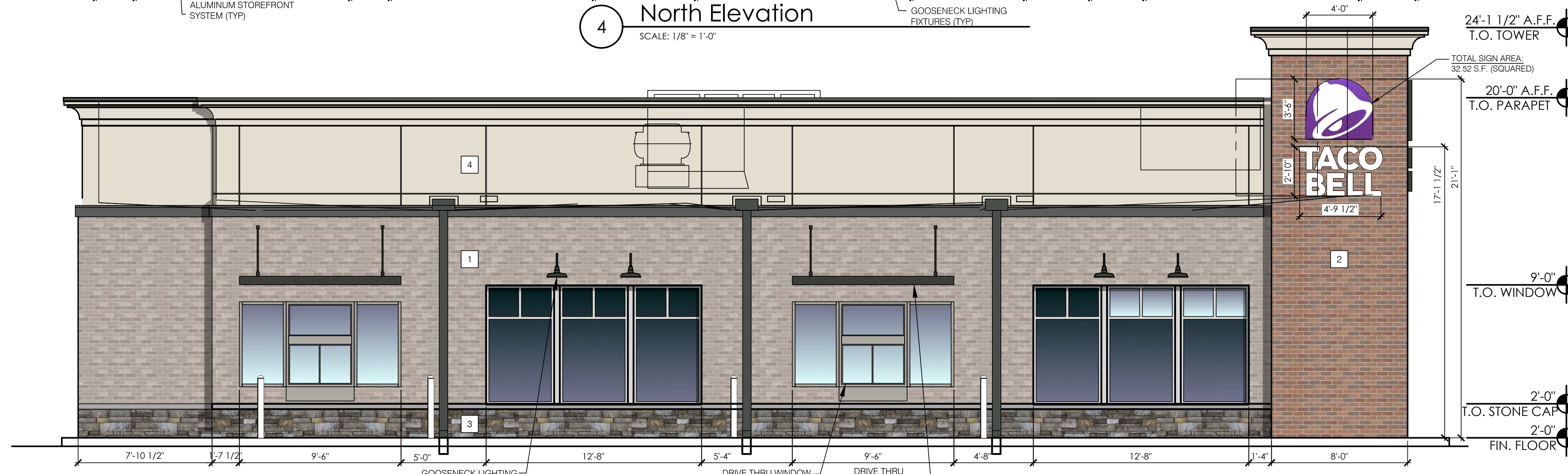
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.44	8.3	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	3.50	8.3	0.4	8.75	20.75

QUANT.	KEY	LATIN NAME	COMMON NAME	CAL.	ROOTS	HT. OR. SP.
3	MP	MALLUS 'RED BARON'	RED BARON CRABAPPLE	2"	B&B	20' HT. / 20' SP.
15	CF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS		#2 CONT.	24" HT. / 4" O.C.
117	FG	FESTUCA GLAUCA	ELIJAH BLUE FESCUE		#2 CONT.	12" HT. 18" O.C.
42	HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY		#2 CONT.	2' O.C.
18	JB	JUNIPERS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC JUNIPER		#2 CONT.	18" SP. 4' O.C.
30	VC	VIBURNUM CARLESII	KOREANSPICE VIBURNUM		B&B	24" HT (AT PLANTING), 5 O.C.
69	SB	SPIRAEA BUMALDA 'GOLD FLAME'	GOLD FLAME SPIREA		#2 CONT.	24" HT (AT PLANTING), 3 O.C.
6	JS	JUNIPERUS SCOPULORUM SKYROCKET	SKYROCKET JUNIPER		B&B	24" HT (MIN. AT PLANTING), 4 O.C.
6	TM	TAXUS MEDIA 'EVERLOW'	EVERLOW YEW		B&B	18"-24" HT. / 4' SP.





**4 North Elevation**  
SCALE: 1/8" = 1'-0"



**3 South Elevation**  
SCALE: 1/8" = 1'-0"



**1 East Elevation**  
SCALE: 1/8" = 1'-0"



**2 West Elevation**  
SCALE: 1/8" = 1'-0"

- 1 MAIN BRICK  
MFR: BELDEN BRICK  
COLOR: #8530
- 2 TOWER BRICK  
MFR: BELDEN BRICK  
COLOR: LATANA BLEND
- 3 STONE VENEER  
MFR: BORAL CULTURED STONE  
COLOR: ECHO RIDGE  
CUT STYLE: COBBLEFIELD
- 4 EIFS PAINT  
MFR: SHERWIN WILLIAMS  
COLOR: SW 7011 - NATURAL CHOICE



February 10, 2022

City of Rochester – Bureau of Buildings and Zoning  
Attn: Anna Keller  
City Hall, 30 Church St, Room 125B  
Rochester NY 14614

RE: Proposed Taco Bell, 1737 Mount Hope – Parking Demand Analysis (SP-01-21-22)

Dear Ms. Khaleel,

The above-mentioned site is currently the location of the ±4,470 SF Rowe Photo building with 39 parking spaces. Taco Bell is proposing to construct a ±2,200 SF restaurant with drive thru facilities and 24 parking spaces at 1737 Mt Hope Avenue. Taco Bell is also proposing 6 banked parking spaces for potential/future use.

The project will demolish the existing building on-site, reduce parking spaces, and increase green space.

Taco Bell typically has 7-8 employees per shift with approximately 4 additional employees at shift change. While we acknowledge some employees may walk, bike, or bus; it is feasible to have 12 employee vehicles in the parking lot at one time. The dining room will have seating for 40 customers.

Similar locations around the Rochester/Syracuse region and corresponding parking spaces. As can be seen in the list below, the 24 proposed parking spaces is not excessive in this market area.

- Chili – 23 spaces (located in a plaza with shared parking)
- 1436 W Ridge Rd, Greece – 36 spaces
- 1008 Lehigh Station Rd, Henrietta – 33 spaces
- 16687 Pittsford Palmyra Rd, Perinton - 19 spaces along restaurant (located in plaza with shared parking)
- 3900 Dewey Ave – 25 spaces
- 8095 Oswego St, Liverpool – 57 spaces
- 3716 Brewerton Rd, N. Syracuse – 41 spaces
- 3500 W Genesee St, Syracuse – 33 spaces

During the winter months, some of the northern parking spaces will likely be used for additional snow storage as well.

Should you have any questions, comments, or are in need of additional information, please feel free to contact me ([salbright@apd.com](mailto:salbright@apd.com), 585-742-0204)

Sincerely,

*Stephanie Albright*

Stephanie Albright, P.E.  
Senior Civil Engineer

cc: M. McCracken (Hospitality Syracuse, Inc.)  
B. Brugg, Esq. (Woods Oviatt)

## Headquarters

615 Fishers Run, Victor, NY 14564  
phone 585.742.2222 • fax 585.924.4914  
web [www.apd.com](http://www.apd.com) • email [info@apd.com](mailto:info@apd.com)

## Office Locations

P.O. Box 11626, Santa Ana, CA 92711 • phone/fax 714.987.1380



February 10, 2022

City of Rochester – Bureau of Buildings and Zoning  
Attn: Roseanne Khaleel  
City Hall, 30 Church St, Room 125B  
Rochester NY 14614

RE: Proposed Taco Bell, 1737 Mount Hope – Response to site plan comments (SP-01-21-22)

Dear Ms. Khaleel,

We are in receipt of your Site Plan Review comments for the proposed Taco Bell at 1737 Mt Hope Avenue dated January 2, 2022. We have also received the Code Compliance Review spreadsheet as prepared by Ms. Marcia Barry on December 15, 2021. We appreciate that the City is willing to work with us to help alleviate the site plan concerns. The Zoom meeting on January 20, 2022 was very helpful.

We are including several of the conceptual layouts that we considered prior to the site plan that we are working with now. There are significant concerns with all the other layouts that make them infeasible. These site plans are included for your review.

We have reviewed the City's concerns and have modified the site plan to the maximum extent practical. Several of the concerns are created by the unique L-shaped lot configuration and the site being on a corner lot. The recent DOT improvements to Mt Hope Avenue also further restrict the site plan options due to the existing curb cut location and the moratorium on modifications to the pavement/curbing within this corridor.

Environmental clean-up on this site has already been completed within the pavement areas of the site. Additional environmental clean-up is proposed within the Rowe Photo building footprint, once it has been demolished.

The location of our proposed curb cut on Shelbourne Rd is aligned with Norfolk St and is at the transition of commercial vs residential properties. This street connection and width are required for delivery trucks to exit the site. Any potential development with delivery vehicles on this site would likely require a curb cut on Shelbourne as well. A site plan configuration allowing for a delivery vehicle to completely turn around on-site and exit on Mt Hope is not feasible. The 30' drive lane provides sufficient room for the delivery trucks, emergency vehicles, refuse vehicles, and allows for vehicles to back out of their parking spaces.

Six parking spaces have been removed from the northern portion of the site. These parking spaces can be banked for future construction in the event Taco Bell determines additional

---

#### Headquarters

615 Fishers Run, Victor, NY 14564  
phone 585.742.2222 • fax 585.924.4914  
web [www.apd.com](http://www.apd.com) • email [info@apd.com](mailto:info@apd.com)

#### Office Locations

P.O. Box 11626, Santa Ana, CA 92711 • phone/fax 714.987.1380

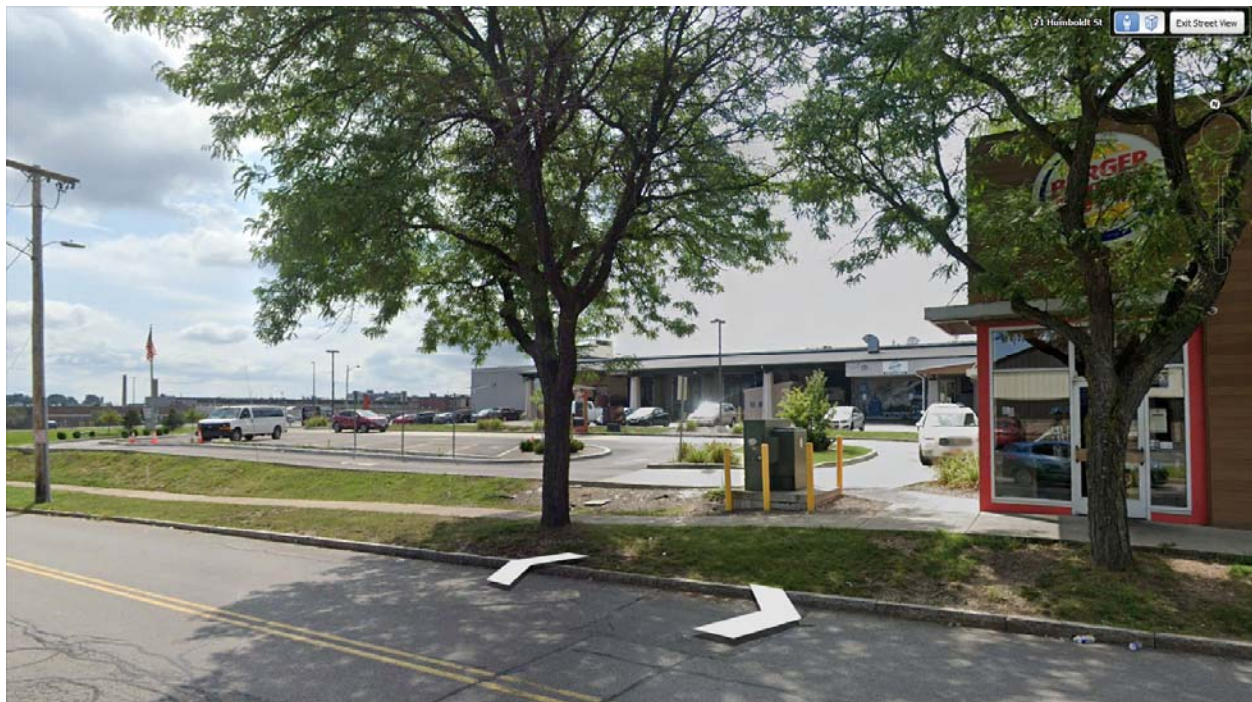


spaces are needed. This will provide additional green space and snow storage with the initial construction. A parking demand analysis is provided for City review.

The fencing along Elmerston Rd has been upgraded to provide 5' of a solid wall and it has also been extended along the Mt Hope sidewalk limits. This wall will be constructed of materials to match the building and will shield the drive thru lane. This layout is similar to the Starbucks in College Town (both drive thru location and wall). There are no feasible options to completely remove the drive thru from the front yard, so a shielding wall will be provided to mitigate. Once we receive feedback from the City regarding the screen wall feasibility, we can provide additional renderings and details to show the extent of mitigation this wall will offer.

With the site located on a corner lot, it prevents any site plan option with a drive thru that doesn't have queueing, drive thru, or exit lane within the front lane. The current configuration has been analyzed to have the maximum queueing available on-site to minimize any impact to the surrounding streets. We feel that this location with nearby drive thru restaurants will be a benefit to the community.

The Burger King on the corner of Culver and Humboldt is another similar situation with a quick service restaurant on a corner lot with drive thru features in the front yard. The entire drive thru is visible from Humboldt with no screening.

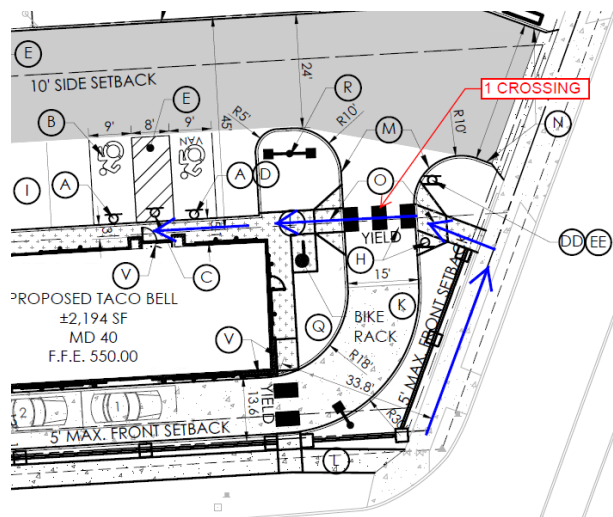


**Burger King – 21 Humboldt St**

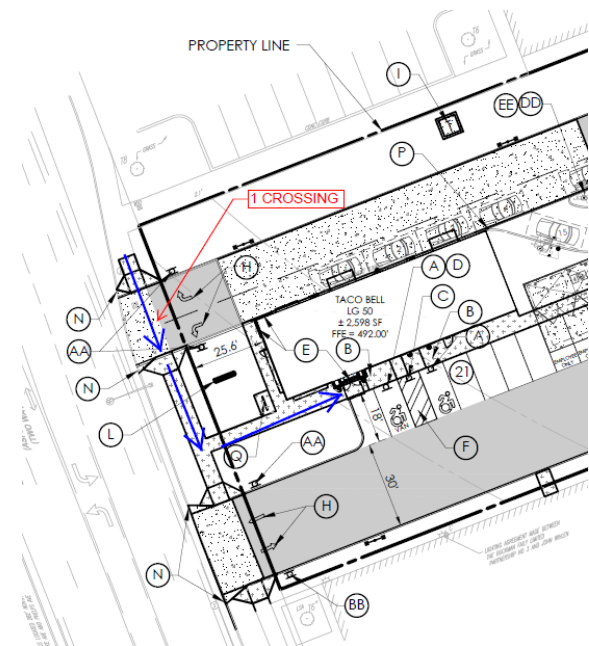
The development of a drive thru use on a corner lot prevents the option of providing unrestricted pedestrian access to the building. The only site plan option to provide this pedestrian access would be to have an exit onto Elmerston. Due to the close proximity of the Mt Hope/Elmerston intersection, providing a direct exit to either road would not be desirable



or allowed for safety reasons. Furthermore, pedestrians are ultimately crossing the same number of driveways to enter the building. Below are examples of the site design for this project shown on the left, along with the proposed Taco Bell (358 Lake Ave) on the right for comparison. It could be argued that crossing an internal drive lane is safer than crossing the main exiting lane as cars would be more distracted observing the traffic flow on a main drive than on-site circulation. To aid in safety for pedestrian crossing, yield text and a pedestrian crossing sign have also been added to the site plan in lieu of only crosswalk striping. We disagree with the statement that the site plan is not pedestrian friendly. We are providing connections to the Shelbourne, Mt Hope, and Elmerston sidewalk networks. The overall site design was thought out with pedestrian access in mind to minimize pedestrian/vehicular conflict points.



**Mt Hope crosswalk**



**Lake Ave crosswalk**

We have reviewed several Taco Bell site plans that are currently in operation with two site entrances and therefore have similar on-site conflict points at the drive entrance. These site plans are provided with this submittal for City review. To the best of their knowledge, Hospitality Syracuse has not had any accidents at this merge point, and no concerns have been expressed to the local managers of these locations. Both the McDonald's and Starbucks have similar conflict points for their drive thru lanes as well access from Celebration Drive and the private access drives as can be seen below. These restaurants however do not provide clear access paths across Celebration Dr and the drive thru lanes as you will find within the Taco Bell design.





### McDonalds and Starbucks at College Town

The current Taco Bell site plan provides for 12 queueing vehicles in the two drive thru lanes. An additional 8 vehicles would need to be queued toward Mt. Hope before these vehicles would impact the drive thru exiting traffic. Hospitality Syracuse operates over 100 restaurants and through their experience feels that the available queueing space for this site will not create any long-term on-site congestion. For comparison, Wendy's can only stack 9 vehicles and Burger King can only stack 7 cars (as can be seen below) before queueing on Mt Hope begins.





**Wendys – 1550 Mt Hope Ave**



**Burger King – 1780 Mt Hope Ave**

A center lane and striping has been added to the Taco Bell plans to provide maximum maneuverability for vehicles parked along the building to back out of their parking spaces.

If the City feels strongly about the merging of the two ordering points into one pick up lane, we would be agreeable to removing one of the ordering lanes.

The Taco Bell directional signs on Shelbourne will not be internally lit. A note has been added to the site plan to indicate this. **This will remove the waiver associated with 120-177(9).**

The request to provide a drive thru bypass lane is not feasible for this project due to the minimum width along Mt. Hope. It should be noted that this is not a code requirement and is also not provided at other nearby restaurants including Starbucks and McDonalds. Emergency vehicles have full access to the site through the parking lot and/or the adjacent streets. Similar developments like the Burger King on Alexander have recently been approved without a bypass lane (see below).



**347 Monroe Ave**



The building location and drive thru exit lane has been designed to maximize stacking during the peak hour after the pick-up window. The drive thru exit lane (after pick up window) has sufficient space to queue 4-5 vehicles before it would impact the drive thru operations. This is a greater distance than is provided at either Burger King or Wendy's (from pick-up window to Mt Hope). While the vehicles exiting will need to alternate between the main drive and the drive thru exit, we don't foresee any specific impacts here.

The Code requires space for 6 cars stacking after the order point and 4 spaces from the pick-up window to the order point. The proposed site plan has 5 stacking spaces from the point for the western drive thru lane and 3 for the mobile drive thru lane for a total of 8 stacking spaces. The drive thru lane shares 4 spaces between the pick-up window and the order point. The code doesn't clarify the requirements when a second drive thru lane exits. **We feel that the total stacking provided meets the intent of the code and that a waiver for 120-174 should not be required.**

Based on the code requirement, 63 shrubs and 40 trees are required for the project. Code allows for 3 shrubs to be planted in lieu of 1 tree. The current planting plan proposed 9 trees and a total of 297 shrubs/ornamental grasses. We acknowledge that not all of these plantings meet the 24" requirement at the time of planting; but in most cases this is due to a lower mature height for these species. **We feel that this updated plan will remove two of the listed waivers.**

An updated lighting plan has been prepared to utilize the dark sky compliant (LSI ENM4) at 15' high (see image below). This is a more decorative light fixture that will tie into the neighborhood community. The light source is contained completely within the fixture and will have minimal spillage along the property line. These fixtures do have an internal louvre that helps minimize light spillage behind the fixture, but they don't cut off the light quite as quickly as the more commercial looking LED fixtures. By lowering the poles to 15' these fixtures will now be completely below the adjacent elevation of 2<sup>nd</sup> floor residential windows.



The building elevation has been updated to show a parapet height of 20' minimum. The front façade has a glass door and adjacent window to total 51% transparency between 2' and 8' from the ground. The City requirement is to provide a minimum of 70% transparency. It should be noted that it appears there was a miscalculation on the City Code review requirement, the total frontage area is 172.75 SF (between 2' and 8' above grade). The 70% requirement would be 130.93 SF and we are proposing 87.6 SF. Based on the tower element and the structural elements, it isn't feasible to meet the 70% requirement. The windows will be clear (no tinting) and nothing will be placed in front of the windows to block them. This area is the front dining room and only chairs/tables will be placed in



front of the windows. As can be seen below, the McDonalds on Mt Hope has spandrel glass and less therefore far under the requires 70% transparency required.



**1422-32 Mt Hope Ave**

The building design for this Mt Hope location has been significantly upgraded from a typical location to fit in with the neighborhood. As can be seen below, the elevation on the left is the restaurant that was recently constructed in New Hartford, NY; compared to the proposed elevation for Mt Hope on the right.





**New Hartford NY**

**Mt Hope Ave, Rochester NY**

Enclosures:

The following documents are being provided via email for your review.

1. Revised Site Plan incorporating the above referenced items
2. Other locations site plans showing multi-entrance to drive thru lane
3. Prior sketch plans with mark-ups
4. Updated photometric plan
5. Updated landscape plan
6. Updated building elevation showing 20' minimum
7. Parking demand analysis

We look forward to continued collaboration with the City. Should you have any questions, comments, or are in need of additional information, please feel free to contact me ([salbright@apd.com](mailto:salbright@apd.com), 585-742-0204)

Sincerely,

*Stephanie Albright*

Stephanie Albright, P.E.  
Senior Civil Engineer

cc: M. McCracken (Hospitality Syracuse, Inc.)  
B. Brugg, Esq. (Woods Oviatt)





Project Review Committee (PRC)  
Agenda

Date: Wednesday, April 27, 2022  
Time: 4:00 p.m.  
Location: City Hall, NBD Commissioner's Conference Room  
30 Church St. Rm. 223-B  
Rochester, NY 14614

Case Number:	1
File Number:	SP-001-21-22
Case Type:	Major Site Plan Review
Address:	1737 Mt Hope Av, 20 Elmerston Rd, and 35 Shelbourne Rd
Zoning:	C-2 Community Center District
Quadrant	Southwest
Applicant:	Mike McCracken, Hospitality Syracuse
Request:	To construct a one story +/- 2,000 square foot, two lane drive-through restaurant and a 32 space parking lot. The proposal includes the rezoning of 20 Elmerston Rd, and 35 Shelbourne Rd from R-1 to C-2, and the demolition of a 4,300 square foot commercial building and a 1,470 square foot single family dwelling.
Review Requirement:	120-191D(3)(c)[4] Construction of any principal building in the C-1, C-2, H-V or PMV Districts that does not meet City-wide design standards set forth in this chapter; 120-191D(3)(a)[1] New construction that does not meet the City-wide design standards set forth in this chapter; 120-191D(3)(b)[2] Prior to demolition, any site preparation, development or redevelopment where demolition is proposed in the C-1, C-2, and Village Center Districts; 120-191D(3)(b)[3][d] Conversion to or from any of the following vehicle-related uses or the development or redevelopment of any sites devoted to such uses, including: drive-through facilities and uses.
Enforcement:	No
SEQR:	Unlisted
Lead Agency:	Manager of Zoning
Contact:	Marcia Barry, <a href="mailto:siteplanreview@cityofrochester.gov">siteplanreview@cityofrochester.gov</a>

Case Number:	2
File Number:	SP-012-21-22
Case Type:	Minor Site Plan Review
Address:	242, 246 Ormond St, and 3 Leopold St
Zoning:	M-1 Industrial District
Quadrant	Northeast
Applicant:	John Cooper, Rochester Storage QOZ, LLC
Request:	To establish a self-service storage operation consisting of 130 containers to be used as individual storage units and to be placed on the project site (not within a fully enclosed building). Proposal includes resubdividing the subject properties.
Review Requirement:	120-191D(3)(a)[10] Projects involving or abutting a designated landmark or those involving or abutting a site listed or eligible for listing on the State or National Register of Historic Places.
Enforcement:	No
SEQR:	Unlisted
Lead Agency:	Manager of Zoning
Contact:	Anna Keller, <a href="mailto:siteplanreview@cityofrochester.gov">siteplanreview@cityofrochester.gov</a>

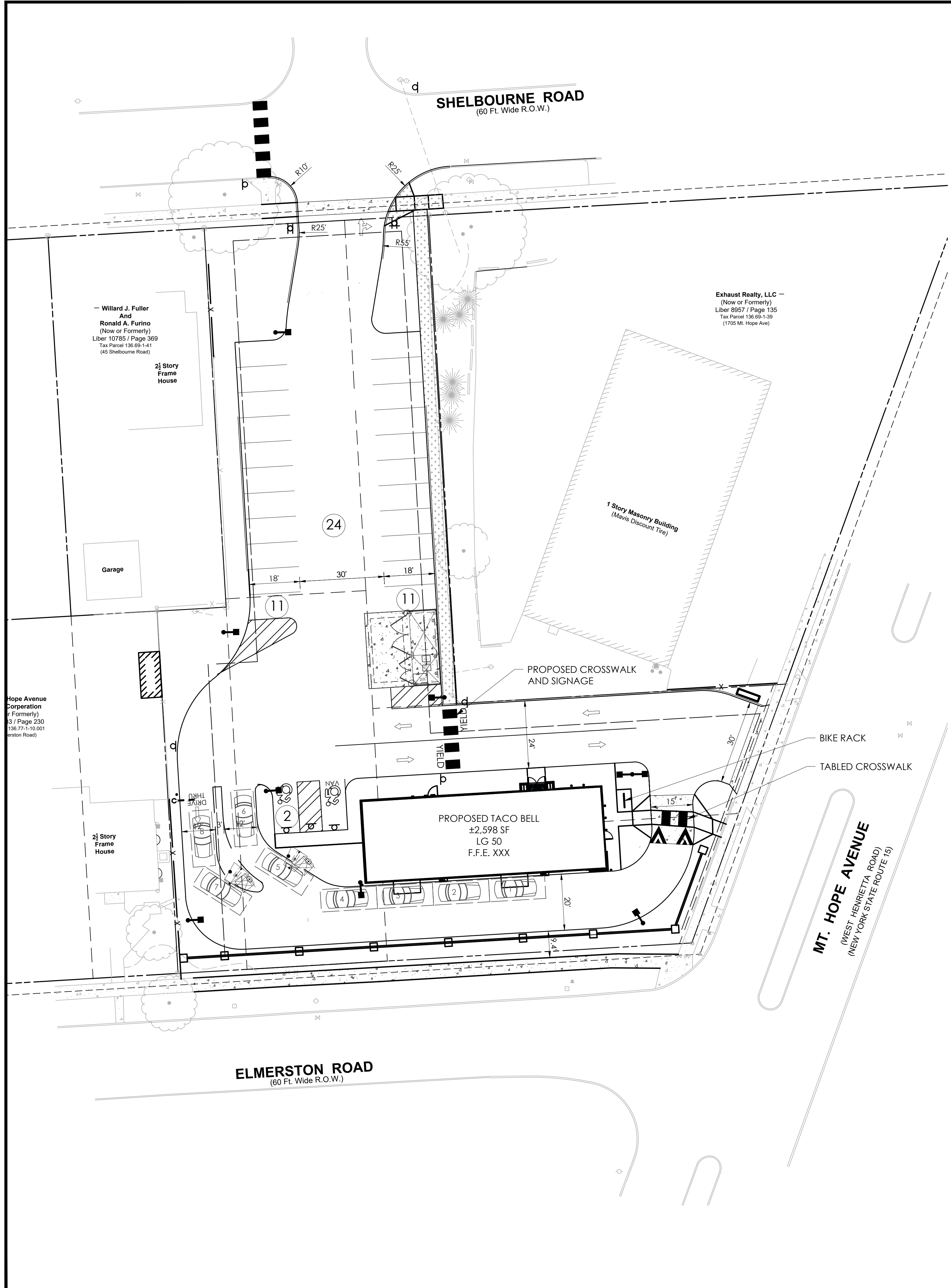


Case Number:	3
File Number:	SP-033-21-22
Case Type:	Major Site Plan Review
Address:	99, 102, 119-125, 129-131, 133, 139, 141 W Main St, 10, 16 S Washington St, and 19-29 S Plymouth Av
Zoning:	CCD-M Center City Main Street District
Quadrant	Southwest
Applicant:	David Gleghorn, H.E.L.P. Development Corporation
Request:	To construct a 191,000 sq. ft., five-story, mixed use building (161 residential units plus tenant amenity space and 3,271 sq. ft. of commercial space) with 102 below grade parking spaces. The project site is comprised of 10 parcels that are proposed to be combined into one lot with a total area of 1.16 acres. Work scope includes the closure of three curb cuts, the creation of one curb cut, and the abandonment of the Melvin Al and Scott Al rights-of-way.
Review Requirement:	120-191D(3)(c)[2] Applications in the CCD that include major deviations from the design criteria.
Enforcement:	No
SEQR:	Unlisted
Lead Agency:	Manager of Zoning
Contact:	Anna Keller, <a href="mailto:siteplanreview@cityofrochester.gov">siteplanreview@cityofrochester.gov</a>

Case Number:	4
File Number:	SP-020-21-22
Case Type:	Major Site Plan Review
Address:	11 Cairn St
Zoning:	M-1 Industrial District
Quadrant	Southwest
Applicant:	Premier Metal Group, LLC
Request:	To construct a one-story, 12,250 square foot building with two loading bays, a recessed loading dock, and a 13 space parking lot to serve the metal scrapping/reclamation business.
Review Requirement:	120-191D(3)(c)[1]All Type I actions as identified in § 48-4 of the City Code, excluding applications requiring certificates of appropriateness.
Enforcement:	No
SEQR:	Unlisted
Lead Agency:	Manager of Zoning
Contact:	Kate Powers, <a href="mailto:siteplanreview@cityofrochester.gov">siteplanreview@cityofrochester.gov</a>

Case Number:	5
File Number:	SP-010-21-22
Case Type:	Major Site Plan Review
Address:	786 N Goodman St
Zoning:	C-2 Community Center
Quadrant	Southeast
Applicant:	Trish Rissone, ESL Federal Credit Union
Request:	To construct a one-story, 5,600 square foot bank building with a four-lane drive-through and a 36-space parking lot. Work scope includes demolition of a one-story, 1,806 square foot commercial building.
Review Requirement:	120-191D(3)(c)[4]Construction of any principal building in the C-1, C-2, H-V or PMV Districts that does not meet City-wide design standards set forth in this chapter.
Enforcement:	No
SEQR:	Unlisted
Lead Agency:	Manager of Zoning
Contact:	Anna Keller, <a href="mailto:siteplanreview@cityofrochester.gov">siteplanreview@cityofrochester.gov</a>





**SITE LEGEND:**

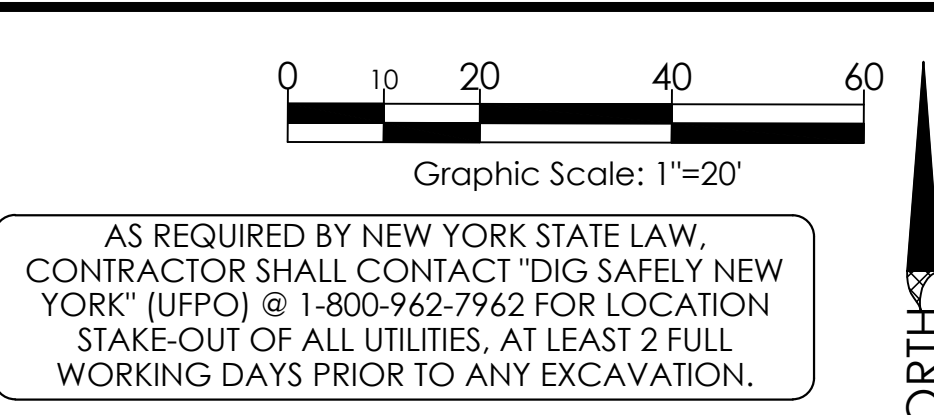
- (A) ACCESSIBLE PARKING SIGN, POST & BOLLARD (REFER TO DETAIL)
- (B) PAINTED ACCESSIBLE PARKING SYMBOL (REFER TO DETAIL)
- (C) "NO PARKING ANY TIME" SIGN, POST & BOLLARD (REFER TO DETAIL)
- (D) "VAN ACCESSIBLE" STRIPING AND SIGN (REFER TO DETAIL)
- (E) PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
- (F) SYSL/4" PARKING STALL STRIPING
- (G) PAVEMENT MARKINGS - ARROWS (REFER TO DETAIL)
- (H) TABLED CROSSWALK AND SIGNAGE (REFER TO DETAIL)
- (I) REGULAR DUTY PAVEMENT (REFER TO DETAIL)
- (J) HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- (K) HEAVY DUTY CONCRETE (REFER TO DETAIL)
- (L) CONCRETE SIDEWALK (REFER TO DETAIL)
- (M) CONCRETE CURB (REFER TO DETAIL)
- (N) TRANSITION CURB (REFER TO DETAIL)
- (O) ADA RAMP AND DETECTABLE WARNING (REFER TO DETAIL)
- (P) BOLLARDS (REFER TO ARCH. PLAN DETAIL)
- (Q) LAWN/MULCH AREA (REFER TO PLANTING PLAN FOR DELINEATION)
- (R) LIGHT POLE (REFER TO DETAIL)
- (S) CANOPY & SPEAKER BOX (REFER TO DETAIL)
- (T) SPEAKER BOX (REFER TO DETAIL)
- (U) DRIVE THRU SIGN (PROVIDED BY SIGN VENDOR)
- (V) TACO BELL LOGO SIGN (PROVIDED BY SIGN VENDOR)
- (W) TACO BELL EXIT SIGN (PROVIDED BY SIGN VENDOR)
- (X) TACO BELL ENTER SIGN (PROVIDED BY SIGN VENDOR)
- (Y) NO LEFT TURN SIGN
- (Z) CONCRETE DUMPSTER PAD (REFER TO ARCH. PLANS)
- (AA) MENU BOARD (REFER TO DETAIL)
- (BB) CLEARANCE BAR (REFER TO DETAIL)
- (CC) PREVIEW BOARD (REFER TO DETAIL)
- (DD) TACO BELL "THANK YOU" SIGN (PROVIDED BY SIGN VENDOR)
- (EE) "DO NOT ENTER" SIGN (PROVIDED BY SIGN VENDOR)
- (FF) 5' HIGH SOLID WALL (REFER TO DETAIL)
- (CG) SINGLE YELLOW SOLID LINE/4" WIDE

**GENERAL NOTES:**

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND/OR THE APPROPRIATE WATER, SEWER AND/OR DRAINAGE DISTRICTS, AND/OR OTHER AUTHORITIES HAVING JURISDICTION.
2. ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC., WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
4. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. OUTSIDE OF WORK LIMITS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. SIDEWALKS WITHIN R.O.W. SHALL REMAIN OPEN AT ALL TIMES DURING CONSTRUCTION.
5. REFER TO THE SURVEY FOR THE PROPERTY BOUNDARY INFORMATION (E.G. LOT AREA, BEARINGS, DISTANCES, ETC).
6. THE SITE IS IN FLOOD ZONE X. AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS SHOWN ON FLOOD STUDY INSURANCE MAP OF CITY OF ROCHESTER PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NO. 36055C0351G, MAP EFFECTIVE DATE 08/28/08.

**REFERENCE:**

1. PICTOMETRY AERIAL IMAGERY
2. ALTA/NSPS LAND TITLE SURVEY LANDS OF 1737 MT HOPE AVE AND 35 SHELBOURNE RD, PROJECT NUMBER 2021.045.001, PREPARED BY JACOBS LAND SURVEYING, LAST REVISED OCTOBER 12, 2021.



**LEGEND OF IMPROVEMENTS**

- BACK OF CURB
- FACE OF CURB
- FACE OF CURB/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING
- CONCRETE SIDEWALK (REFER TO DETAIL)
- HEAVY DUTY CONCRETE (REFER TO DETAIL)
- HEAVY DUTY PAVEMENT (REFER TO DETAIL)
- PEDESTRIAN CROSSWALK (REFER TO DETAIL)
- LIGHT POLES

Issued:	Date:
A City of Rochester	11/12/21
B City of Rochester	02/10/22
C	
D	
E	
F	
G	
H	

Revisions:	Date:
1 Per City Site Plan comments	02/10/22
2	
3	
4	
5	
6	
7	
8	

FOR APPROVAL ONLY/NOT FOR CONSTRUCTION

Seal Seal  
 CIVIL ENGINEER OF RECORD  
 Name: Stephanie L. Albright  
 New York License No.: 087051  
 Exp. Date: December 31, 2023  
 Firm Reg. No.: 0014815  
 Exp. Date: December 31, 2023

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 Copying, Printing, Software and other processes required to produce these prints can stretch or shrink the actual paper or layout. Therefore, scaling of this drawing may be inaccurate. Contact Engineer of Record with any need for additional dimensions or clarifications.

**APD ENGINEERING ARCHITECTURE**  
 615 Fishers Run Victor, NY 14564  
 585.742.2222 - www.apd.com

**Hospitality Syracuse, Inc.**  
 290 Elwood Davis Road  
 Suite 320  
 Liverpool, NY 13088  
 315-451-1957  
 315-451-9803

Taco Bell - Rochester NY  
 1737 Mt. Hope Ave  
 City of Rochester  
 Monroe County  
 Project Name & Location:

Site Plan - Opt 1	
Drawing Name:	Project No.
Date: 06/10/21	20-0531
Type:	
Drawn By: SLA	C2
Scale: 1" = 20'	Drawing No.

**SITE NOTES:**

1. ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES.
2. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
3. THE SETBACK LINES AND NOTES RELATED TO SETBACKS SHOWN HEREIN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE CITY OF ROCHESTER AS OF THE DATE OF THIS PLAN AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
4. REFER TO LIGHTING PLAN, SHEET C5, FOR LIGHT POLE AND BUILDING MOUNTED LIGHT LOCATIONS, AND FIXTURE TYPE.



# TYLin

City of Rochester  
Bureau of Buildings and Zoning  
30 Church St. Rm. 125B Rochester, NY 14614

ATTN: Anna Keller

RE: 242, 246 Ormond St, and 3 Leopold St

Dear Ms. Keller,

On February 16<sup>th</sup>, we participated in a virtual Project Review Committee meeting to discuss our client's proposed development of the vacant parking lot located at 246 Ormond Street. Having had previous discussions with the City and having previously revised the site plan in accordance with suggestions made by the City, there were three outstanding items remaining for resolution.

1. Non-conforming features with respect to the following local laws:
  - a. Code Section 120-158B(1) which requires "active building elevations" on new structures including windows;
  - b. Code Section 120-158B(4) which requires repeating architectural patterns with two or more of the following elements: color change, texture change, material change, or a wall articulation change such as a reveal, recess, offset, or pilaster;
  - c. Code Section 120-158C which requires the front facade and to have a direct pedestrian connection to the street (a front entrance).

As was discussed in the meeting, these provisions of local law do not appear to have considered structures of the type that the owner is proposing (free-standing self-storage steel structures). We presented a sketch showing pilasters to create reveals and recesses having a contrasting color (item c) while acknowledging that items a & b would be difficult to overcome, likely needing a variance.

Jim Yarrington suggested that in lieu of trying to make these storage structures look more like a conventional building, that the installation of an ornamental fence at the right of way might make the project more appealing overall.

Our client was receptive to that idea and is now prepared have us revise the drawings to show a spike-topped black aluminum fence along Ormond Street. The fencing at all interior lot lines would remain galvanized chain-link but could be black in color to match the front fence if that is preferred by the City.

2. Matt Vanderwall advised us that the adjacent building owned by our client located at 444 Central Avenue is currently in violation of a City ordinance due to the broken/boarded up window openings. Matt suggested that his department might consider a variance on the Ormond Street property from the other ordinances (items a & b) more favorably if the owner were willing to correct the deficiencies on the Central Avenue building within a specified period of time.



The subject building is currently used as a self-storage facility where each tenant maintains security on the entry doors to their leasehold space. Consequently, the owner does not have access to the interior storage spaces and no practical ability to affect the displacement of each tenant's storage goods in order to gain access to the interior of the window openings. To overcome this challenge, our client is proposing to install applied window coverings at all 128 openings, consisting of tinted Lexan panels contained within a frame complete with mullions and muntin bars in the larger openings, maintaining the appearance of a typical spandrel glass panel. This will allow the material in the existing openings to remain without disruption to the tenants. The work would be complete per the following schedule:

444 Central Avenue   Window Replacement Project				
LOCATION	2022	2023	2024	2025
South Elevation	X			
West Elevation		X		
North Elevation			X	
East Elevation				X

3. Lighting Plan.

The City is looking for a lighting plan for general illumination of the 246 Ormand Street site where the storage boxes will be placed.

Attached with this submittal is a lighting plan with photometrics for review.

SUMMARY

The owner's investment in this property was part of a QOZ (qualified opportunity zone) fund, where he had to commit to investing a large sum of money into improvements. He has already spent over \$150,000 for improvements, including:

- Tuckpointing the entire building
- Painting the window frames on the south elevation first floor
- New signage and removal of old awnings


Remaining improvements on the Ormond Street site will need to be made within 2.5 years of purchasing the property, or by January 2023 in order to take advantage of the tax credits. It is therefore important to obtain reasonable assurance that the approvals he is seeking are forthcoming. In order to meet these deadlines, he will need to commit to purchasing goods and services to complete this project.

If this approach to the project is acceptable to the City, we will immediately prepare the variance for your consideration.



Respectfully,

TYLin International Engineering and Architecture, P.C.

A handwritten signature in black ink that reads "James R. Burton". The signature is written in a cursive style with a large initial "J" and "B".

James R. Burton  
Associate Vice President

C:     John Copper,             Rochester Storage QOZ, LLC  
       Andrew Collini,         TYLin  
       Nathan Buczek,         TYLin

ENC:   Lighting Plan w/ Photometrics



# CENTER CITY COURTYARD

20213147.0004

99-141 West Main Street  
Rochester, NY 14614

MARCH, 2022

## DRAWING INDEX:

### GENERAL

G-000 COVER PAGE

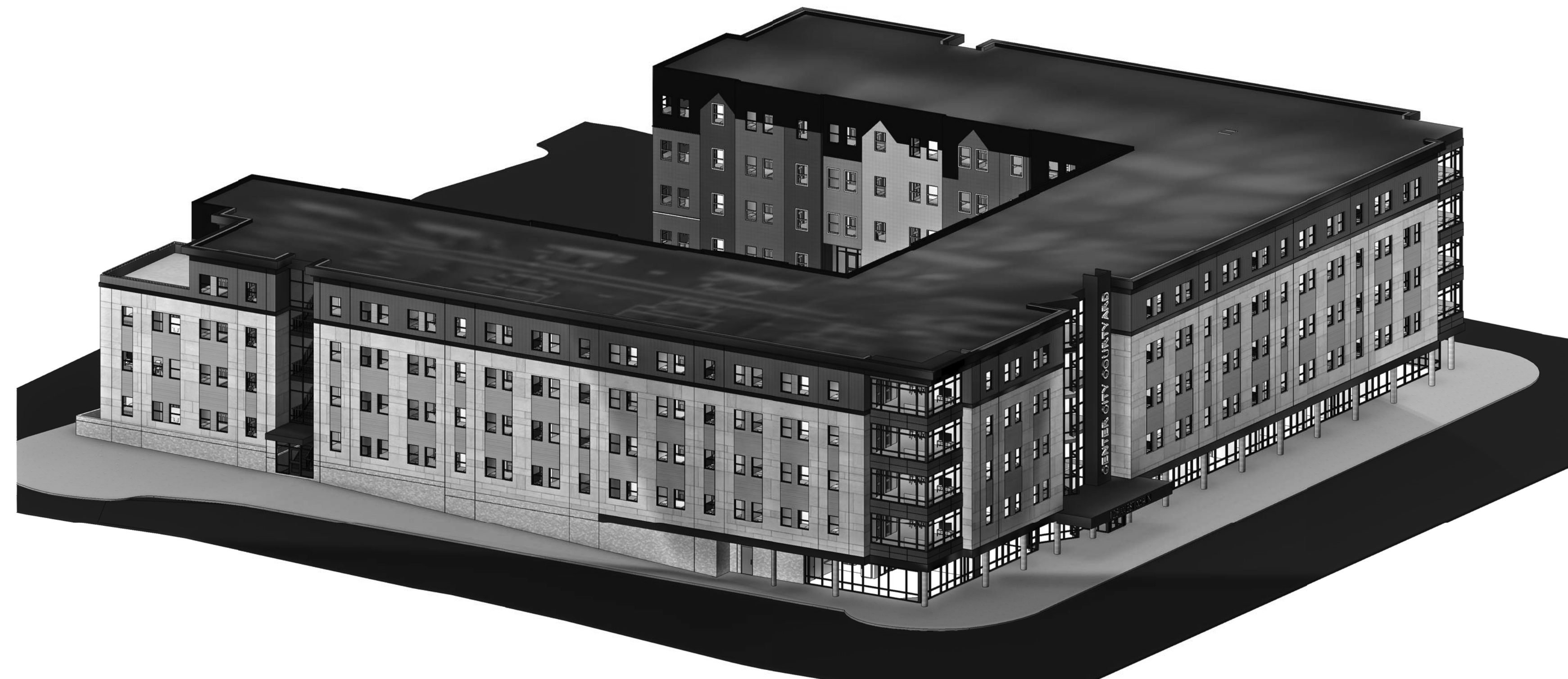
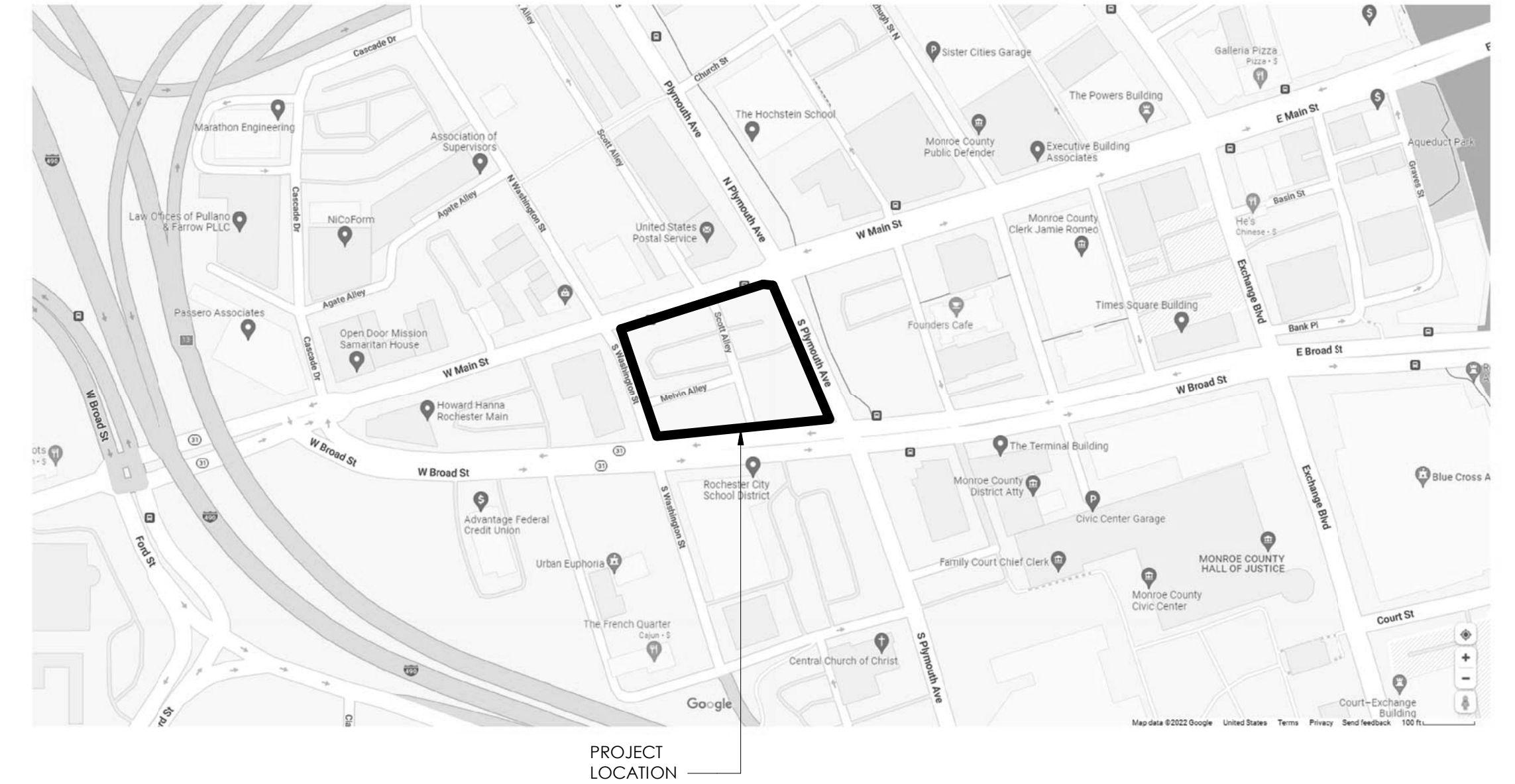
### CIVIL

C-101 FIRST FLOOR SITE PLAN  
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## LOCATION MAP:



## CLIENT:

HELP USA  
115 E. 13TH STREET  
NEW YORK, NY 10003

## ARCHITECTURAL, CIVIL & STRUCTURAL:

**PA** PASSERO ASSOCIATES  
engineering architecture

242 WEST MAIN ST., SUITE 100 (585) 325-1000  
ROCHESTER, NY 14614 FAX: (585) 325-1691

## MEP:

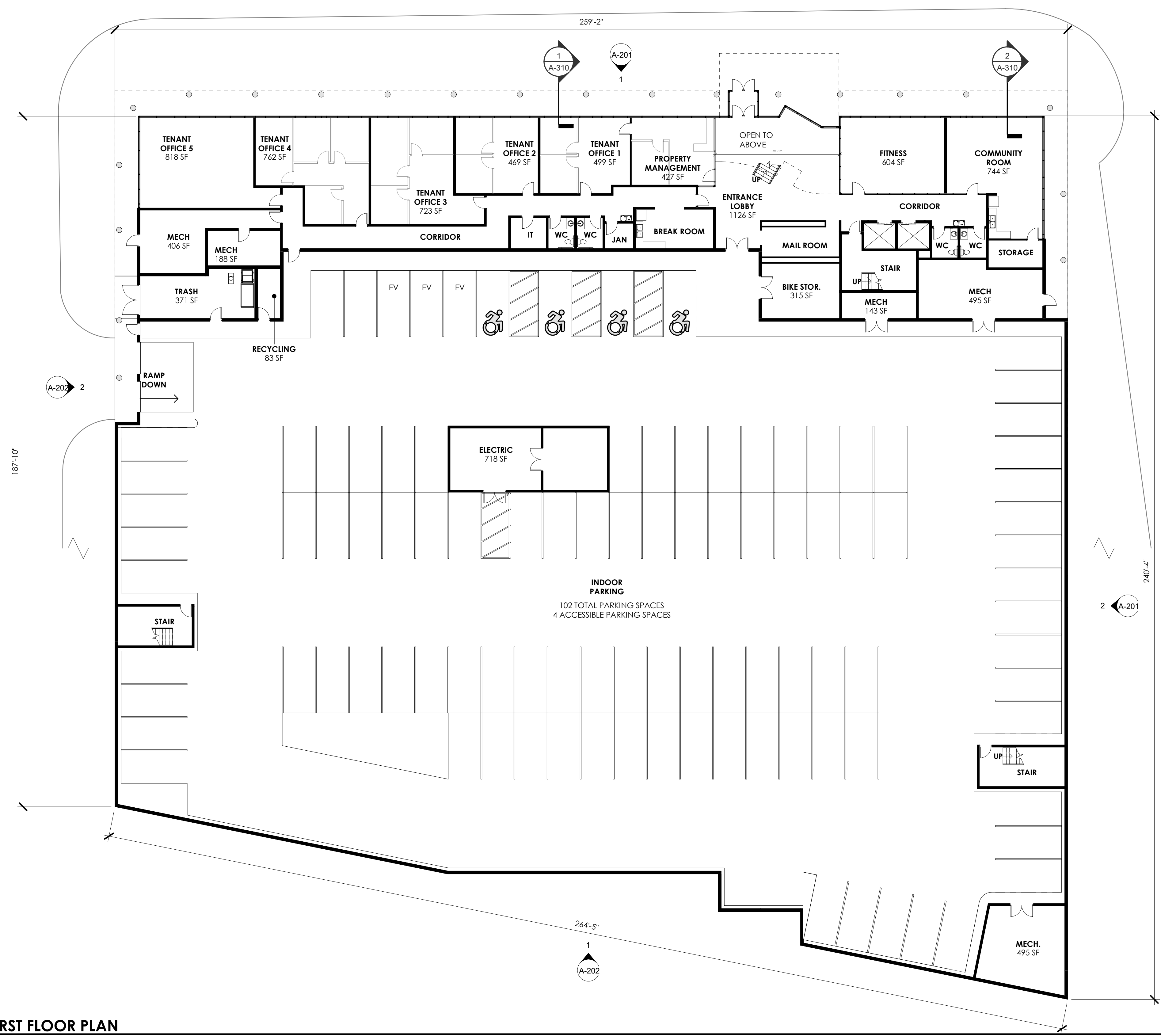
**ME** ENGINEERING

Mechanical/Electrical Engineering Consultants

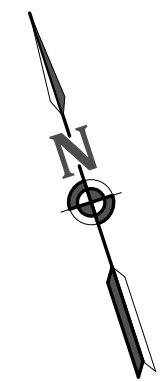
Rochester | Buffalo | Syracuse | Capital District

300 TROLLEY BOULEVARD 585.288.5590  
ROCHESTER, NY 14606 www.meengineering.com





**1 FIRST FLOOR PLAN**  
 0' 4' 8' 16' 32'  
 1/16" = 1'-0"



STAMP:

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 115 E. 13TH STREET  
 NEW YORK, NY 10003

**Passero Associates**  
 242 WEST MAIN ST., SUITE 100 ROCHESTER, NY 14614 (585) 325-1000 FAX: (585) 325-1691  
 PROJECT MANAGER: -  
 PROJECT ARCHITECT: -  
 DESIGNER: -

NO.	DATE	BY	DESCRIPTION

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**FIRST FLOOR PLAN**  
 99-141 West Main Street  
 CENTER CITY COURTYARD  
 TOWN/CITY: ROCHESTER  
 COUNTY: MONROE STATE: NY  
 PROJECT NO.: 20213147.0004  
 DRAWING NO.: **A-101**  
 DATE: MARCH, 2022





SECOND FLOOR UNIT TYPE MATRIX				
TYPE OF UNIT	NUMBER OF HHAP UNITS	NUMBER OF NON-HHAP UNITS	TOTAL UNITS	TOTAL SF
STUDIO	2	2	4	2,030 SF
ONE BEDROOM	16	16	32	21,816 SF
TWO BEDROOM	2	1	3	2,788 SF

UNIT SQUARE FOOTAGES ARE CALCULATED FROM INTERIOR FACE OF EXTERIOR WALLS AND CENTERLINE OF INTERIOR WALLS. UNIT SQUARE FOOTAGES DO NOT INCLUDE EXTERIOR WALL THICKNESS.

(10) UNITS TO BE EQUIPPED WITH ROLL-IN SHOWER: (1) STUDIO; (8) 1 BED; AND (1) 2 BED

UNIT TYPE - TOTALS		
UNIT TYPE	UNIT COUNT	AREA
1 BED		
1 BED	122	83370 SF
2 BED		
2 BED	17	15747 SF
STUDIO		
STUDIO	22	11087 SF
	161	110205 SF

UNIT TYPES - SECOND FLOOR		
UNIT TYPE	UNIT COUNT	AREA RANGE
1 BED		
TYPE 1A	15	652 SF ... 665 SF
TYPE 1B	4	682 SF ... 684 SF
TYPE 1C	10	691 SF ... 705 SF
TYPE 1D	2	724 SF ... 724 SF
TYPE 1E	1	743 SF
	32	
2 BED		
TYPE 2A	1	990 SF
TYPE 2B	1	1007 SF
TYPE 2C	1	790 SF
	3	
STUDIO		
TYPE S1	2	494 SF
TYPE S2	1	515 SF
TYPE S3-ADA	1	527 SF
	4	
TOTAL UNITS	39	

**1 SECOND FLOOR PLAN**  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"

**PA**  
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 242 WEST MAIN ST., SUITE 100 (585) 325-1000  
 ROCHESTER, NY 14614 FAX: (585) 325-1691

NO.	DATE	BY	DESCRIPTION

**SECOND FLOOR PLAN**  
 99-141 West Main Street  
 CENTER CITY COURTYARD  
 TOWN/CITY: ROCHESTER  
 COUNTY: MONROE STATE: NY  
 PROJECT NO.:  
**20213147.0004**  
 DRAWING NO.:  
**A-102**  
 DATE:  
**MARCH, 2022**

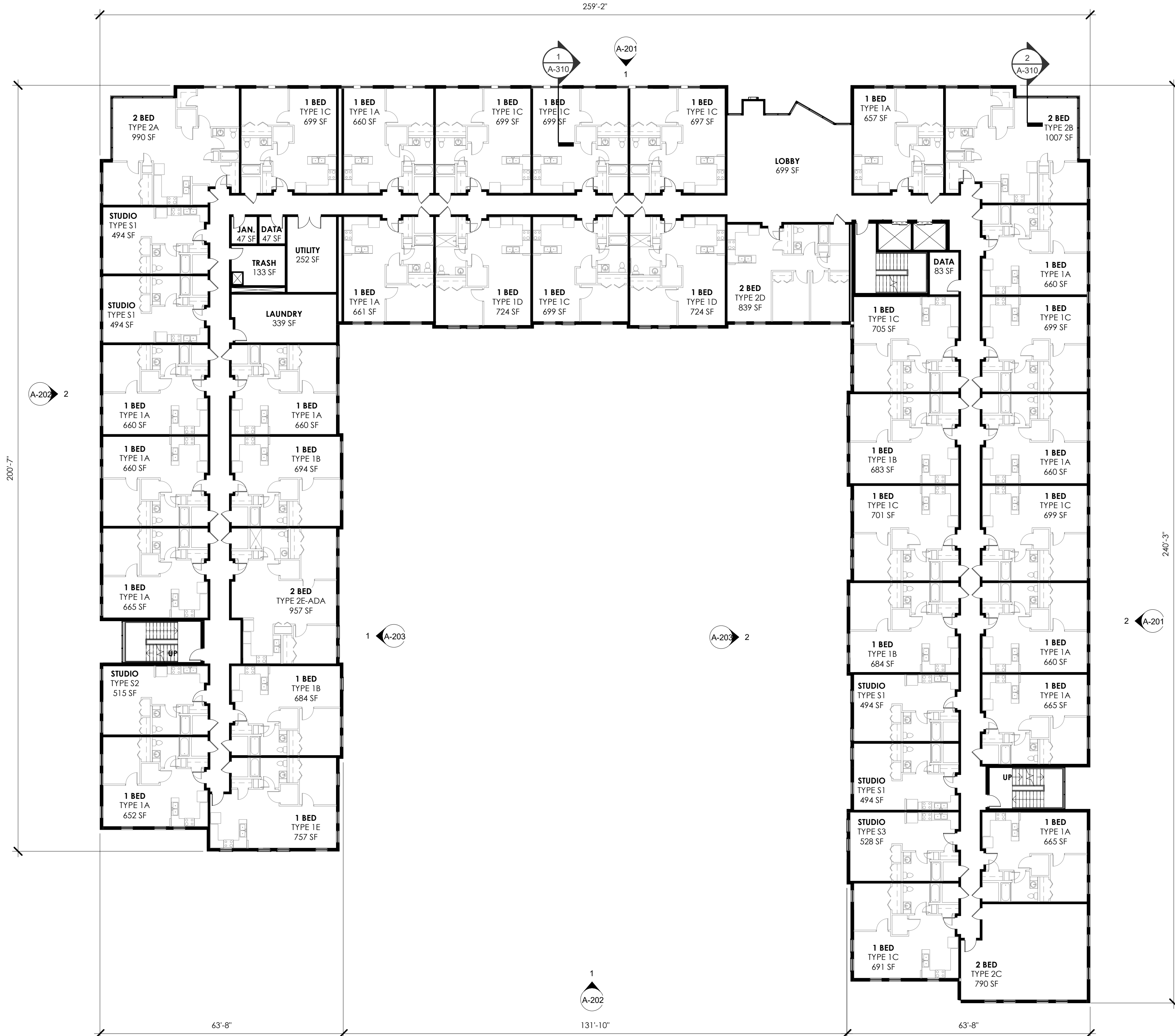




THIRD FLOOR UNIT TYPE MATRIX				
TYPE OF UNIT	NUMBER OF HHAP UNITS	NUMBER OF NON-HHAP UNITS	TOTAL UNITS	TOTAL SF
STUDIO	3	3	6	3,019 SF
ONE BEDROOM	10	10	20	20,526 SF
TWO BEDROOM	3	2	5	4,583 SF

UNIT SQUARE FOOTAGES ARE CALCULATED FROM INTERIOR FACE OF EXTERIOR WALLS AND CENTERLINE OF INTERIOR WALLS. UNIT SQUARE FOOTAGES DO NOT INCLUDE EXTERIOR WALL THICKNESS.

(10) UNITS TO BE EQUIPPED WITH ROLL-IN SHOWER: (1) STUDIO; (8) 1 BED; AND (1) 2 BED



UNIT TYPES - THIRD FLOOR		
UNIT TYPE	COUNT	AREA RANGE
1 BED		
TYPE 1A	13	652 SF ... 665 SF
TYPE 1B	4	683 SF ... 694 SF
TYPE 1C	10	691 SF ... 705 SF
TYPE 1D	2	724 SF ... 724 SF
TYPE 1E	1	757 SF
	30	
2 BED		
TYPE 2A	1	990 SF
TYPE 2B	1	1007 SF
TYPE 2C	1	790 SF
TYPE 2D	1	839 SF
TYPE 2E-ADA	1	957 SF
	5	
STUDIO		
TYPE S1	4	494 SF ... 494 SF
TYPE S2	1	515 SF
TYPE S3	1	528 SF
	6	
TOTAL UNITS	41	

**3 THIRD FLOOR PLAN**  
0' 1' 2' 4' 8'  
1/16" = 1'-0"

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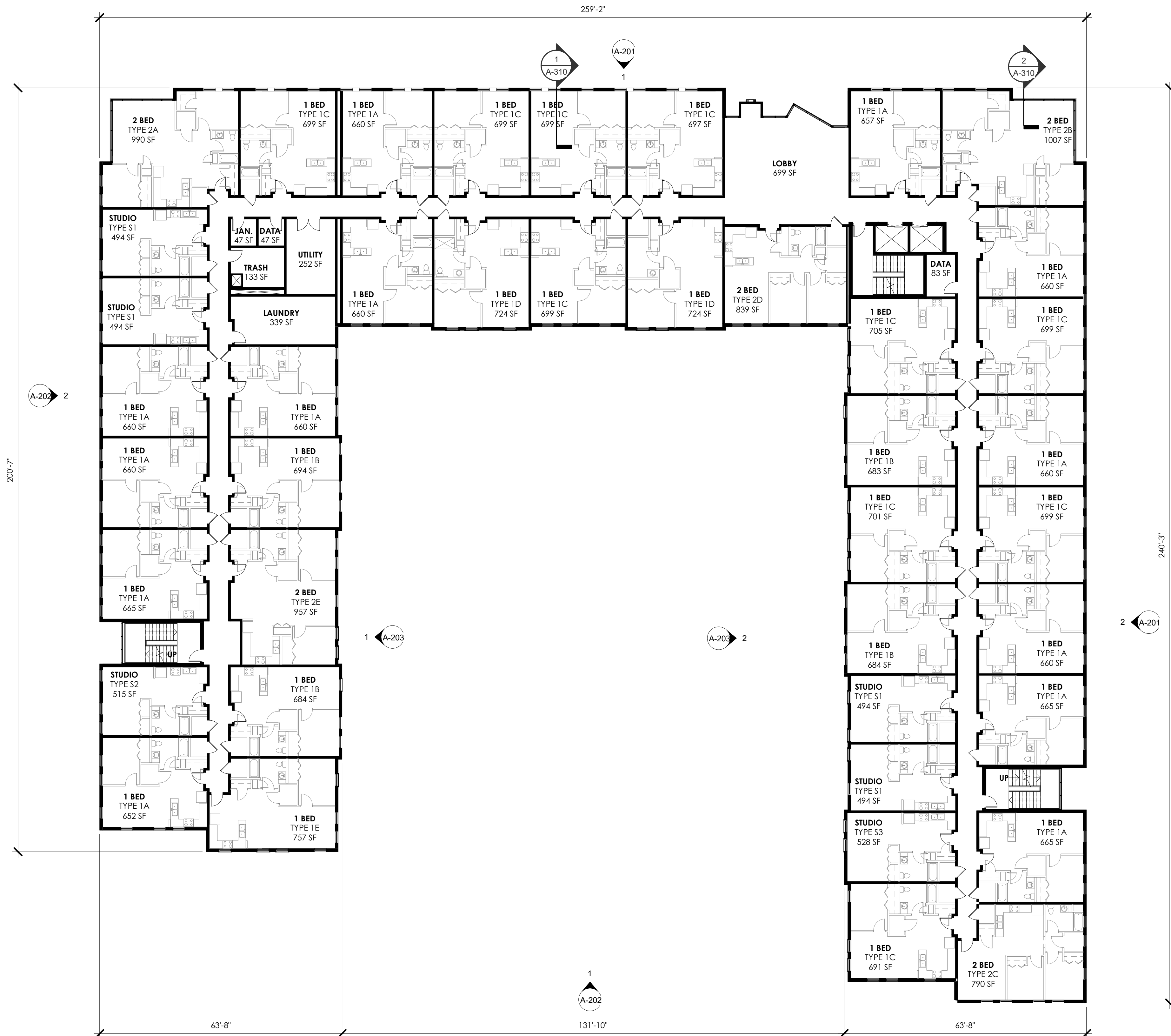
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**THIRD FLOOR PLAN**  
99-141 West Main Street  
CENTER CITY COURTYARD  
TOWN/CITY: ROCHESTER  
COUNTY: MONROE STATE: NY  
PROJECT NO.:  
**20213147.0004**  
DRAWING NO.:  
**A-103**  
DATE:  
**MARCH, 2022**





FOURTH FLOOR UNIT TYPE MATRIX				
TYPE OF UNIT	NUMBER OF HHAP UNITS	NUMBER OF NON-HHAP UNITS	TOTAL UNITS	TOTAL SF
STUDIO	3	3	6	3,019 SF
ONE BEDROOM	10	10	20	20,526 SF
TWO BEDROOM	2	3	5	4,583 SF

SQUARE FOOTAGES ARE CALCULATED FROM INTERIOR FACE OF EXTERIOR WALLS AND CENTERLINE OF INTERIOR WALLS. SQUARE FOOTAGES DO NOT INCLUDE EXTERIOR WALL THICKNESS.

(10) UNITS TO BE EQUIPPED WITH ROLL-IN SHOWER: (1) STUDIO; (8) 1 BED; AND (1) 2 BED

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 PROJECT ARCHITECT: \_\_\_\_\_  
 DESIGNER: \_\_\_\_\_

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**FOURTH FLOOR PLAN**

99-141 West Main Street  
 CENTER CITY COURTYARD

TOWN/CITY: ROCHESTER  
 COUNTY: MONROE STATE: NY

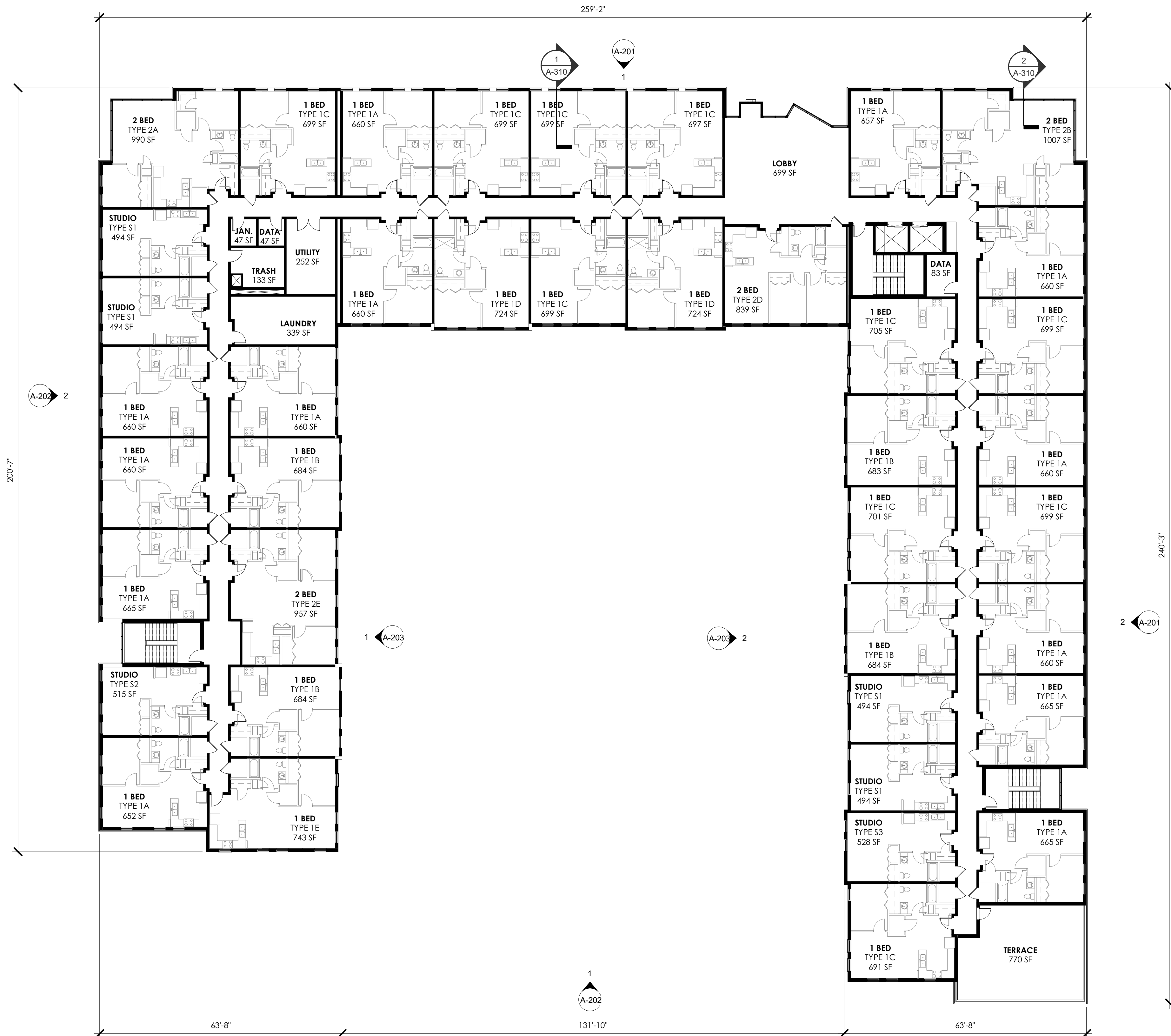
PROJECT NO.: 20213147.0004  
 DRAWING NO.: **A-104**  
 DATE: MARCH, 2022

**1** **FOURTH FLOOR PLAN**

0' 1' 2' 4' 8'  
 1/16" = 1'-0"

UNIT TYPES - FOURTH FLOOR		
UNIT TYPE	COUNT	AREA RANGE
1 BED		
TYPE 1A	13	652 SF ... 665 SF
TYPE 1B	4	683 SF ... 694 SF
TYPE 1C	10	691 SF ... 705 SF
TYPE 1D	2	724 SF ... 724 SF
TYPE 1E	1	757 SF
	30	
2 BED		
TYPE 2A	1	990 SF
TYPE 2B	1	1007 SF
TYPE 2C	1	790 SF
TYPE 2D	1	839 SF
TYPE 2E	1	957 SF
	5	
STUDIO		
TYPE S1	4	494 SF ... 494 SF
TYPE S2	1	515 SF
TYPE S3	1	528 SF
	6	
TOTAL UNITS	41	





**1 FIFTH FLOOR PLAN**  
 0' 1' 2' 4' 8'  
 1/16" = 1'-0"

FIFTH FLOOR UNIT TYPE MATRIX				
TYPE OF UNIT	NUMBER OF HHAP UNITS	NUMBER OF NON-HHAP UNITS	TOTAL UNITS	TOTAL SF
STUDIO	3	3	6	3,019 SF
ONE BEDROOM	15	15	30	20,502 SF
TWO BEDROOM	2	2	4	3,793 SF

SQUARE FOOTAGES ARE CALCULATED FROM INTERIOR FACE OF EXTERIOR WALLS AND CENTERLINE OF INTERIOR WALLS. SQUARE FOOTAGES DO NOT INCLUDE EXTERIOR WALL THICKNESS.

(10) UNITS TO BE EQUIPPED WITH ROLL-IN SHOWER: (1) STUDIO; (8) 1 BED; AND (1) 2 BED

UNIT TYPES - FIFTH FLOOR			
UNIT TYPE	COUNT	AREA RANGE	TOTAL SF
<b>1 BED</b>			
TYPE 1A	13	652 SF ... 665 SF	8,477
TYPE 1B	4	683 SF ... 684 SF	2,736
TYPE 1C	10	691 SF ... 705 SF	7,000
TYPE 1D	2	724 SF ... 724 SF	1,448
TYPE 1E	1	743 SF	743
			<b>30</b>
<b>2 BED</b>			
TYPE 2A	1	990 SF	990
TYPE 2B	1	1007 SF	1007
TYPE 2D	1	839 SF	839
TYPE 2E	1	957 SF	957
			<b>4</b>
<b>STUDIO</b>			
TYPE S1	4	494 SF ... 494 SF	1,976
TYPE S2	1	515 SF	515
TYPE S3	1	528 SF	528
			<b>6</b>
<b>TOTAL UNITS</b>			<b>40</b>

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**FIFTH FLOOR PLAN**

99-141 West Main Street  
 CENTER CITY COURTYARD

TOWN/CITY: ROCHESTER  
 COUNTY: MONROE STATE: NY

PROJECT NO.:  
**20213147.0004**

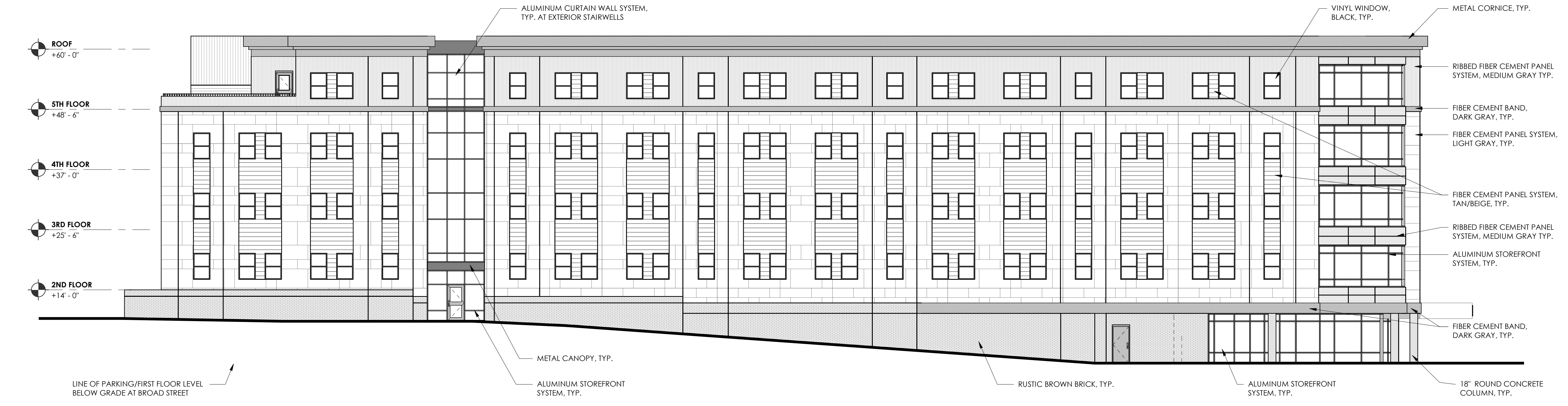
DRAWING NO.:  
**A-105**

DATE:  
**MARCH, 2022**





**1 NORTH ELEVATION (MAIN STREET)**  
0' 4' 8' 16' 32'  
3/32" = 1'-0"



**2 EAST ELEVATION (PLYMOUTH AVENUE)**  
0' 4' 8' 16' 32'  
3/32" = 1'-0"

STAMP:

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115 E. 13TH STREET  
NEW YORK, NY 10003

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PROJECT ARCHITECT: \_\_\_\_\_  
DESIGNER: \_\_\_\_\_

NO.	DATE	BY	DESCRIPTION

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**EXTERIOR ELEVATIONS**

99-141 West Main Street

CENTER CITY COURTYARD

TOWN/CITY: ROCHESTER  
COUNTY: MONROE STATE: NY

PROJECT NO.: 20213147.0004

DRAWING NO.: A-201

DATE: MARCH, 2022





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 PROJECT ARCHITECT: \_\_\_\_\_  
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**EXTERIOR ELEVATIONS**

99-141 West Main Street

CENTER CITY COURTYARD

TOWN/CITY: ROCHESTER  
 COUNTY: MONROE STATE: NY

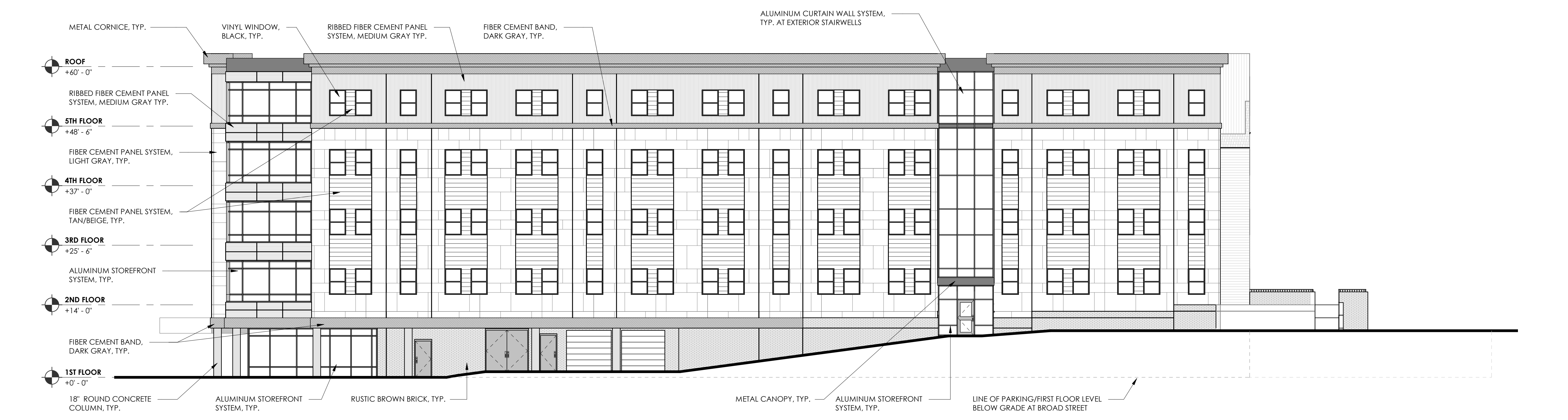
20213147.0004

DRAWING NO.:  
**A-202**

DATE:  
**MARCH, 2022**



**1 SOUTH ELEVATION (BROAD)**



**2 WEST ELEVATION (WASHINGTON)**







**1 EAST (COURTYARD INTERIOR)**

0' 4' 8' 16' 32'  
3/32" = 1'-0"



**2 WEST (COURTYARD INTERIOR)**

0' 4' 8' 16' 32'  
3/32" = 1'-0"

STAMP:

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115 E. 13TH STREET  
NEW YORK, NY 10003

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ROCHESTER, NY 14614 FAX: (585) 325-1691

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**EXTERIOR ELEVATIONS**  
  
99-141 West Main Street  
CENTER CITY COURTYARD  
  
TOWN/CITY: ROCHESTER  
COUNTY: MONROE STATE: NY  
PROJECT NO.:  
**20213147.0004**  
DRAWING NO.:  
**A-203**  
DATE:  
**MARCH, 2022**





**1** NORTH CONTEXTUAL ELEVATION (MAIN ST)  
 N.T.S.



**2** EAST CONTEXTUAL ELEVATION (PLYMOUTH AVE)  
 N.T.S.



**3** SOUTH CONTEXTUAL ELEVATION (BROAD ST)  
 N.T.S.



**4** WEST CONTEXTUAL ELEVATION (WASHINGTON ST)  
 N.T.S.

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 PROJECT ARCHITECT  
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**CONTEXTUAL ELEVATIONS**

99-141 West Main Street

CENTER CITY COURTYARD

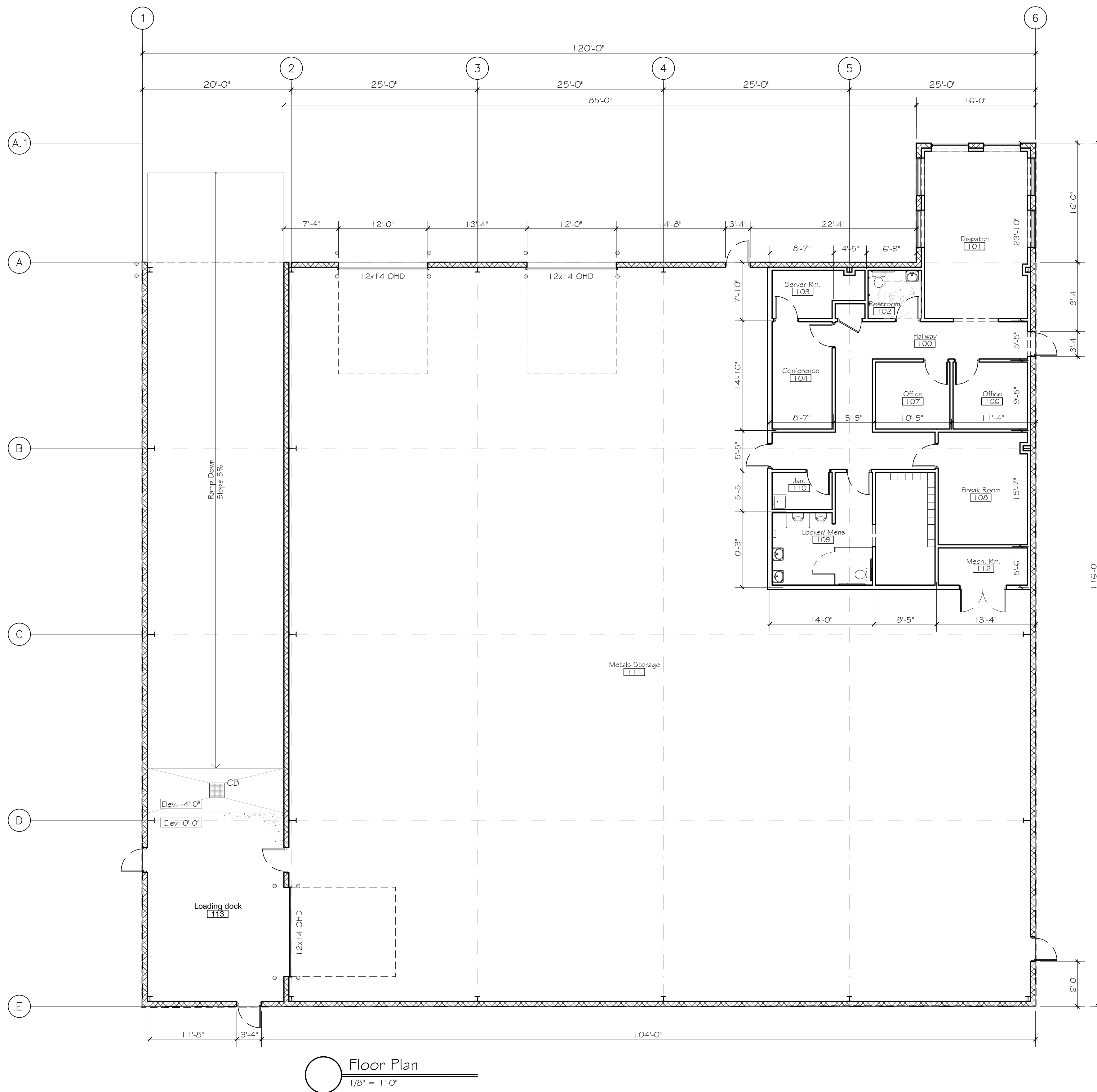
TOWN/CITY: ROCHESTER  
 COUNTY: MONROE STATE: NY

PROJECT NO.:  
 20213147.0004

DRAWING NO.:  
 A-204

DATE:  
 MARCH, 2022





1020 Lehigh Station Road  
Henrietta, New York 14467  
585-334-1122  
www.Lefrois.com

**DRAWING ALTERATION**

The following is an excerpt from the NYCRR Title VIII Ch II Part 69.5b and applies to this drawing:  
"It is a violation of this law for any person, unless acting under the direct supervision of a licensed architect or a licensed professional engineer, to alter an item on this document in any way. If an item bearing the seal of an architect or engineer is altered, the altering architect or engineer shall affix their seal and the notation "Altered by" followed by their signature and date of such alteration" and a specific description of the alteration."

**REVISIONS**

PROGRESS PLOT	10/22/2021
ISSUED FOR FINAL BIDDING	
ISSUED FOR PERMIT	
ISSUED FOR CONST.	

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

**PROJECT**

Premier Transfer Station

**LOCATION**

111 Cain Street  
City of Rochester  
Monroe County  
New York

**DRAWING TITLE**

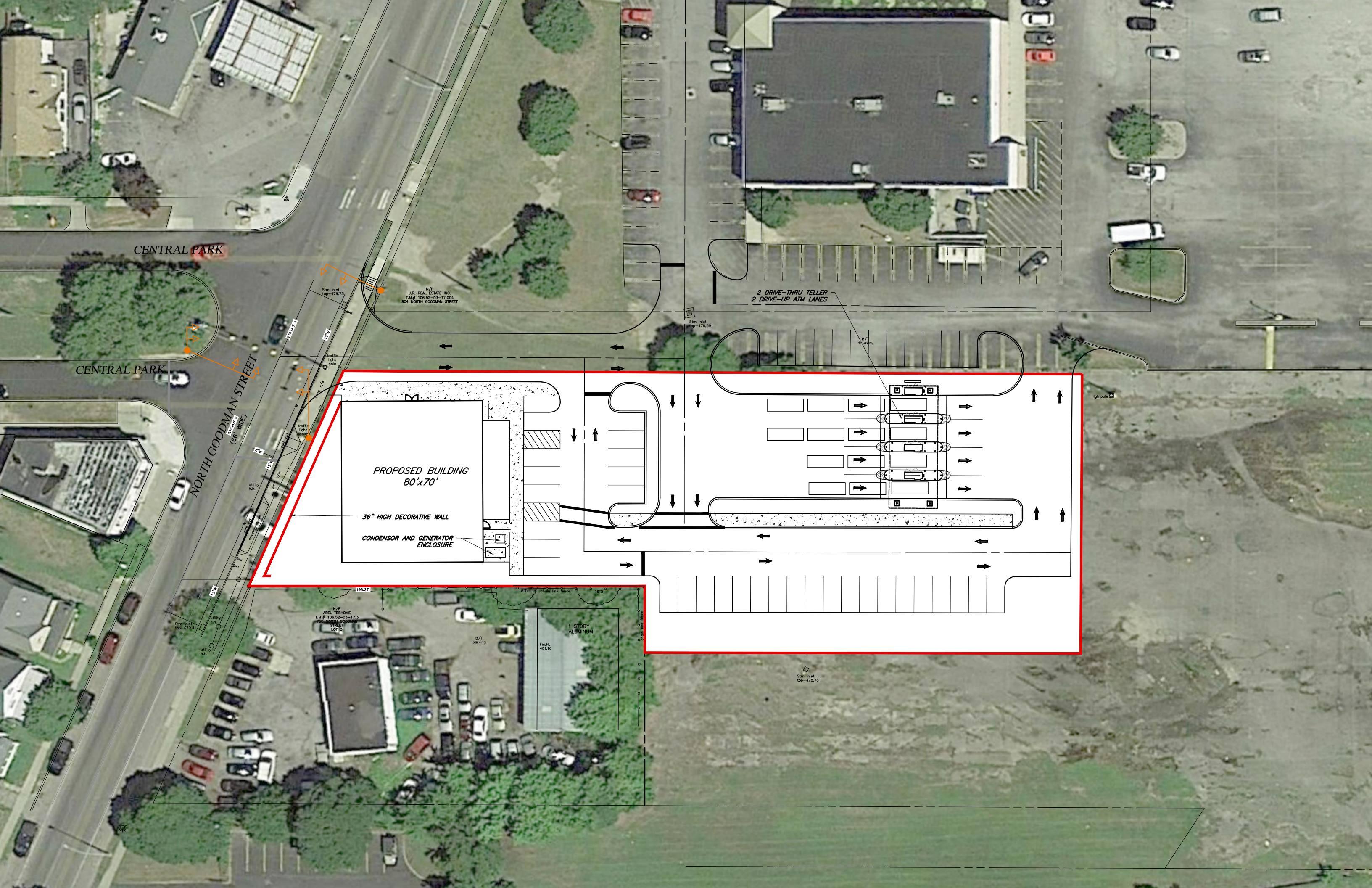
Floor Plan

SHEET NO.

A-1

SCALE: As noted  
DRAWN BY: BRM  
CHECKED BY: BRM  
DATE: Oct 2021  
DRAWING:





CENTRAL PARK

CENTRAL PARK

NORTH GOODMAN STREET  
(66' WIDE)

N/F  
J.R. REAL ESTATE INC.  
T.M.# 106.52-03-17.004  
804 NORTH GOODMAN STREET

2 DRIVE-THRU TELLER  
2 DRIVE-UP ATM LANES

PROPOSED BUILDING  
80'x70'

36" HIGH DECORATIVE WALL

CONDENSOR AND GENERATOR  
ENCLOSURE

N/F  
ABEL TESHOME  
T.M.# 106.52-03-17.3  
786 NORTH GOODMAN  
STREET  
LOT 3

1 STORY  
ALUMINUM

Slim Inlet  
top=478.76