

**Proposed Legislation for the
February 21, 2023 City Council Meeting**

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*** * Please Note * ***

For questions, call the City Clerk's Office at 585-428-7421



City of Rochester

City Hall Room 308A, 30 Church Street
Rochester, New York 14614-1290
www.cityofrochester.gov

**PARKS & PUBLIC WORKS
INTRODUCTORY NO.**

34

Malik D. Evans
Mayor

DES01

January 31, 2023

TO THE COUNCIL

Ladies and Gentlemen:

Re: Amendatory Agreement – LaBella Associates,
D.P.C. - Goodman Firehouse Improvement Project

Council Priority: Creating and Sustaining a Culture of
Vibrancy

Comprehensive Plan 2034 Initiative Area:
Sustaining Green & Active Systems

Transmitted herewith for your approval is legislation related to the Goodman Firehouse Improvement Project. This legislation will:

1. Amend Section 1 of Ordinance No. 2021-409 to amend the funding of the agreement by reducing the 2021-22 Cash Capital by \$100,000 and replacing with \$100,000 of American Rescue Plan Act (ARPA) funds as appropriated in Ordinance No. 2022-313; and,
2. Authorize an amendatory agreement with LaBella Associates, D.P.C. (Steve Metzger, C.E.O., 300 State Street, Suite 201, Rochester, New York) to provide additional design, bid and construction administration services for the project. The original agreement for \$240,000 was authorized in December 2021 (Ordinance No. 2021-409). This amendment will increase the maximum compensation by \$325,000 to a new maximum total of \$565,000. The amendatory compensation will be funded by \$325,000 of American Rescue Plan Act (ARPA) funds as appropriated in Ordinance No. 2022-313.

The original project scope consisted of mechanical, electrical and plumbing system upgrades and limited renovations to the existing bathrooms and interior. The project scope is being expanded to include additional ARPA funded high priority facility improvements that include, but are not limited to, the addition of gender neutral bathroom and bunkroom facilities and related building system, code compliance and site renovations.

Design services associated with this amendatory agreement will commence in spring 2023. Project construction is anticipated to begin in spring 2024 with substantial completion in fall 2025.

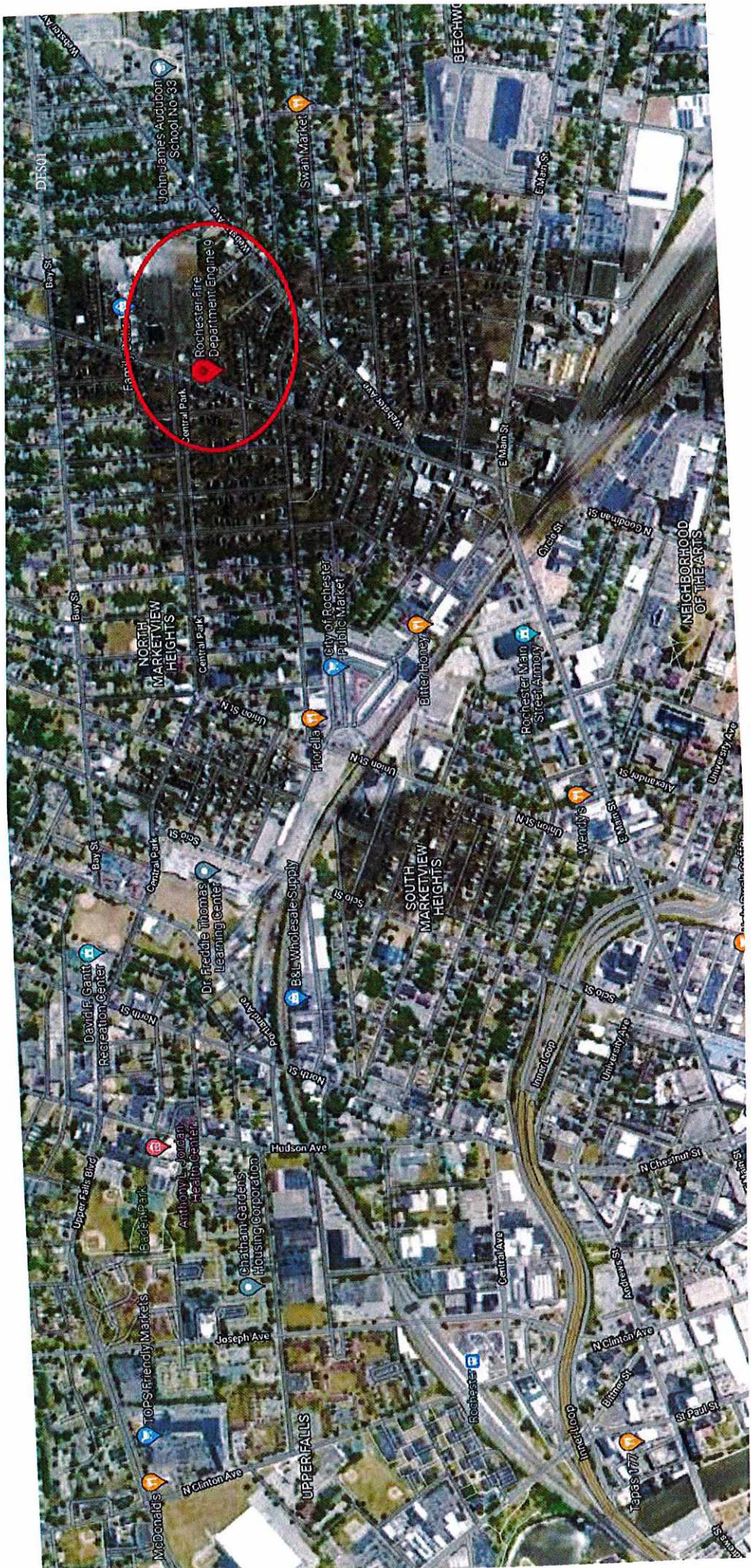
This proposed legislation has been developed by the Department of Environmental Services (DES) in collaboration with the Rochester Fire Department (RFD).

The term of the agreement shall remain unchanged, and shall extend until three (3) months after completion of the two (2) year guarantee inspection of the project.

Respectfully submitted,

Malik D. Evans
Mayor





Rochester Fire Department Engine 6

John James Audubon School No. 33

Central Park

NORTH MARKETVIEW HEIGHTS

Dr. Freddie Thomas Learning Center

Anthony L. Joseph Health Center

Chatham Gardens Housing Corporation

McDonald's

Swain Market

City of Rochester Public Market

B & L Wholesale Supply

Hudson Ave

UPPER FALLS

BEECHWOOD

City of Rochester Public Market

SOUTH MARKETVIEW HEIGHTS

Central Ave

Rochester

NEIGHBORHOOD OF THE ARTS

Wendy's

Chatham St

St Paul St

INTRODUCTORY NO.

34

Ordinance No.

Authorizing an amendatory agreement and amending Ordinance No. 2021-409 relating to the Goodman Firehouse Improvement project

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. Section 1 of Ordinance No. 2021-409, authorizing an agreement for the Goodman Firehouse Improvement Project, is hereby amended as follows:

Section 1. The Mayor is hereby authorized to enter into a professional services agreement with LaBella Associates, D.P.C. for architectural and engineering design services for the Goodman Firehouse Improvement Project (Project). The maximum compensation for the agreement shall be \$240,000, which shall be funded in the amount of \$140,000 from 2021-22 Cash Capital and in the amount of \$100,000 from the American Rescue Plan Act funds appropriated in Ordinance No. 2022-313. The term of the agreement shall continue to three months after completion of a two-year guarantee inspection of the Project.

Section 2. The Mayor is hereby authorized to enter into an amendatory agreement with LaBella Associates, D.P.C. to provide additional design, bid, and construction administration services for the Goodman Firehouse Improvement project (Project). The amendatory agreement shall amend the existing agreement authorized by Ordinance No. 2021-409 to increase the maximum compensation by \$325,000 to a new total of \$565,000. The amendatory compensation shall be funded from the American Rescue Plan Act funds appropriated in Ordinance No. 2022-313. The term of the amendatory agreement shall extend until three months after completion of the two-year guarantee inspection of the Project.

Section 3. The amendatory agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 4. This ordinance shall take effect immediately.

Strikeout indicates deleted text, new text is underlined



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**PARKS & PUBLIC WORKS
INTRODUCTORY NO.**

35

Malik D. Evans
Mayor

DES02

January 31, 2023

TO THE COUNCIL

Ladies and Gentlemen:

Re: Amendatory Agreement – Architectura, P.C. –
Broad and Allen Firehouse Priority Facility
Improvements

Council Priority: Creating and Sustaining a Culture of
Vibrancy

Comprehensive Plan 2034 Initiative Area:
Sustaining Green & Active Systems

Transmitted herewith for your approval is legislation related to the Broad and Allen Firehouse Priority Facility Improvements project. This legislation will authorize an amendatory agreement with Architectura, P.C., (Jennifer Takatch, C.E.O., 17 Pitkin St, Suite 100 Rochester, New York) to provide additional design, bid and construction administration services for the project. The original agreement for \$90,000 was authorized in December 2021 (Ordinance No. 2021-402). This amendment will increase the maximum compensation by \$540,000 to a maximum total of \$630,000 and will be funded with American Rescue Plan Act (ARPA) funds as appropriated in Ordinance No. 2022-313.

The original project scope consisted of renovation of the existing kitchen with stainless steel cabinets and countertops, lighting upgrades, new flooring, and a code complaint exhaust hood and fire suppression system. The project scope is being expanded to include additional ARPA funded high priority facility improvements that include, but are not limited to, the addition of gender neutral bathroom and bunkroom facilities and related building system, code compliance and site renovations.

Design services associated with this amendatory agreement will commence in spring 2023. Project construction is anticipated to begin in spring 2024 with substantial completion in fall 2025.

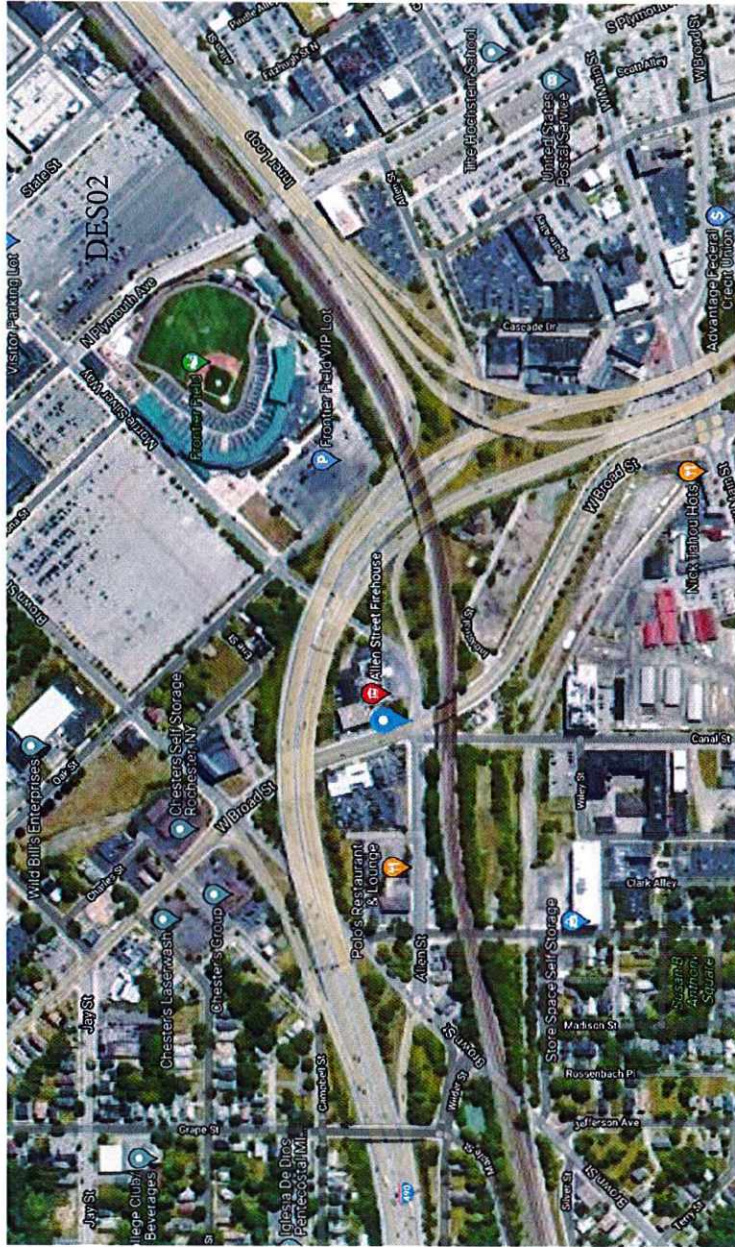
This proposed legislation has been developed by the Department of Environmental Services (DES) in collaboration with the Rochester Fire Department (RFD).

The term of the agreement shall remain unchanged, and shall extend until three (3) months after the completion of the two (2) year guarantee inspection of the project.

Respectfully submitted,

Malik D. Evans
Mayor





INTRODUCTORY NO.

35

Ordinance No.

Authorizing an amendatory agreement relating to the Broad and Allen Firehouse Priority Facility Improvements project

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into an amendatory agreement with Architectura, P.C. to provide additional design, bid, and construction administration services for the Broad and Allen Firehouse Priority Facility Improvements project (Project). The amendatory agreement shall amend the existing agreement authorized by Ordinance No. 2021-402 to increase the maximum compensation by \$540,000 to a new maximum total of \$630,000. The amendatory compensation shall be funded by American Rescue Plan Act funds appropriated in Ordinance No. 2022-313. The term of the amendatory agreement shall extend until three months after completion of the two-year guarantee inspection of the Project.

Section 2. The amendatory agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. This ordinance shall take effect immediately.



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**PARKS & PUBLIC WORKS
INTRODUCTORY NO.**

36, 37, 38, 39, 40

Malik D. Evans
Mayor

DES03

January 31, 2023

TO THE COUNCIL

Ladies and Gentlemen:

Re: 2023 Milling and Resurfacing Project
Brooks Avenue (Genesee Park Boulevard to
Genesee Street), Jefferson Avenue (Champlain
Street to West Main Street), Thurston Road (Genesee
Park Boulevard to Arnett Boulevard)

Council Priority: Jobs and Economic Development

Comprehensive Plan 2034 Initiative Area:
Sustaining Green and Active Systems

Transmitted herewith for your approval is legislation related to the Milling and Resurfacing Project, which includes segments of Brooks Avenue, Jefferson Avenue and Thurston Road as described above. The legislation will:

1. Authorize an amendatory agreement with Fisher Associates, P.E., L.S., L.A., D.P.C. (Roseann B. Schmid, C.E.O, 180 Charlotte Street, Rochester, New York) to provide additional engineering design and construction administration services for the project. The original agreement for \$400,000 was authorized in November 2021 (Ordinance No. 2021-362). This amendment will increase the maximum compensation by \$50,000 to a maximum total of \$450,000. The amendment will be funded with \$5,000 of 2018-19 and \$45,000 of 2020-21 Cash Capital.
2. Appropriate \$275,000 in anticipated reimbursements from the New York State Department of Transportation (NYSDOT) to finance a portion of the construction for the project; and,
3. Authorize the issuance of street bonds totaling \$3,339,000 and the appropriation of the proceeds thereof to finance the street portion of the construction and Resident Project Representation (RPR) services for the project; and,
4. Authorize the issuance of water bonds totaling \$281,000 and the appropriation of the proceeds thereof to finance the water portion of the construction and RPR services for the project; and,
5. Reappropriate \$4,759.42 of unspent Community Development Block Grant (CDBG) funds from the Residential Street Rehabilitation allocation of the 2016-17 Annual Action Plan for infrastructure improvements, previously authorized by Ordinance No. 2016-310 for continued use in the construction for the project; and,
6. Appropriate \$390,511 of CDBG funds from the Residential Street Rehabilitation allocation of the 2022-23 Annual Action Plan for infrastructure improvements to partially finance a portion of the construction for the project; and,



7. Establish \$450,000 as maximum compensation for a professional services agreement with Joseph C. Lu Engineering, PC (Cletus Ezenwa, CEO, 280 East Broad Street, Suite 170, Rochester, New York) for RPR services for the project. The cost of the agreement will be funded from the sources outlined in the chart below.

The project will include, but is not limited to milling and resurfacing of the pavement, spot curb replacement, installation or upgrade of sidewalk curb ramps, adjustment and repair of manholes, receiving basins, and water valve castings, replacement of traffic pavement markings and the addition of on-street bicycle facilities. The project also includes the installation of speed humps on Reynolds Street from Seward Street to West Main Street. These improvements will enhance the surface drainage and riding quality of the roadway, improve ADA accessibility, and expand the useful life of the pavement structure.

The project was designed by Fisher Associates, P.E., L.S., L.A., D.P.C. as authorized by Ordinance No. 2022-362.

Joseph C. Lu Engineering, PC was selected for RPR Services through a Request for Proposal process, which is described in the attached summary.

Bids for construction were received on December 28, 2022. The apparent low bid of \$4,493,245 was submitted by Ramsey Constructors, Inc. (Chris Ramsey, CEO, 5711 Gateway Park, Lakeville, New York).

The project will be funded as follows:

Source of Funds	Survey	Design	Construction	Street Lighting	RPR	Contingency	Total
Bonds authorized in Ordinance No. 2021-361	57,500	342,500	0	0	0	0	\$400,000
NYS DOT Aid appropriated herein	0	0	275,000	0	0	0	\$275,000
Bonds appropriated herein	0	0	2,760,246.08	73,500	340,205	165,048.92	\$3,339,000
Water bonds appropriated herein	0	0	246,321.20	0	22,660	12,018.80	\$281,000
CDBG funds appropriated herein	0	0	390,511	0	0	0	\$390,511
Reappropriated unspent CDBG funds Ordinance No. 2016-310	0	0	4,759.42	0	0	0	\$4,759.42
Pure Waters reimbursement appropriated in concurrent ordinance	0	0	202,000	0	0	0	\$202,000
Pure Waters reimbursement appropriated Ordinance No. 2022-021	0	0	53,000	0	0	0	\$53,000
Pure Waters reimbursement appropriated Ordinance No. 2021-085	0	0	94,000	0	0	0	\$94,000
Pure Waters reimbursement appropriated Ordinance No. 2020-360	0	0	16,886.60	0	0	18,000	\$34,886.60
2018-19 Cash Capital	0	5,000	53,826.96	0	0	0	\$58,826.96
2019-20 Cash Capital	0	0	36,095.04	0	2,000	0	\$38,095.04
2020-21 Cash Capital	0	102,500	282,598.70	0	0	0	\$385,098.70
2021-22 Cash Capital	0	0	0	0	85,135	0	\$85,135
2022-23 Cash Capital	0	0	78,000	0	0	0	\$78,000

Total:	\$57,500	\$450,000	\$4,493,245	\$73,500	\$450,000	\$195,067.72	\$5,719,312.72
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Construction is anticipated to begin in spring 2023 with substantial completion in fall 2023. The construction of the project will result in the creation and/or retention of the equivalent of 54.7 full-time jobs. The amendatory agreement will result in the creation and/or retention of the equivalent of 0.5 full-time jobs.

The term of the agreement shall extend until three (3) months after the completion of the two (2) year guarantee inspection of the project.

Respectfully submitted,



Malik D. Evans
Mayor

Vendor / Consultant Selection Process Summary

Department: ENVIRONMENTAL SERVICES
Project / Service Title: 2023 MILLING & RESURACING / RPR SERVICES
Consultant Selected: JOSEPH C. LU ENGINEERING (dba Lu Engineers)
Method of selection: X Request for Proposal [Complete 1-7]
 ___ Request for Qualifications [Complete 1-7]
 ___ From the NY State Department of Transportation list of pre-approved regional engineering firms [Complete 4-7]

1. Date RFP / RFQ issued: DECEMBER 1, 2022

2. The RFP / RFQ was sent directly to:

Arcadis	Rochester, NY 14604
Barton & Loguidice, DPC	Rochester, NY 14614
Bergmann Associates	Rochester, NY 14604
C&S Companies	Rochester, NY 14614
CHA Consulting, Inc.	Rochester, NY 14614
Clark Patterson Lee (CPL)	Rochester, NY 14604
DiDonato Associates	Buffalo, NY 14203
Erdman Anthony	Rochester, NY 14620
Fisher Associates	Rochester, NY 14607
Greenman-Pedersen, Inc. (GPI)	Rochester, NY 14604
Hunt Engineers, DPC	Rochester, NY 14614
Kubit Engineering, PLLC	Tonawanda, NY 14120
LaBella Associates, DPC	Rochester, NY 14614
LaLand Baptiste, LLC	Rochester, NY 14614
Liro Engineers	Rochester, NY 14614
Joseph C. Lu Engineers, PC	Rochester, NY 14604
Passero Associates	Rochester, NY 14614
Popli Design Group	Penfield, NY 14526
Prudent Engineering, LLP	Rochester, NY 14614
Ravi Engineering & LS, PC	Rochester, NY 14618
Stantec Consulting Services	Rochester, NY 14614
T.Y. Lin International	Rochester, NY 14604
Vanguard Engineering, PC	Rochester, NY 14608

3. Proposals were received from:

Clark Patterson Lee (CPL)	Rochester, NY 14604
Erdman Anthony	Rochester, NY 14620
Fisher Associates	Rochester, NY 14607
LaBella Associates, DPC	Rochester, NY 14614
Liro Engineers	Rochester, NY 14614
Joseph C. Lu Engineers, PC	Rochester, NY 14604

4. Evaluation criteria

<u>Criteria</u>	<u>Weighting Points possible</u>	<u>Points received by FIRM</u>
Firm Qualifications	10.00	8.80
Team Qualifications	50.00	40.40
Technical Proposal	40.00	29.00
SUBTOTAL (TT)	100	78.20 ~ 78

Bonus Points

City business: (+10% of total)	7.80
Prime is an MWBE: (+10% of total)	7.80
Prime uses 10% - 20% MWBE subs (+5% of total)	0.00
Prime uses 20%+ MWBE subs (+10% of total)	7.80
<u>Workforce goals for M & W met (+10% of total)</u>	<u>7.80</u>
BONUS POINTS SUBTOTAL (BP)	31.20 ~ 31

TOTAL POINTS RECEIVED by the Firm: TT + BP =	109.40 ~ 109
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5. Review team included staff from: DES / Construction (4); DES / Street Design (1)

6. Additional considerations /explanations: None

7. MWBE Officer has reviewed the recommended firm's proposal for MWBE and Workforce goals.

MWBE Officer Initials: *SMD*

Date: *1/3/2023*

Form date 1/4/19

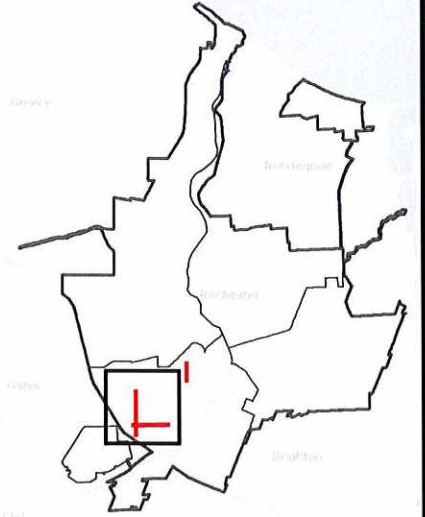
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2023 Milling and Resurfacing Project Bicycle Facilities

Brooks Avenue - Genesee St to Gensee Pk Blvd
Thurston Road - Arnett Blvd to Genesee Park Blvd

Map 1 of 2

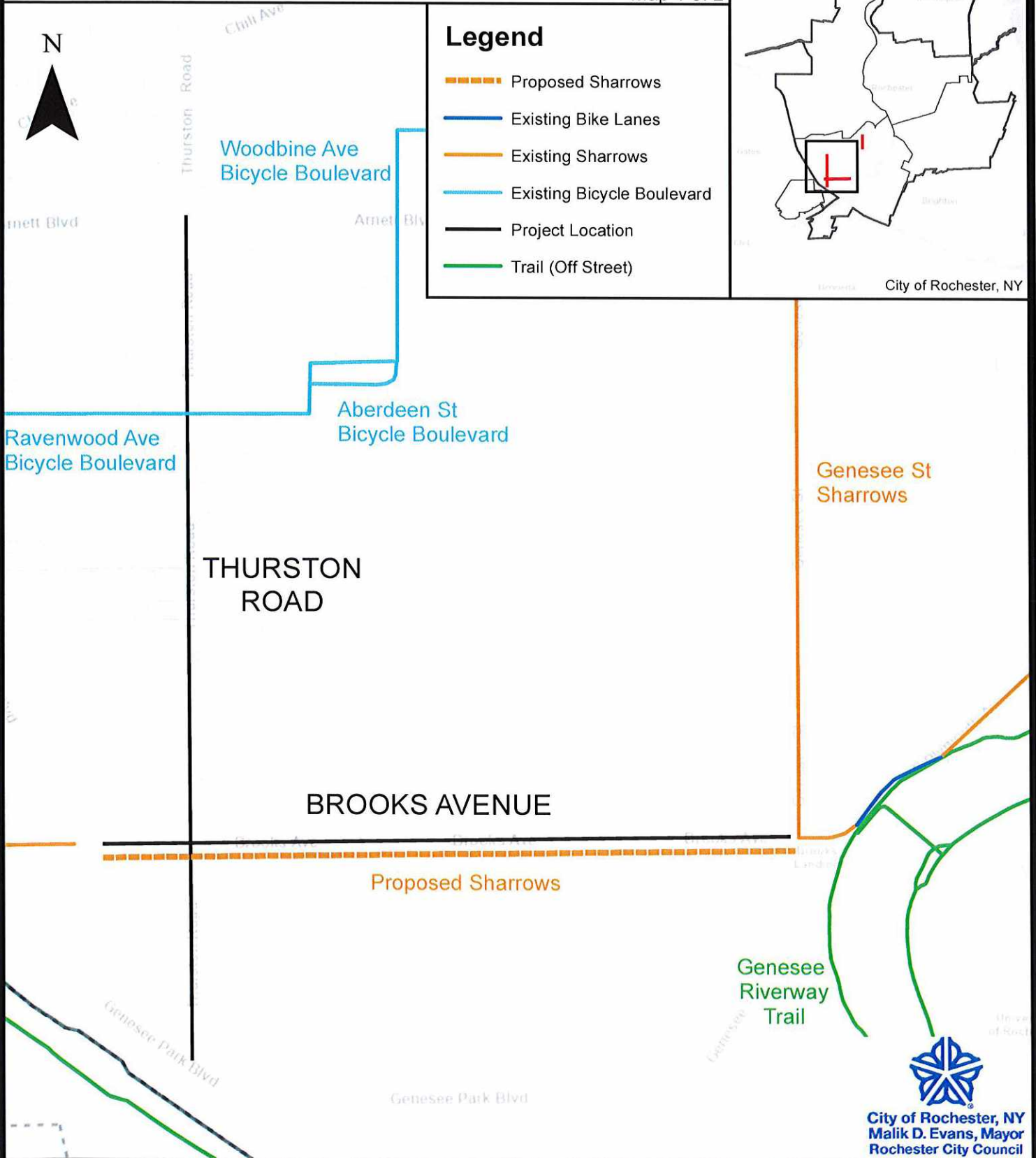
DES03



City of Rochester, NY

Legend

- Proposed Sharrows
- Existing Bike Lanes
- Existing Sharrows
- Existing Bicycle Boulevard
- Project Location
- Trail (Off Street)

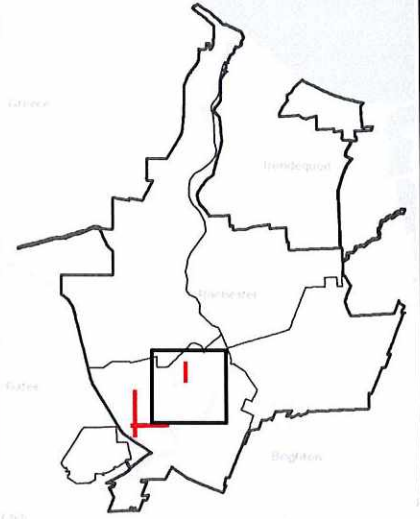


2023 Milling and Resurfacing Project Bicycle Facilities

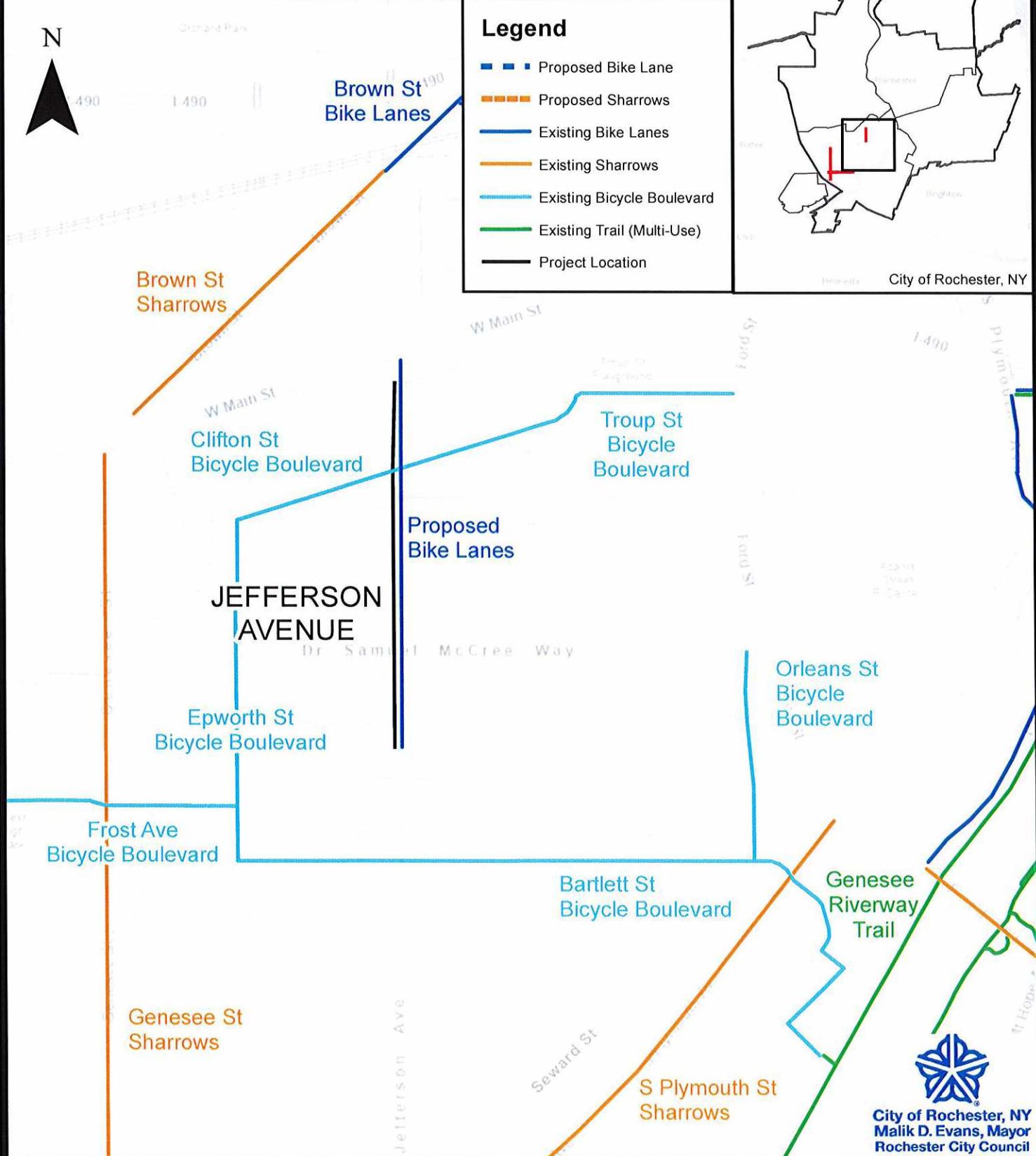
Jefferson Avenue - Champlain St to W Main St

Map 2 of 2

DES03



City of Rochester, NY



City of Rochester, NY
Malik D. Evans, Mayor
Rochester City Council

INTRODUCTORY NO.**36**

Ordinance No.

Authorizing an amendatory agreement for the 2023 Milling and Resurfacing Project

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into an amendatory professional services agreement with Fisher Associates, P.E., L.S., L.A., D.P.C. to provide additional engineering design and construction administration services for the 2023 Milling and Resurfacing Project for Brooks Avenue (Genesee Park Boulevard to Genesee Street), Jefferson Avenue (Champlain Street to West Main Street) and Thurston Road (Genesee Park Boulevard to Arnett Boulevard) (the Project). Council hereby authorizes amending the agreement authorized in Ordinance No. 2021-362 by increasing the maximum compensation by \$50,000 to a new total of \$450,000. The amendatory compensation shall be funded in the amounts of \$5,000 in 2018-19 Cash Capital and \$45,000 in 2020-21 Cash Capital.

Section 2. The amendatory agreement shall contain such additional terms and conditions as the Mayor deems to be appropriate.

Section 3. This ordinance shall take effect immediately.

INTRODUCTORY NO.

37

Ordinance No.

Appropriating funds for the 2023 Milling and Resurfacing Project

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Council hereby appropriates the sum of \$275,000 in anticipated reimbursements from the New York State Department of Transportation to fund a portion of the construction costs for the 2023 Milling and Resurfacing Project for Brooks Avenue (Genesee Park Boulevard to Genesee Street), Jefferson Avenue (Champlain Street to West Main Street) and Thurston Road (Genesee Park Boulevard to Arnett Boulevard) (the Project).

Section 2. The Council hereby appropriates the sum of \$395,270.42 in Community Development Block Grant funds to the Project, comprised of \$4,759.42 from the Residential Street Rehabilitation allocation of the 2016-17 Annual Action Plan and \$390,511 from the Residential Street Rehabilitation allocation of the 2022-23 Annual Action Plan

Section 3. This ordinance shall take effect immediately.

INTRODUCTORY NO.

38

Ordinance No.

Bond Ordinance of the City of Rochester, New York authorizing the issuance of \$3,339,000 Bonds of said City to finance the 2023 Milling and Resurfacing Project for Brooks Avenue (Genesee Park Boulevard to Genesee Street), Jefferson Avenue (Champlain Street to West Main Street) and Thurston Road (Genesee Park Boulevard to Arnett Boulevard)

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The City of Rochester, in the County of Monroe, New York (herein called "City"), is hereby authorized to finance a portion of the cost of the 2023 Milling and Resurfacing Project for Brooks Avenue (Genesee Park Boulevard to Genesee Street), Jefferson Avenue (Champlain Street to West Main Street) and Thurston Road (Genesee Park Boulevard to Arnett Boulevard) that includes milling and resurfacing of the pavement, spot curb replacements, installing or upgrading sidewalk curb ramps, adjusting and repairing manholes and receiving basins, and replacing traffic pavement markings along the above listed street segments (the "Project"). The estimated maximum cost of said class of objects or purposes, including preliminary costs and costs incidental thereto and the financing thereof, is \$5,521,312.72. The plan of financing includes the issuance of \$3,339,000 bonds of the City, which amount is hereby appropriated for the Project, \$400,000 from the proceeds of bonds appropriated in Ordinance No. 2021-361, \$275,000 in anticipated reimbursements from the New York State Department of Transportation appropriated to the Project in a concurrent ordinance, \$395,270.42 in funds appropriated from the Residential Street Rehabilitation project allocations of the 2016-17 and 2022-23 Annual Action Plans in a concurrent ordinance, \$202,000 in anticipated Monroe County Pure Waters reimbursements authorized in a concurrent ordinance for sewer work associated with street improvement projects, \$53,000 in anticipated Monroe County Pure Waters reimbursements authorized in Ordinance No. 2022-21 for sewer work associated with street improvement projects, \$94,000 in anticipated Monroe County Pure Waters reimbursements authorized in Ordinance No. 2021-85 for sewer work associated with street improvement projects, \$34,886.60 in anticipated Monroe County Pure Waters reimbursements authorized in Ordinance No. 2020-360 for sewer work associated with street improvement projects, \$53,826.96 in 2018-19 Cash Capital, \$36,095.04 in 2019-20 Cash Capital, \$375,098.70 in 2020-21 Cash Capital, \$85,135 in 2021-22 Cash Capital, \$78,000 in 2022-23 Cash Capital and the levy and collection of taxes on all the taxable real property in the City to pay the principal of said bonds and the interest thereon as the same shall become due and payable.

Section 2. Bonds of the City in the principal amount of \$3,339,000 are hereby authorized to be issued pursuant to the Constitution and laws of the State of New York, including the provisions of the Local Finance Law, constituting Chapter 33-a of the Consolidated Laws of the State of New York (herein called the "Law"), this Ordinance, and other proceedings and determinations related thereto.

Section 3. The City intends to finance, on an interim basis, the costs or a portion of the costs of said improvements for which bonds are herein authorized, which costs are reasonably expected to be reimbursed with the proceeds of debt to be incurred by the City, pursuant to this Ordinance, in the amount of \$3,339,000. This Ordinance is a declaration of official intent adopted pursuant to the requirements of Treasury Regulation Section 1.150-2.

Section 4. The period of probable usefulness of said class of objects or purposes described in Section 1 of this Ordinance, within the limitations of 11.00 a. 20(c) of the Law, is fifteen (15) years.

Section 5. Each of the bonds authorized by this Ordinance and any bond anticipation notes issued in anticipation of the sale of said bonds shall contain the recital of validity as prescribed by Section 52.00 of the Law and said bonds and any notes issued in anticipation of said bonds, shall be general obligations of the City, payable as to both principal and interest by an ad valorem tax upon all the taxable real property within the City without limitation as to rate or amount. The faith and credit of the City are hereby irrevocably pledged to the punctual payment of the principal of and interest on said bonds and any notes issued in anticipation of the sale of said bonds and provision shall be made annually in the budget of the City by appropriation for (a) the amortization and redemption of the bonds and any notes in anticipation thereof to mature in such year and (b) the payment of interest to be due and payable in such year.

Section 6. Subject to the provisions of this Ordinance and of said Law, and pursuant to the provisions of Section 30.00 relative to the authorization of the issuance of bond anticipation notes or the renewals thereof, and of Sections 50.00, 56.00 to 60.00 and 168.00 of said Law, the powers and duties of the City Council relative to authorizing the issuance of any notes in anticipation of the sale of the bonds herein authorized, or the renewals thereof, and relative to providing for substantially level or declining debt service, prescribing the terms, form and contents and as to the sale and issuance of the bonds herein authorized, and of any notes issued in anticipation of the sale of said bonds or the renewals of said notes, as well as to executing agreements for credit enhancement, are hereby delegated to the Director of Finance, as the Chief Fiscal Officer of the City.

Section 7. The validity of the bonds authorized by this Ordinance and of any notes issued in anticipation of the sale of said bonds may be contested only if:

(a) such obligations are authorized for an object or purpose for which the City is not authorized to expend money, or

(b) the provisions of law which should be complied with at the date of the publication of such Ordinance are not substantially complied with, and an action, suit or proceeding contesting such validity, is commenced within twenty (20) days after the date of such publication, or

(c) such obligations are authorized in violation of the provisions of the Constitution.

Section 8. This Ordinance shall take effect immediately, and the City Clerk is hereby authorized and directed to publish a summary of the foregoing Ordinance, together with a Notice attached in substantially the form prescribed by Section 81.00 of the Law in "The Daily Record," a newspaper published in Rochester, New York, having a general circulation in the City and hereby designated the official newspaper of said City for such publication.

INTRODUCTORY NO.

39

Ordinance No.

Bond Ordinance of the City of Rochester, New York authorizing the issuance of \$281,000 Bonds of said City to finance water service improvements associated with the 2023 Milling and Resurfacing Project for Brooks Avenue (Genesee Park Boulevard to Genesee Street), Jefferson Avenue (Champlain Street to West Main Street) and Thurston Road (Genesee Park Boulevard to Arnett Boulevard)

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The City of Rochester, in the County of Monroe, New York (herein called "City"), is hereby authorized to finance a portion of the cost of water service improvements, including the adjustment and repair of water valve boxes, associated with the 2023 Milling and Resurfacing Project for Brooks Avenue (Genesee Park Boulevard to Genesee Street), Jefferson Avenue (Champlain Street to West Main Street) and Thurston Road (Genesee Park Boulevard to Arnett Boulevard) (the "Project"). The estimated maximum cost of said class of objects or purposes, including preliminary costs and costs incidental thereto and the financing thereof, is \$298,000. The plan of financing includes the issuance of \$281,000 bonds of the City, which amount is hereby appropriated for the Project, \$5,000 in 2018-19 Cash Capital, \$2,000 in 2019-20 Cash Capital, \$10,000 in 2020-21 Cash Capital and the levy and collection of taxes on all the taxable real property in the City to pay the principal of said bonds and the interest thereon as the same shall become due and payable.

Section 2. Bonds of the City in the principal amount of \$281,000 are hereby authorized to be issued pursuant to the Constitution and laws of the State of New York, including the provisions of the Local Finance Law, constituting Chapter 33-a of the Consolidated Laws of the State of New York (herein called the "Law"), this Ordinance, and other proceedings and determinations related thereto.

Section 3. The City intends to finance, on an interim basis, the costs or a portion of the costs of said improvements for which bonds are herein authorized, which costs are reasonably expected to be reimbursed with the proceeds of debt to be incurred by the City, pursuant to this Ordinance, in the amount of \$281,000. This Ordinance is a declaration of official intent adopted pursuant to the requirements of Treasury Regulation Section 1.150-2.

Section 4. The period of probable usefulness of said class of objects or purposes described in Section 1 of this Ordinance, within the limitations of 11.00 a. 1. of the Law, is forty (40) years.

Section 5. Each of the bonds authorized by this Ordinance and any bond anticipation notes issued in anticipation of the sale of said bonds shall contain the recital of validity as prescribed by Section 52.00 of the Law and said bonds and any notes issued in anticipation of said bonds, shall be general obligations of the City, payable as to both principal and interest by an ad valorem tax upon all the taxable real property within the

City without limitation as to rate or amount. The faith and credit of the City are hereby irrevocably pledged to the punctual payment of the principal of and interest on said bonds and any notes issued in anticipation of the sale of said bonds and provision shall be made annually in the budget of the City by appropriation for (a) the amortization and redemption of the bonds and any notes in anticipation thereof to mature in such year and (b) the payment of interest to be due and payable in such year.

Section 6. Subject to the provisions of this Ordinance and of said Law, and pursuant to the provisions of Section 30.00 relative to the authorization of the issuance of bond anticipation notes or the renewals thereof, and of Sections 50.00, 56.00 to 60.00 and 168.00 of said Law, the powers and duties of the City Council relative to authorizing the issuance of any notes in anticipation of the sale of the bonds herein authorized, or the renewals thereof, and relative to providing for substantially level or declining debt service, prescribing the terms, form and contents and as to the sale and issuance of the bonds herein authorized, and of any notes issued in anticipation of the sale of said bonds or the renewals of said notes, as well as to executing agreements for credit enhancement, are hereby delegated to the Director of Finance, as the Chief Fiscal Officer of the City.

Section 7. The validity of the bonds authorized by this Ordinance and of any notes issued in anticipation of the sale of said bonds may be contested only if:

(a) such obligations are authorized for an object or purpose for which the City is not authorized to expend money, or

(b) the provisions of law which should be complied with at the date of the publication of such Ordinance are not substantially complied with, and an action, suit or proceeding contesting such validity, is commenced within twenty (20) days after the date of such publication, or

(c) such obligations are authorized in violation of the provisions of the Constitution.

Section 8. This Ordinance shall take effect immediately, and the City Clerk is hereby authorized and directed to publish a summary of the foregoing Ordinance, together with a Notice attached in substantially the form prescribed by Section 81.00 of the Law in "The Daily Record," a newspaper published in Rochester, New York, having a general circulation in the City and hereby designated the official newspaper of said City for such publication.

40

Ordinance No.

Authorizing an agreement for the 2023 Milling and Resurfacing Project

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into a professional services agreement with Joseph C. Lu Engineering, PC to provide Resident Project Representation services for the 2023 Milling and Resurfacing Project for Brooks Avenue (Genesee Park Boulevard to Genesee Street), Jefferson Avenue (Champlain Street to West Main Street) and Thurston Road (Genesee Park Boulevard to Arnett Boulevard) (the Project). The term of the agreement shall continue to three months following completion of a two-year guarantee inspection of the Project. The maximum compensation for the agreement shall be \$450,000, which shall be funded in the amounts of \$340,205 from the proceeds of street bonds appropriated in a concurrent ordinance, \$22,660 from the proceeds water bonds appropriated in a concurrent ordinance, \$2,000 in 2019-20 Cash Capital, and \$85,135 in 2021-22 Cash Capital.

Section 2. The agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. This ordinance shall take effect immediately.



City of Rochester

City Hall Room 308A, 30 Church Street
Rochester, New York 14614-1290
www.cityofrochester.gov

Malik D. Evans
Mayor

**PARKS & PUBLIC WORKS
INTRODUCTORY NO.**

41, 42, 43

DES04

January 31, 2023

TO THE COUNCIL

Ladies and Gentlemen:

Re: 2023 Preventive Maintenance Group 1 -
East Avenue (Culver Road to Probert Street),
Culver Road (Garson Avenue to Laurelton Road),
Culver Road (Clifford Avenue to Norton Street),
South Avenue (E. Henrietta Road to Elmwood Avenue),
University Avenue (Culver Road to Blossom Road)

Council Priority: Jobs and Economic Development

Comprehensive Plan 2034 Initiative Area:
Sustaining Green & Active Systems

Transmitted herewith for your approval is legislation related to the 2023 Preventive Maintenance Group 1 Project, which includes segments of East Avenue, Culver Road, South Avenue and University Avenue as described above. This legislation will:

1. Appropriate \$4,200,000 in anticipated reimbursements from the Federal Highway Administration (FHWA) to finance a portion of the construction and Resident Project Representation (RPR) services for the project; and,
2. Appropriate \$180,000 in anticipated reimbursements from the New York State Department of Transportation (NYSDOT) to finance a portion of the construction for the project; and,
3. Authorize the issuance of bonds totaling \$688,000 and the appropriation of the proceeds thereof to partially finance a portion of the construction and RPR services for the project; and,
4. Establish \$750,000 as maximum compensation for a professional services agreement with Greenman-Pedersen, Inc. (Christer Ericsson, C.E.O., 150 State Street, Suite 100, Rochester, New York) for RPR services for the project. The cost of the agreement will be funded from the sources outlined in the chart on the following page.

This is a Federal Aid Project that is administered by the City under an agreement with the New York State Department of Transportation (NYSDOT).

The project includes, but is not limited to milling and resurfacing of the pavement, spot curb and hazardous sidewalk replacements, installation or upgrade of sidewalk curb ramps, adjustment and repair of manholes, receiving basins, and water valve castings, replacement of traffic pavement markings and the addition of on-street bicycle facilities. These improvements will enhance the surface drainage and riding quality of the roadway, improve accessibility for all users, and expand the useful life of the pavement structure.



The project was designed by Erdman, Anthony and Associates, Inc. as authorized by Ordinance No. 2021-241.

Greenman-Pedersen, Inc. was selected for RPR services through a Request for Proposal process, which is described in the attached summary.

Bids for construction were received on December 13, 2022. The apparent low bid of \$4,484,985.50 was submitted by Keeler Construction Co., Inc. (Mark D. Keeler, C.E.O., 13519 West Lee Road, Albion, New York).

The project will be funded as follows:

Source of Funds	Design	Construction	RPR	Contingency	Total
Federal Aid appropriated Ordinance No. 2021-241	480,000	0	0	0	\$480,000
Marchiselli Aid appropriated Ordinance No. 2021-363	90,000	0	0	0	\$90,000
Federal Aid appropriated herein	0	3,587,998	600,002	12,000	\$4,200,000
NYSDOT Aid appropriated herein	0	180,000	0	0	\$180,000
Bonds authorized herein	0	549,076	138,041	833	\$688,000
Pure Waters reimbursement appropriated Ordinance No. 2022-021	0	96,405.50	0	0	\$96,405.50
2021-22 Cash Capital	55,000	0	0	0	\$55,000
2022-23 Cash Capital	0	71,506	11,957	0	\$83,463
Total	\$625,000	\$4,484,985.50	\$750,000	\$12,833	\$5,872,868.50

Construction is anticipated to begin in spring 2023 with substantial completion in fall 2023. The construction of the project will result in the creation and/or retention of the equivalent of 57.0 full-time jobs.

The agreement shall have a term of six (6) months after final completion of the project.

Respectfully submitted,



Malik D. Evans
Mayor

Vendor / Consultant Selection Process Summary

Department: ENVIRONMENTAL SERVICES

Project / Service Title: 2023 PREVENTIVE MAINTENANCE GROUP #1 /
RESIDENT PROJECT REPRESENTATIVE (RPR) SERVICES

Consultant Selected: GREENMAN-PEDERSEN, INC. (GPI)

Method of selection: Request for Proposal [*Complete 1-7*]
 Request for Qualifications [*Complete 1-7*]
 From the NY State Department of Transportation list of pre-approved
Regional Engineering firms [*Complete 4-7*]

1. Date RFP / RFQ issued: November 15, 2022

2. The RFP / RFQ was sent directly to: (NYS Region-4 LDSA Firms)

Barton & Loguidice, D.P.C.	Rochester, NY 14614
Bergmann Associates	Rochester, NY 14604
C&S Companies	Rochester, NY 14614
CHA Consulting, Inc.	Rochester, NY 14614
Clark Patterson Lee (CPL)	Rochester, NY 14604
DiDonato Associates	Buffalo, NY 14203
Erdman Anthony	Rochester, NY 14620
Fisher Associates	Rochester, NY 14607
Greenman-Pedersen, Inc. (GPI)	Rochester, NY 14604
Labella Associates	Rochester, NY 14614
Joseph C. Lu Engineers	Rochester, NY 14604
Popli Design Group (PDG)	Penfield, NY 14526
Ravi Engineering & L.S.	Rochester, NY 14618
Stantec Consulting Services	Rochester, NY 14614
T.Y. Lin International	Rochester, NY 14604

3. Proposals were received from:

Bergmann Associates	Rochester, NY 14604
Erdman Anthony	Rochester, NY 14620
Fisher Associates	Rochester, NY 14607
Greenman-Pedersen, Inc. (GPI)	Rochester, NY 14604
Labella Associates	Rochester, NY 14614

4. Evaluation criteria

<u>Criteria</u>	<u>Weighting Points possible</u>	<u>Points received by FIRM</u>
<i>Understanding of work to be done</i>	20	15.6
<i>Experience w/ similar work/projects</i>	20	14.0
<i>Quality of proposed staff</i>	30	18.6
<i>Familiarity w/ Fed & State Requirements</i>	15	9.9
<i>Logistics & familiarity w/ project area</i>	15	12.0
SUBTOTAL	100	70.1

Bonus Points

Not allowed per Federal / State Aid (Local Design Service Agreement) requirements

TOTAL POINTS RECEIVED by the Firm Selected: = 70.1

5. Review team included staff from: DES / Construction (4); DES / Street Design (1)

6. Additional considerations/explanations:

Evaluation process / criteria was based off the 2023 NYSDOT, Region 4 Local Design Service Agreement (LDSA) criteria. All firms on the list certify that they met the Federal DBE goals (>20%) as established for the project. Progress toward City workforce goals will be tracked during the course of the project.

7. MWBE Officer has reviewed the recommended firm's proposal for M/W/DBE and Workforce goals.

MWBE Officer Initials: *SMD* Date: 12/21/2022

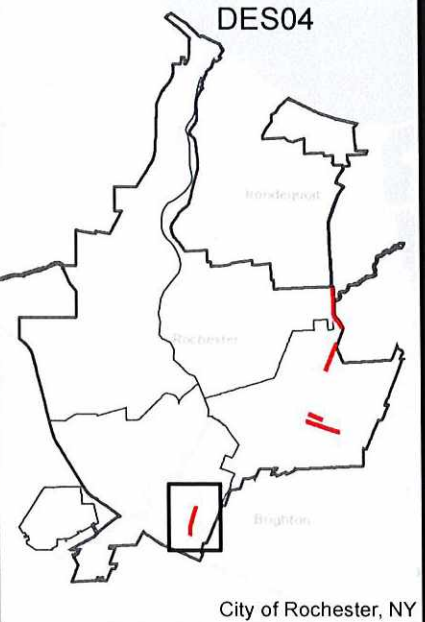
Form date 1/4/19

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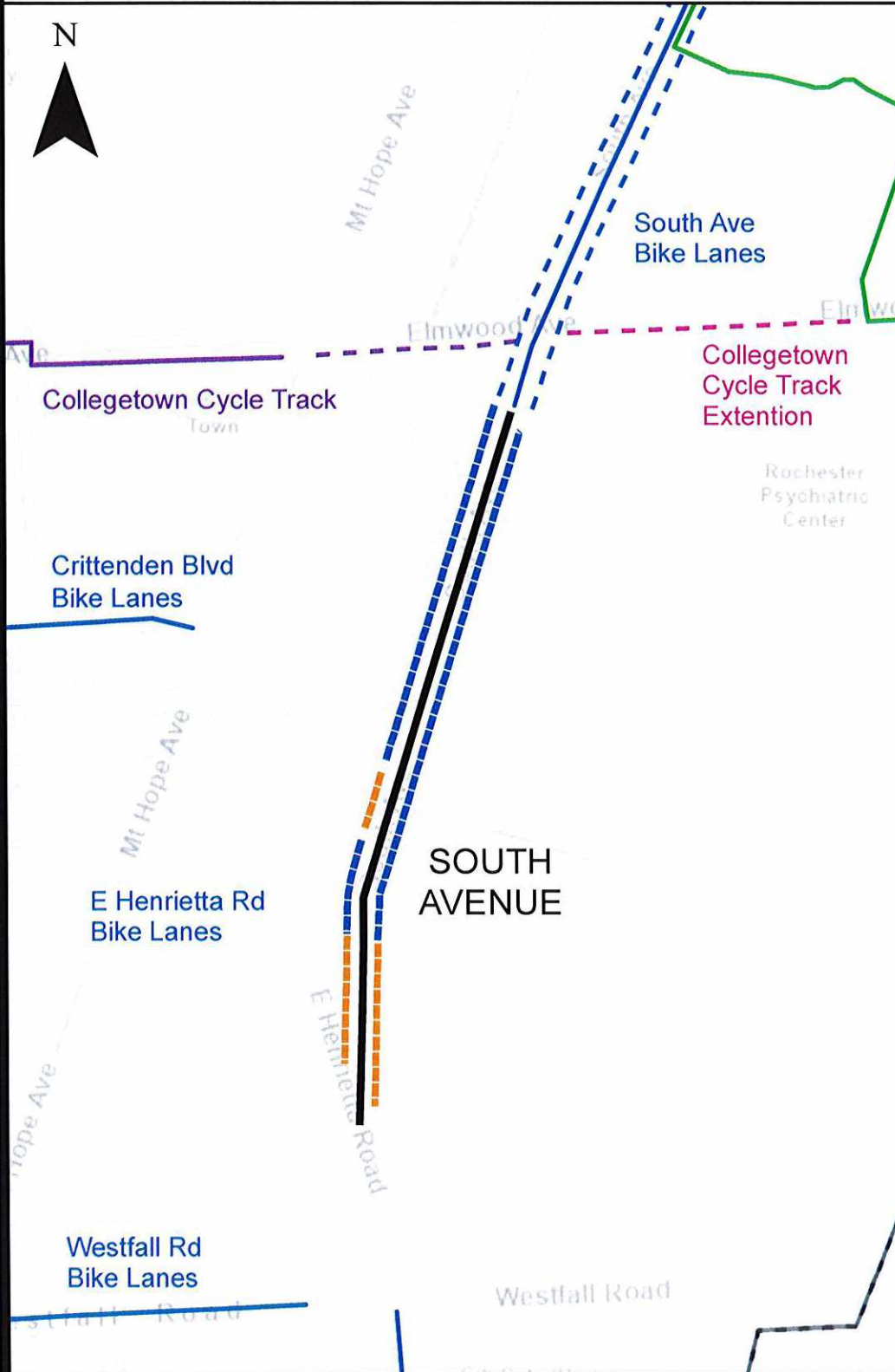
2023 PREVENTIVE MAINTENANCE GROUP 1

South Avenue - E Henrietta Rd to Elmwood Ave

Map 1 of 3



City of Rochester, NY



Legend

- — — Proposed Bike Lane
- — — Proposed Shared Use Lanes
- - - Future Sidewalk Trail
- - - Future Cycle Track
- - - Future Bike Lanes
- — — Existing Two-way Cycle Track
- — — Existing Bike Lanes
- — — Existing Shared-Use Path
- — — Project Location

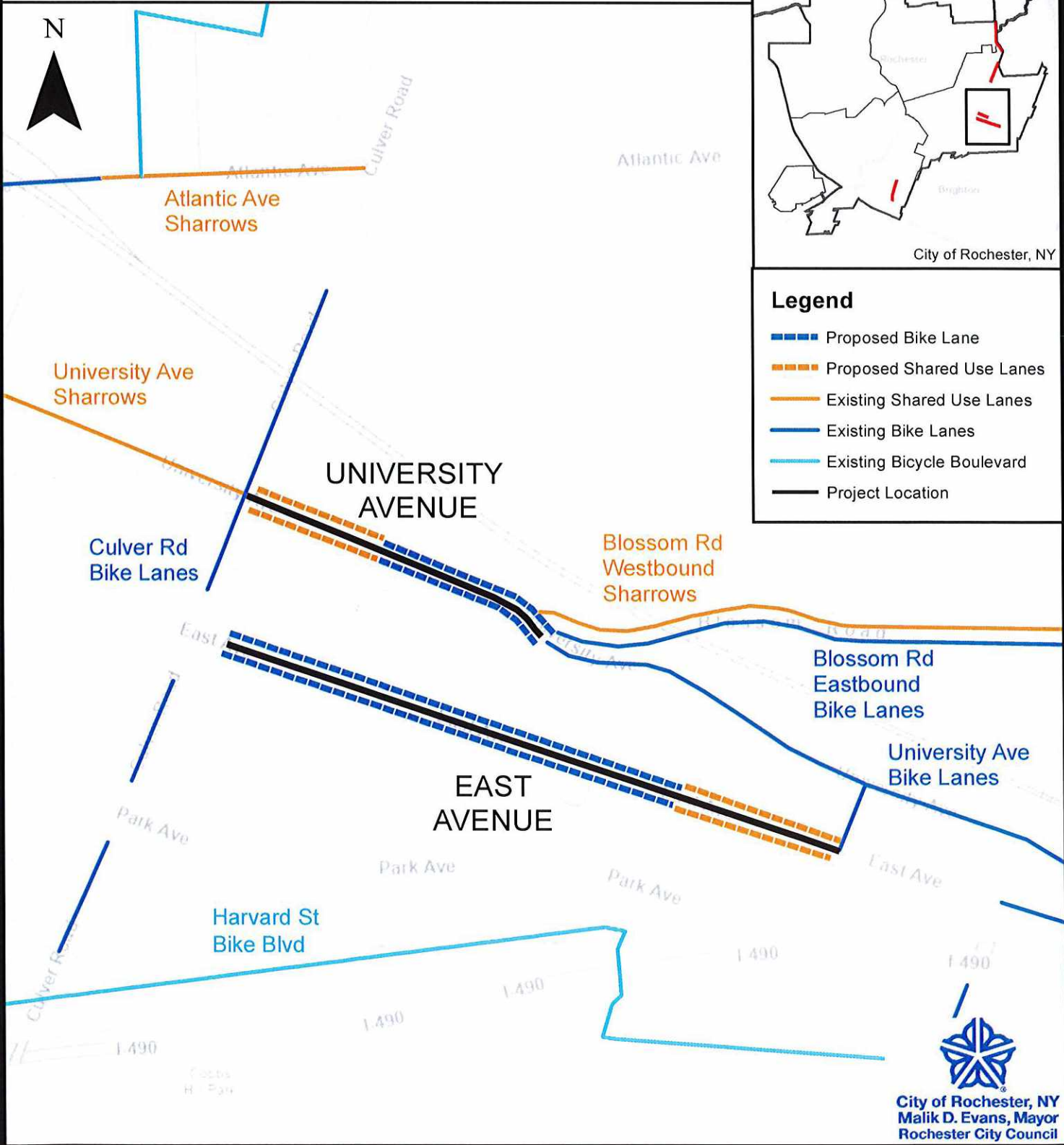
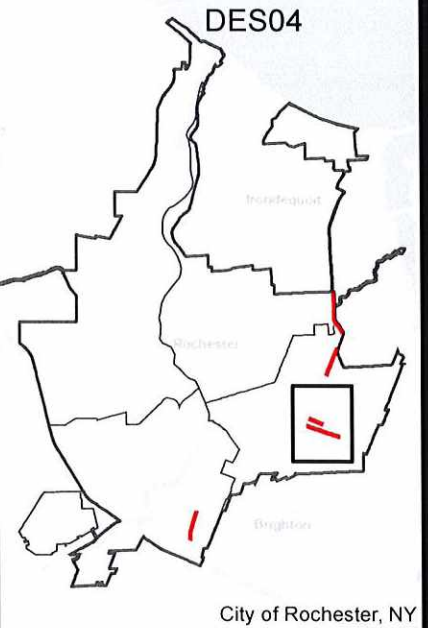


City of Rochester, NY
 Malik D. Evans, Mayor
 Rochester City Council

2023 PREVENTIVE MAINTENANCE GROUP 1

University Avenue - Culver Rd to Blossom Rd
East Avenue - Culver Rd to Probert St

Map 2 of 3



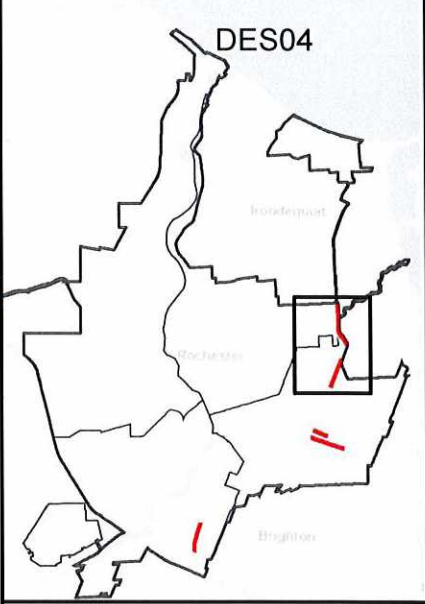
Legend

- Proposed Bike Lane
- Proposed Shared Use Lanes
- Existing Shared Use Lanes
- Existing Bike Lanes
- Existing Bicycle Boulevard
- Project Location

2023 PREVENTIVE MAINTENANCE GROUP 1

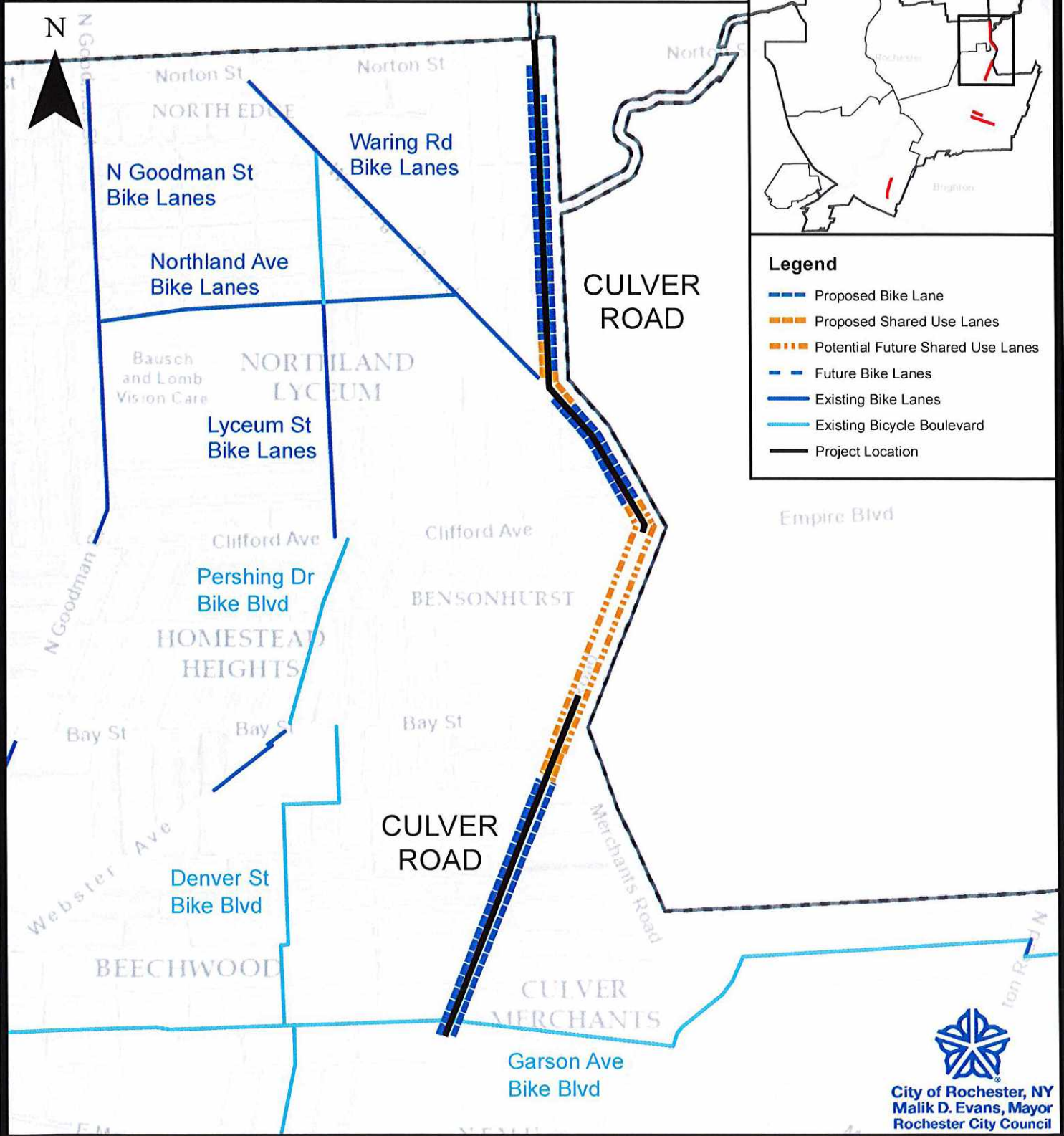
Culver Road - Garson Ave to Laurelton Rd
 Culver Road - Clifford Ave to Norton St

Map 3 of 3



Legend

- Proposed Bike Lane
- Proposed Shared Use Lanes
- - - Potential Future Shared Use Lanes
- - - Future Bike Lanes
- Existing Bike Lanes
- Existing Bicycle Boulevard
- Project Location



Appropriating funds for the 2023 Preventive Maintenance Group 1 project

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Council hereby appropriates the sum of \$4,200,000 in anticipated reimbursements from the Federal Highway Administration to fund a portion of the construction and Resident Project Representation costs for the 2023 Preventive Maintenance Group 1 project for East Avenue (Culver Road to Probert Street), Culver Road (Garson Avenue to Laurelton Road), Culver Road (Clifford Avenue to Norton Street), South Avenue (E. Henrietta Road to Elmwood Avenue) and University Avenue (Culver Road to Blossom Road) (the Project).

Section 2. The Council hereby appropriates the sum of \$180,000 in anticipated reimbursements from the New York State Department of Transportation to fund a portion of the construction costs for the Project.

Section 3. This ordinance shall take effect immediately.

42

Ordinance No.

Bond Ordinance of the City of Rochester, New York authorizing the issuance of \$688,000 Bonds of said City to finance the 2023 Preventive Maintenance Group 1 for East Avenue (Culver Road to Probert Street), Culver Road (Garson Avenue to Laurelton Road), Culver Road (Clifford Avenue to Norton Street), South Avenue (E. Henrietta Road to Elmwood Avenue) and University Avenue (Culver Road to Blossom Road)

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The City of Rochester, in the County of Monroe, New York (herein called "City"), is hereby authorized to finance a portion of the costs for the 2023 Preventive Maintenance Group 1 project for East Avenue (Culver Road to Probert Street), Culver Road (Garson Avenue to Laurelton Road), Culver Road (Clifford Avenue to Norton Street), South Avenue (E. Henrietta Road to Elmwood Avenue) and University Avenue (Culver Road to Blossom Road) including pavement milling and resurfacing, spot curb and hazardous sidewalk replacements, installation or upgrade of sidewalk curb ramps, replacement of traffic pavement markings, and adjustment and repair of manholes, receiving basins, and water valve castings in and along the above listed street segments (the "Project"). The estimated maximum cost of said class of objects or purposes, including preliminary costs and costs incidental thereto and the financing thereof, is \$5,872,868.50. The plan of financing includes the issuance of \$688,000 bonds of the City, the proceeds of which are hereby appropriated to the Project, \$480,000 in anticipated reimbursements from the Federal Highway Administration (FHWA) authorized in Ordinance No. 2021-241, \$90,000 in NYS Marchiselli Aid Program reimbursements appropriated in Ordinance No. 2021-363, \$4,200,000 in anticipated reimbursements from the FHWA appropriated in a concurrent ordinance, \$180,000 in anticipated reimbursements from the New York State Department of Transportation appropriated in a concurrent ordinance, \$96,405.50 in anticipated reimbursements from the Rochester Pure Waters District authorized in Ordinance No. 2022-21, \$55,000 from 2021-22 Cash Capital, \$83,463 from 2022-23 Cash Capital and the levy and collection of taxes on all the taxable real property in the City to pay the principal of said bonds and the interest thereon as the same shall become due and payable.

Section 2. Bonds of the City in the principal amount of \$688,000 are hereby authorized to be issued pursuant to the Constitution and laws of the State of New York, including the provisions of the Local Finance Law, constituting Chapter 33-a of the Consolidated Laws of the State of New York (herein called the "Law"), this Ordinance, and other proceedings and determinations related thereto.

Section 3. The City intends to finance, on an interim basis, the costs or a portion of the costs of said improvements for which bonds are herein authorized, which costs are reasonably expected to be reimbursed with the proceeds of debt to be incurred by

the City, pursuant to this Ordinance, in the amount of \$688,000. This Ordinance is a declaration of official intent adopted pursuant to the requirements of Treasury Regulation Section 1.150-2.

Section 4. The period of probable usefulness of said class of objects or purposes described in Section 1 of this Ordinance, within the limitations of 11.00 a. 20(c) of the Law, is fifteen (15) years.

Section 5. Each of the bonds authorized by this Ordinance and any bond anticipation notes issued in anticipation of the sale of said bonds shall contain the recital of validity as prescribed by Section 52.00 of the Law and said bonds and any notes issued in anticipation of said bonds, shall be general obligations of the City, payable as to both principal and interest by an ad valorem tax upon all the taxable real property within the City without limitation as to rate or amount. The faith and credit of the City are hereby irrevocably pledged to the punctual payment of the principal of and interest on said bonds and any notes issued in anticipation of the sale of said bonds and provision shall be made annually in the budget of the City by appropriation for (a) the amortization and redemption of the bonds and any notes in anticipation thereof to mature in such year and (b) the payment of interest to be due and payable in such year.

Section 6. Subject to the provisions of this Ordinance and of said Law, and pursuant to the provisions of Section 30.00 relative to the authorization of the issuance of bond anticipation notes or the renewals thereof, and of Sections 50.00, 56.00 to 60.00 and 168.00 of said Law, the powers and duties of the City Council relative to authorizing the issuance of any notes in anticipation of the sale of the bonds herein authorized, or the renewals thereof, and relative to providing for substantially level or declining debt service, prescribing the terms, form and contents and as to the sale and issuance of the bonds herein authorized, and of any notes issued in anticipation of the sale of said bonds or the renewals of said notes, as well as to executing agreements for credit enhancement, are hereby delegated to the Director of Finance, as the Chief Fiscal Officer of the City.

Section 7. The validity of the bonds authorized by this Ordinance and of any notes issued in anticipation of the sale of said bonds may be contested only if:

(a) such obligations are authorized for an object or purpose for which the City is not authorized to expend money, or

(b) the provisions of law which should be complied with at the date of the publication of such Ordinance are not substantially complied with, and an action, suit or proceeding contesting such validity, is commenced within twenty (20) days after the date of such publication, or

(c) such obligations are authorized in violation of the provisions of the Constitution.

Section 8. This Ordinance shall take effect immediately, and the City Clerk is hereby authorized and directed to publish a summary of the foregoing Ordinance, together with a Notice attached in substantially the form prescribed by Section 81.00 of the Law in "The Daily Record," a newspaper published in Rochester, New York, having a general circulation in the City and hereby designated the official newspaper of said City for such publication.

INTRODUCTORY NO.

43

Ordinance No.

Authorizing an agreement for the 2023 Preventive Maintenance Group 1 project

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into a professional services agreement with Greenman-Pedersen, Inc. to provide Resident Project Representation services for the 2023 Preventive Maintenance Group 1 project for East Avenue (Culver Road to Probert Street), Culver Road (Garson Avenue to Laurelton Road), Culver Road (Clifford Avenue to Norton Street), South Avenue (E. Henrietta Road to Elmwood Avenue) and University Avenue (Culver Road to Blossom Road) (the Project). The term of the agreement shall continue to six months after final completion of the Project. The maximum compensation for the agreement shall be \$750,000, which shall be funded in the amounts of \$600,002 in anticipated reimbursements from the Federal Highway Administration appropriated in a concurrent ordinance, \$138,041 from the proceeds of bonds appropriated in a concurrent ordinance, and \$11,957 in 2022-23 Cash Capital.

Section 2. The agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. This ordinance shall take effect immediately.



City of Rochester

City Hall Room 308A, 30 Church Street
Rochester, New York 14614-1290
www.cityofrochester.gov

Malik D. Evans
Mayor

**PARKS & PUBLIC WORKS
INTRODUCTORY NO.**

44, 45

DES05

January 31, 2023

TO THE COUNCIL

Ladies and Gentlemen:

Re: Hazardous Sidewalk Replacement Program
Northwest Quadrant Contract 2023 – Phase 4

Council Priority: Jobs and Economic Development

Comprehensive Plan 2034 Initiative Area:
Sustaining Green and Active Systems

Transmitted herewith for your approval is legislation related to the Hazardous Sidewalk Replacement Program Northwest Quadrant Contract 2023 – Phase 4. The legislation will:

1. Authorize the issuance of bonds totaling \$2,600,000 and the appropriation of the proceeds thereof to partially finance a portion of the construction for the project; and,
2. Authorize an amendatory agreement with Vanguard Engineering, P.C. (Joseph C. Ardieta, C.E.O., 133 South Fitzhugh Street, Rochester, New York) to provide additional Resident Project Representation (RPR) services for the project. The original agreement, authorized in February 2022 (Ordinance No. 2022-58) established maximum compensation at \$300,000 for a term of one year with the option to extend for up to two additional periods of one year each. This amendment will extend the agreement by one year and increase the maximum compensation by \$200,000 to a maximum total of \$500,000. The cost of the agreement will be funded from the sources outlined in the chart on the following page.

The project will replace sidewalk flags that are in hazardous condition in the Northwest quadrant of the City.

The project was designed by the City of Rochester Bureau of Architecture and Engineering Street Design Division.

Bids for construction were received on December 13, 2022. The apparent low bid of \$3,213,875 was submitted by Espana Enterprises, LLC (Scott Spring, C.E.O., 174 Colvin Street, Rochester, New York).

The project will be funded as follows:

Source of Funds	Construction	RPR	Contingency	Total
Bonds authorized herein	2,600,000	0	0	\$2,600,000
2019-20 Cash Capital	170,665.75	200,000	0	\$370,665.75
2020-21 Cash Capital	227,821.24	300,000	0	\$527,821.24



2021-22 Cash Capital	215,388.01	0	200,000	\$415,388.01
Total	\$3,213,875	\$500,000	\$200,000	\$3,913,875

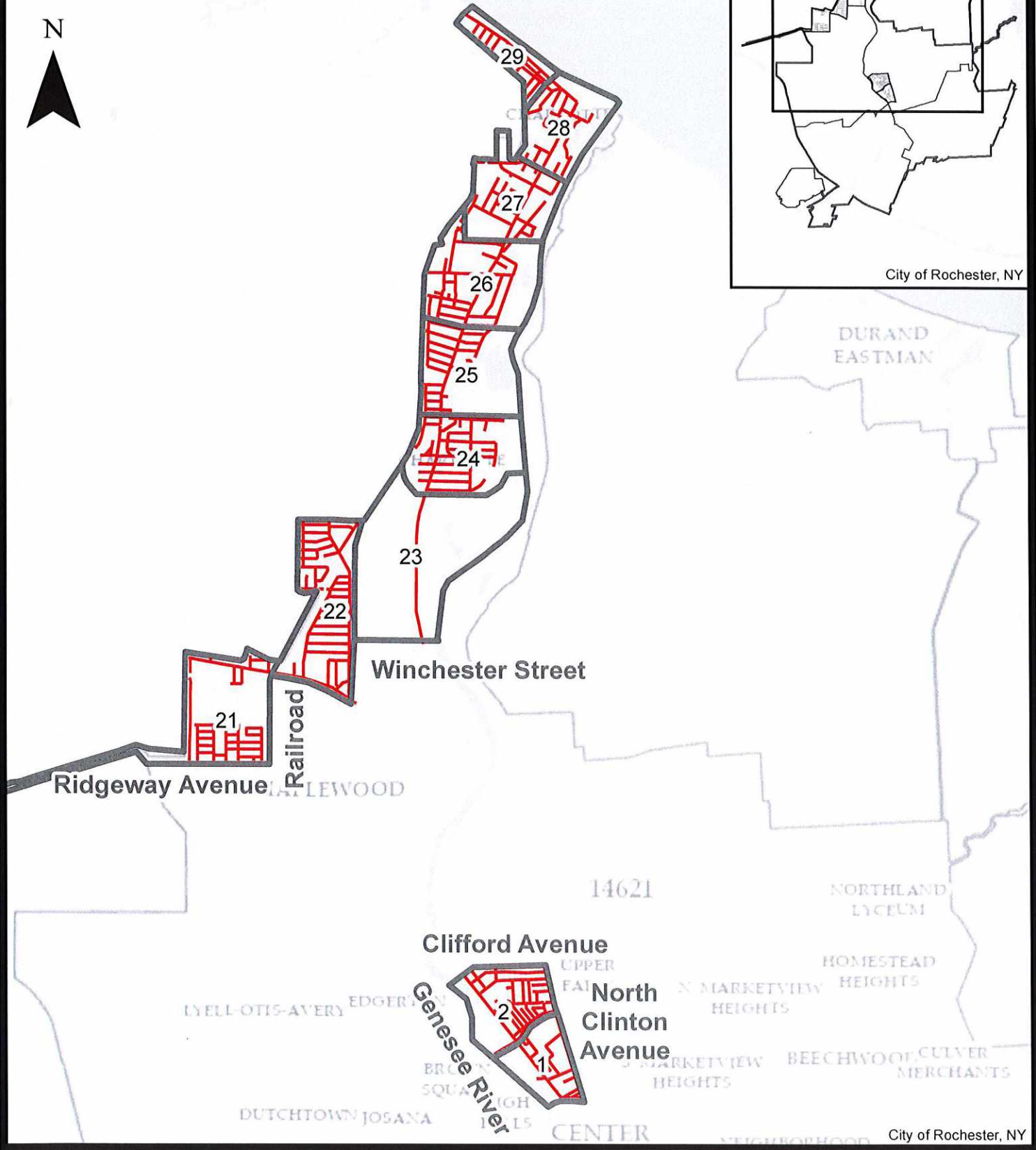
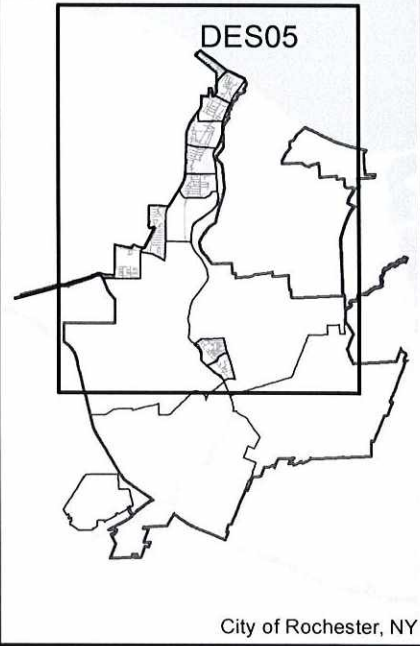
Construction is anticipated to begin in spring 2023 with substantial completion in fall 2023. The construction of the project will result in the creation and/or retention of the equivalent of 39.3 full-time jobs.

Respectfully submitted,



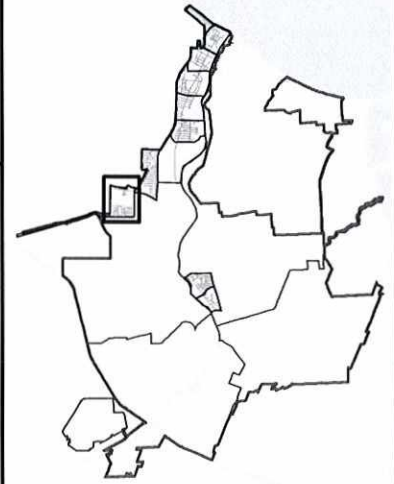
Malik D. Evans
Mayor

Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4

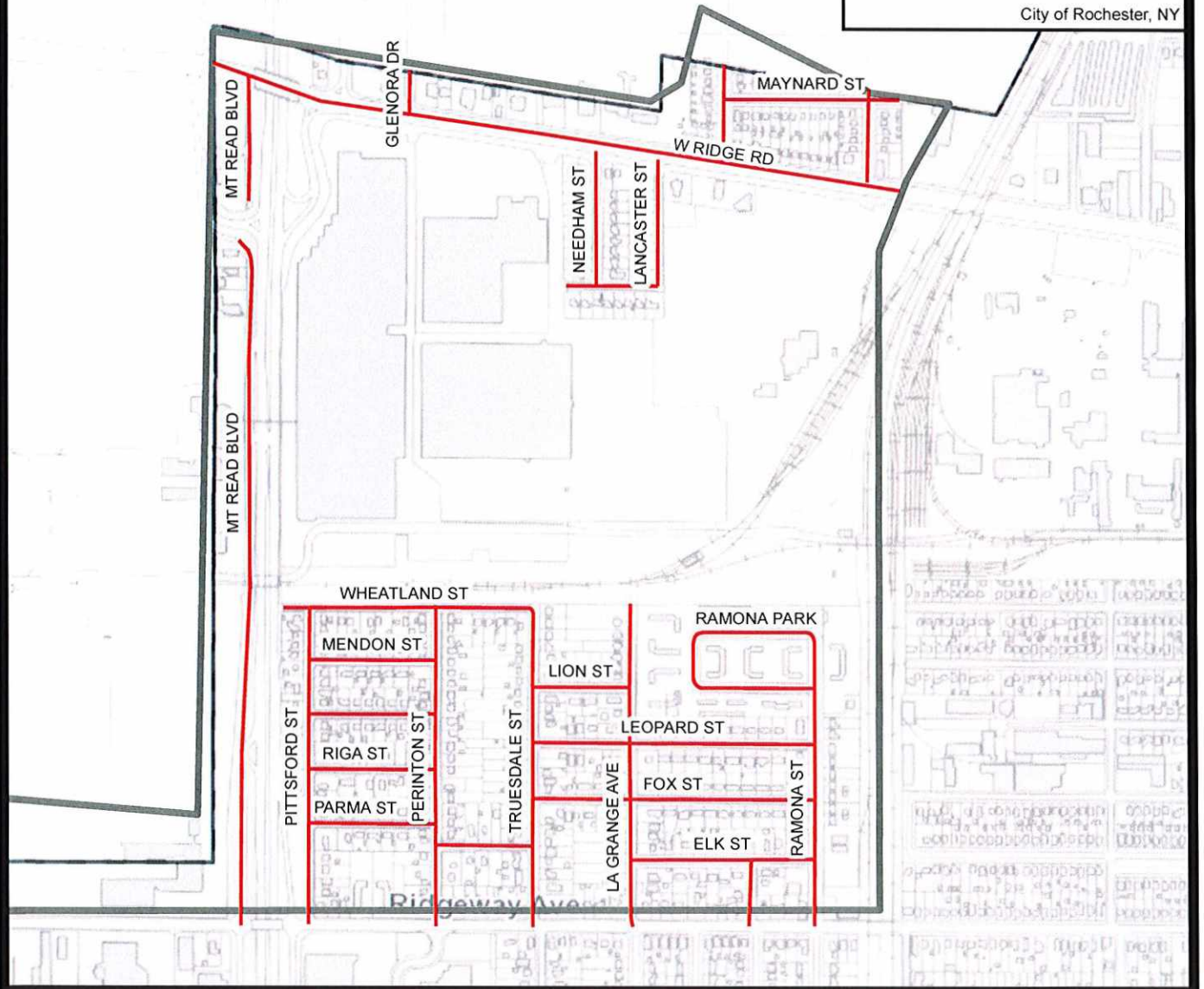


Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 21

DES05

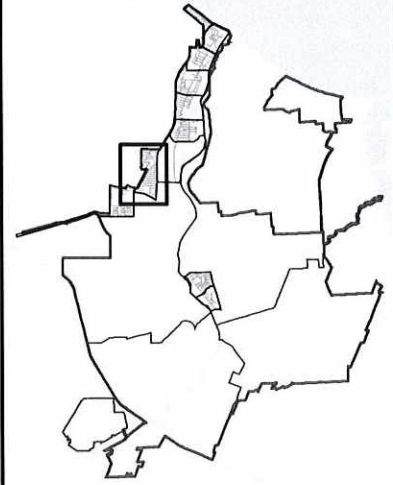


City of Rochester, NY



Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 22

DES05



City of Rochester, NY

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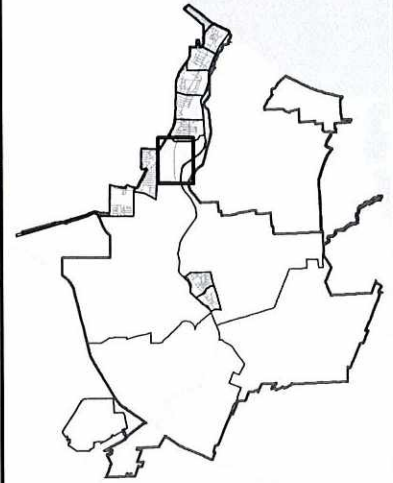


Mc Call Rd

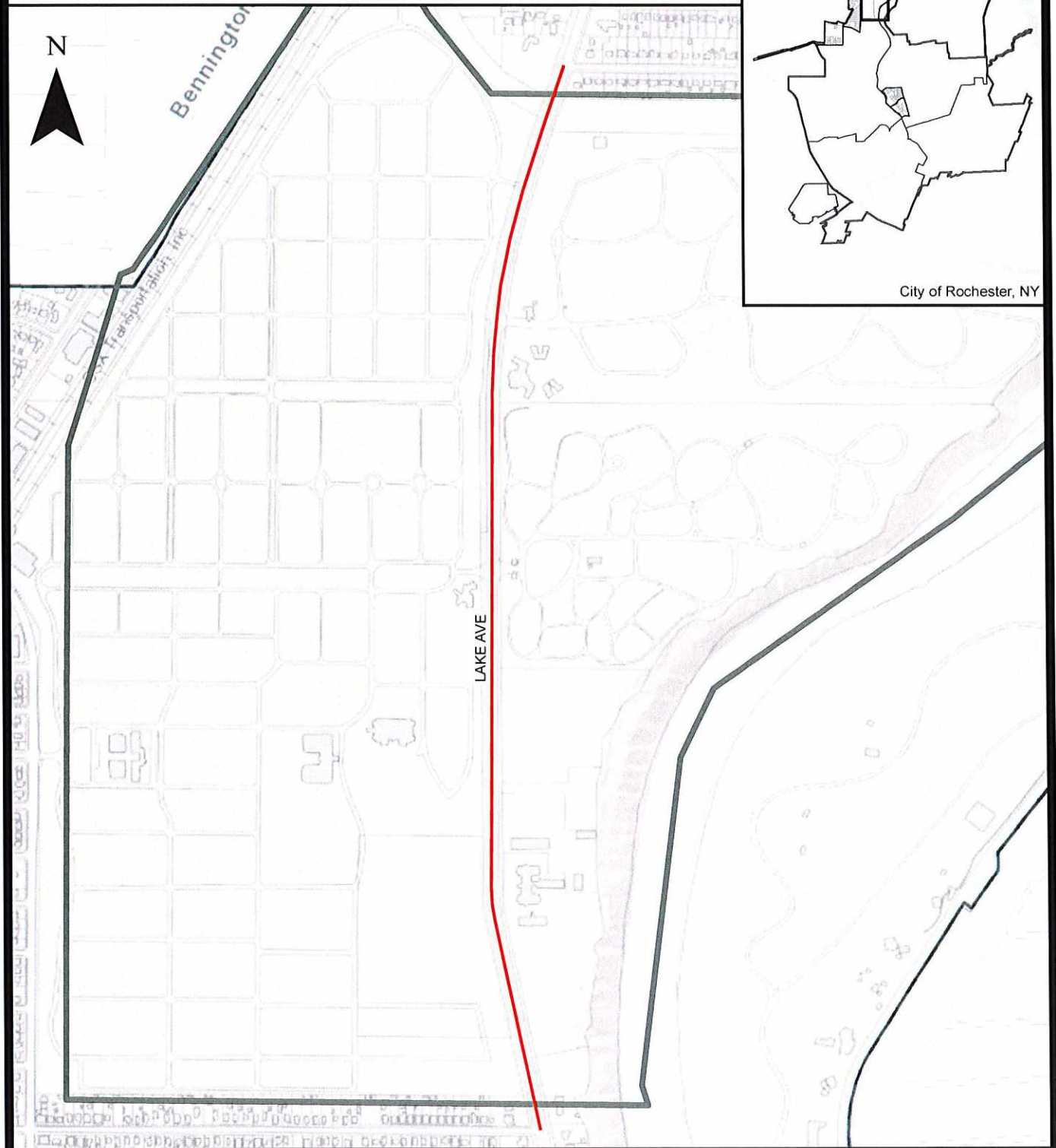


Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 23

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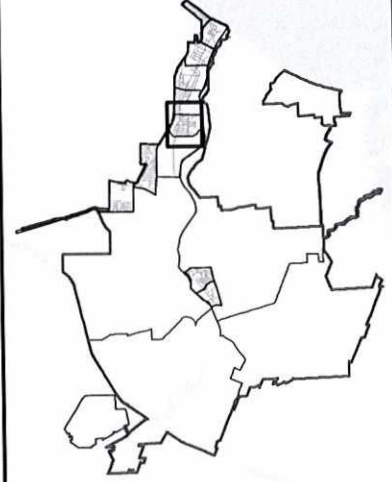


City of Rochester, NY

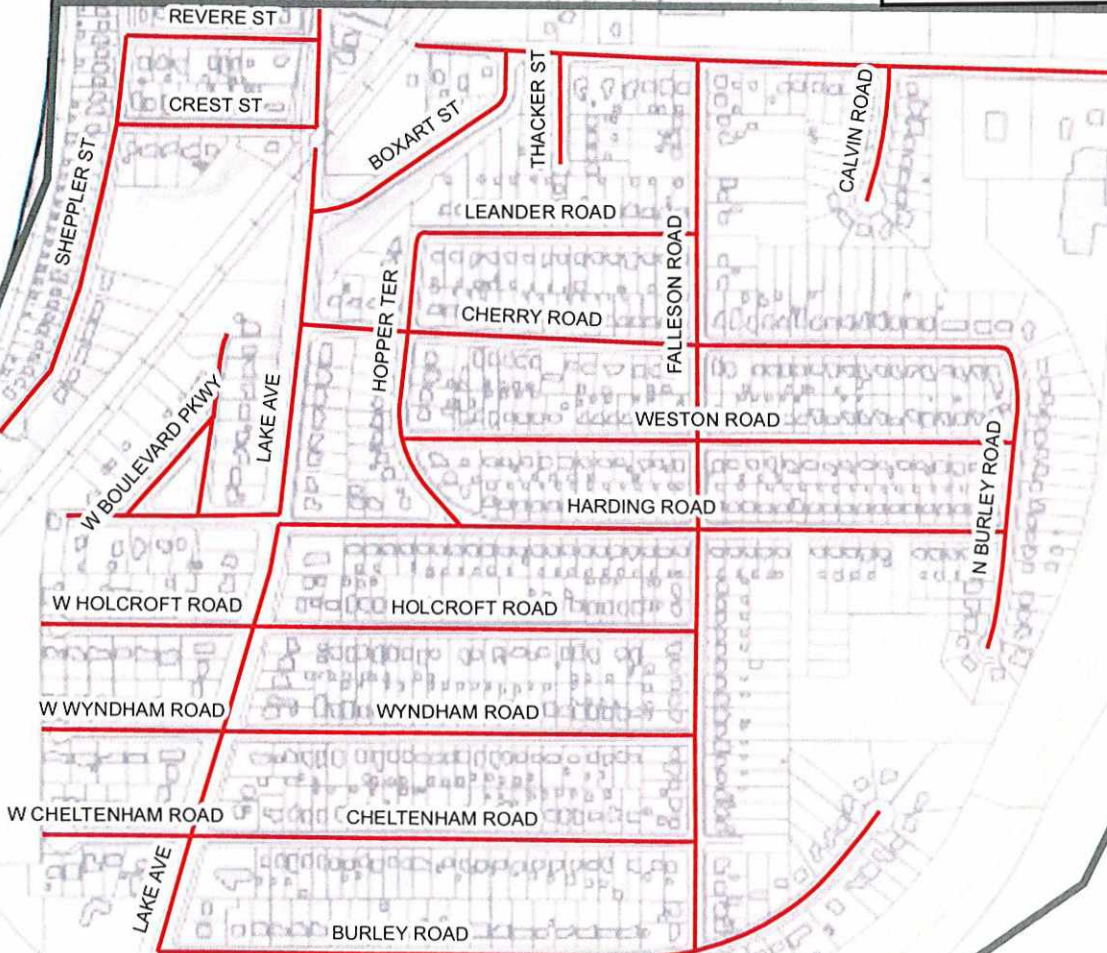


Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 24

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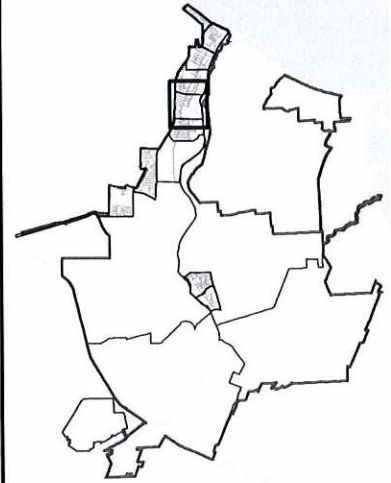


City of Rochester, NY

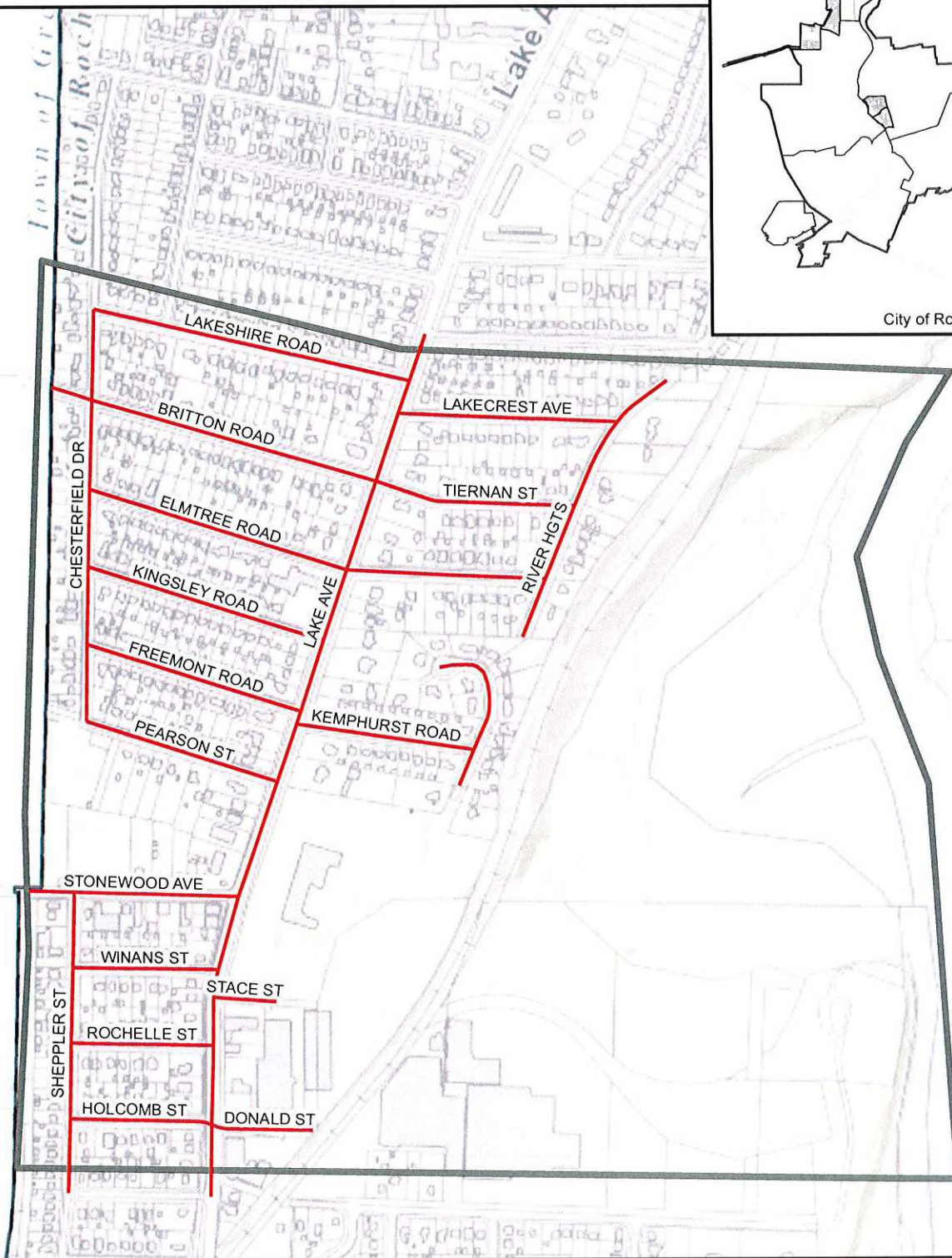


Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 25

DES05

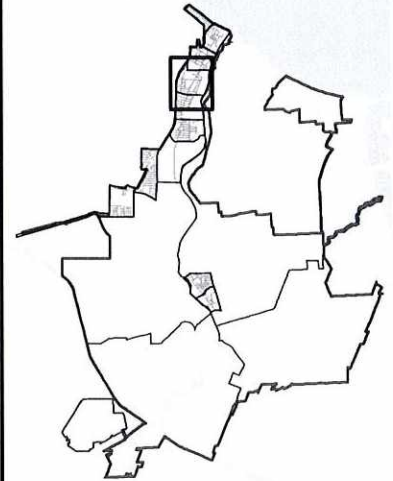


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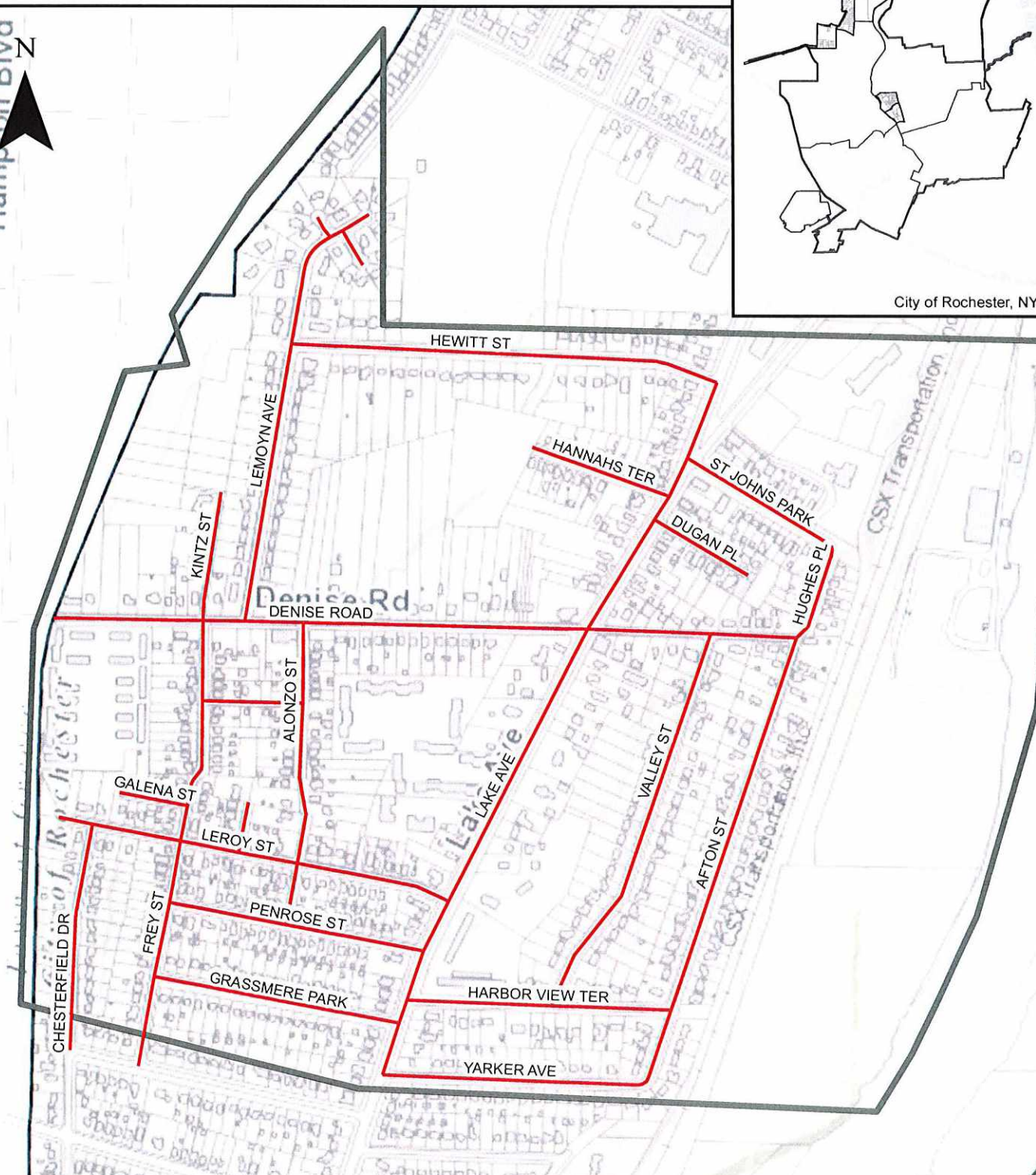
Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 26

DES05



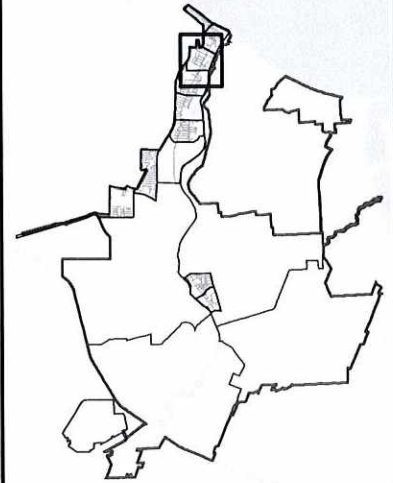
City of Rochester, NY

Hampton Blvd
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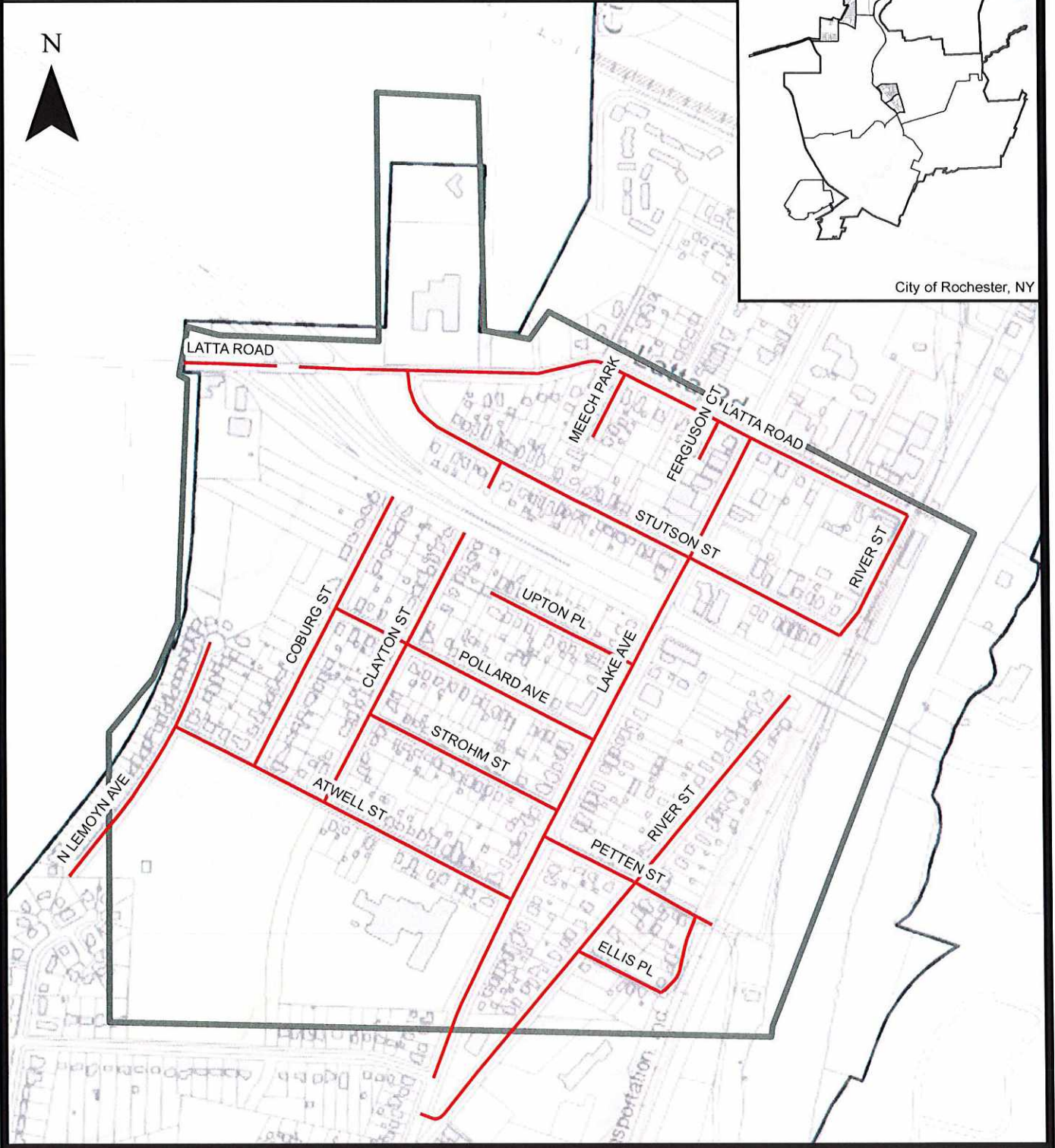


Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 27

DES05

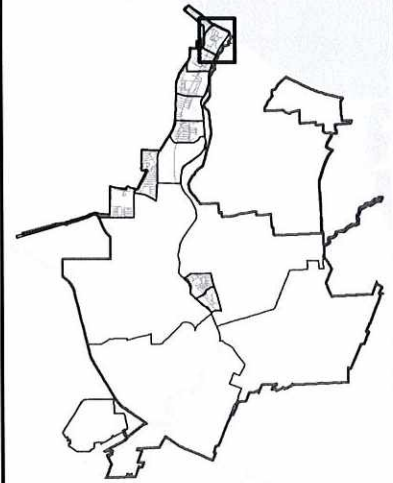


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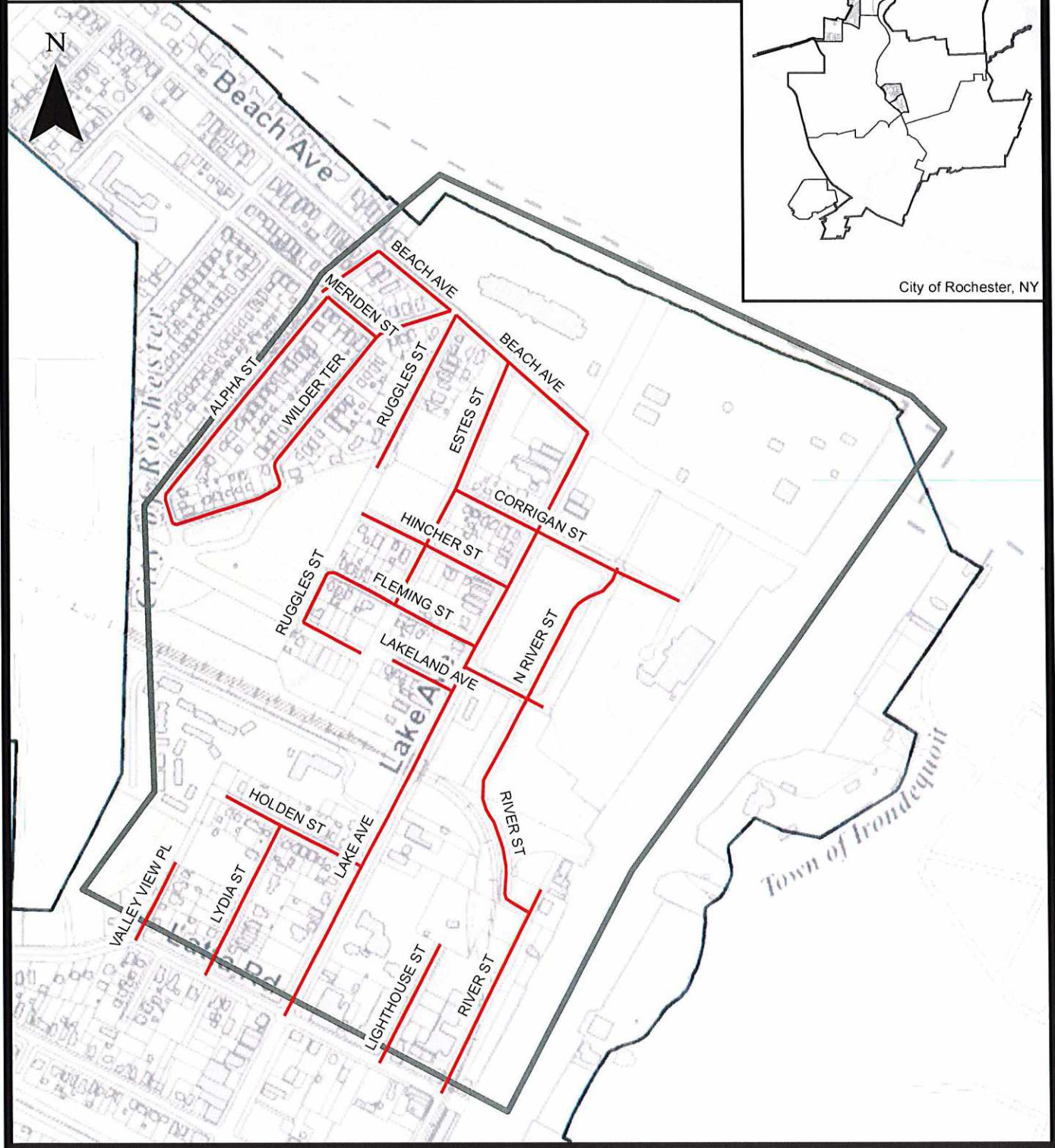


Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 28

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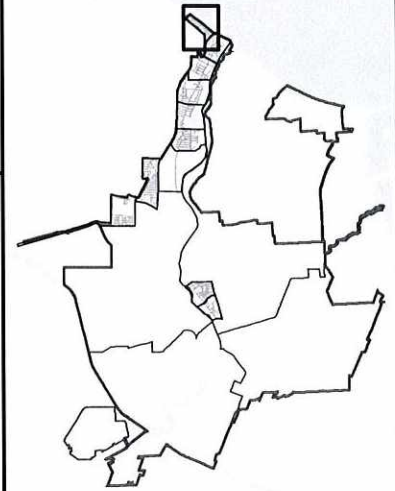


City of Rochester, NY



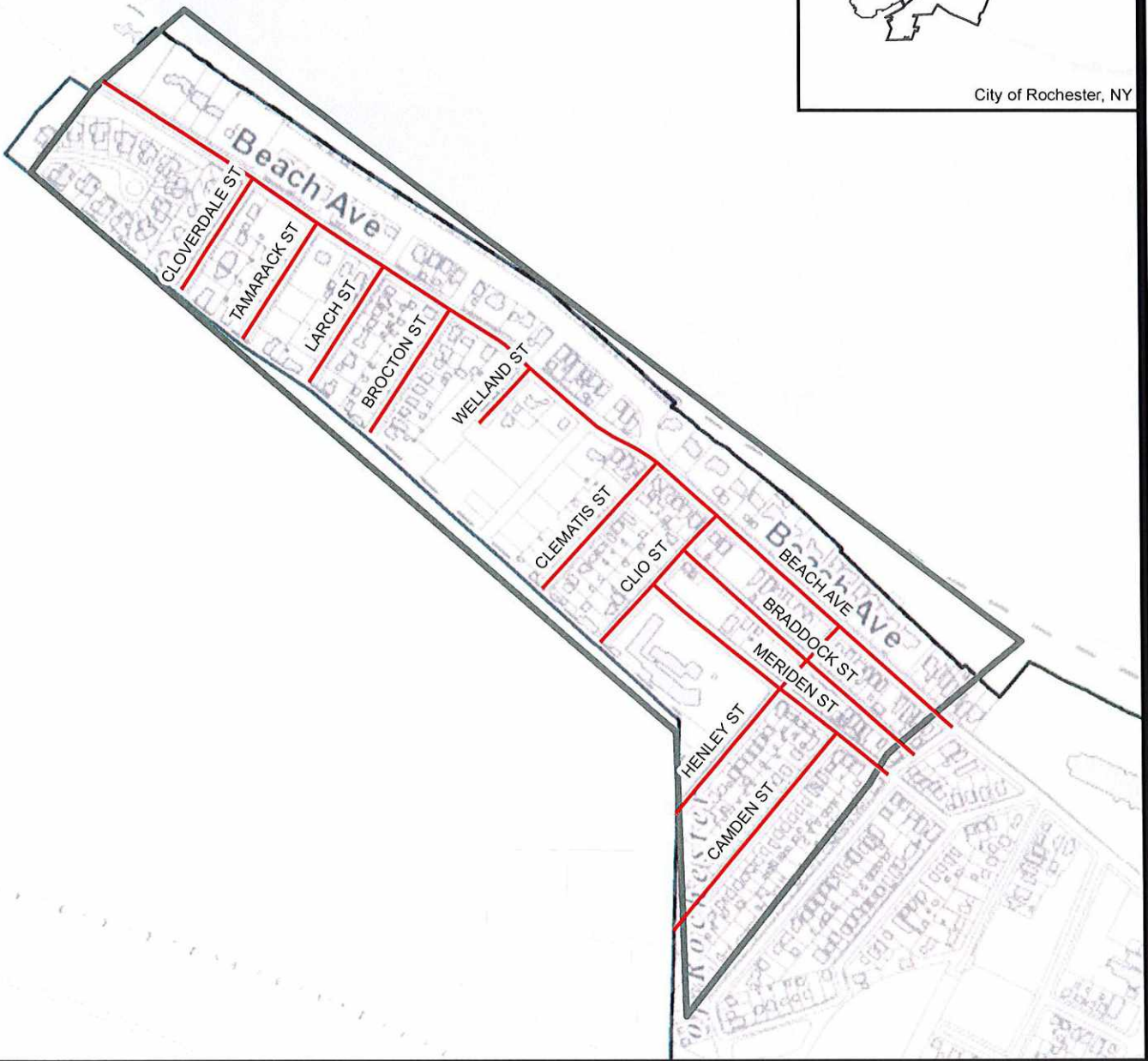
Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 29

DES05



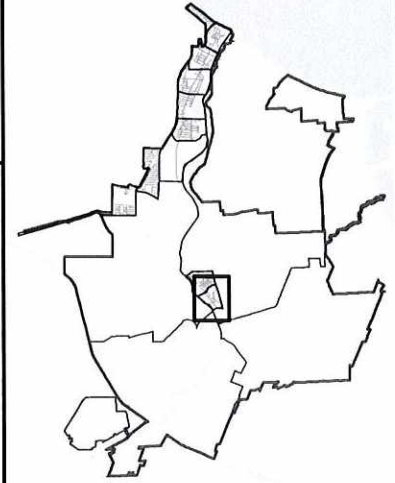
City of Rochester, NY

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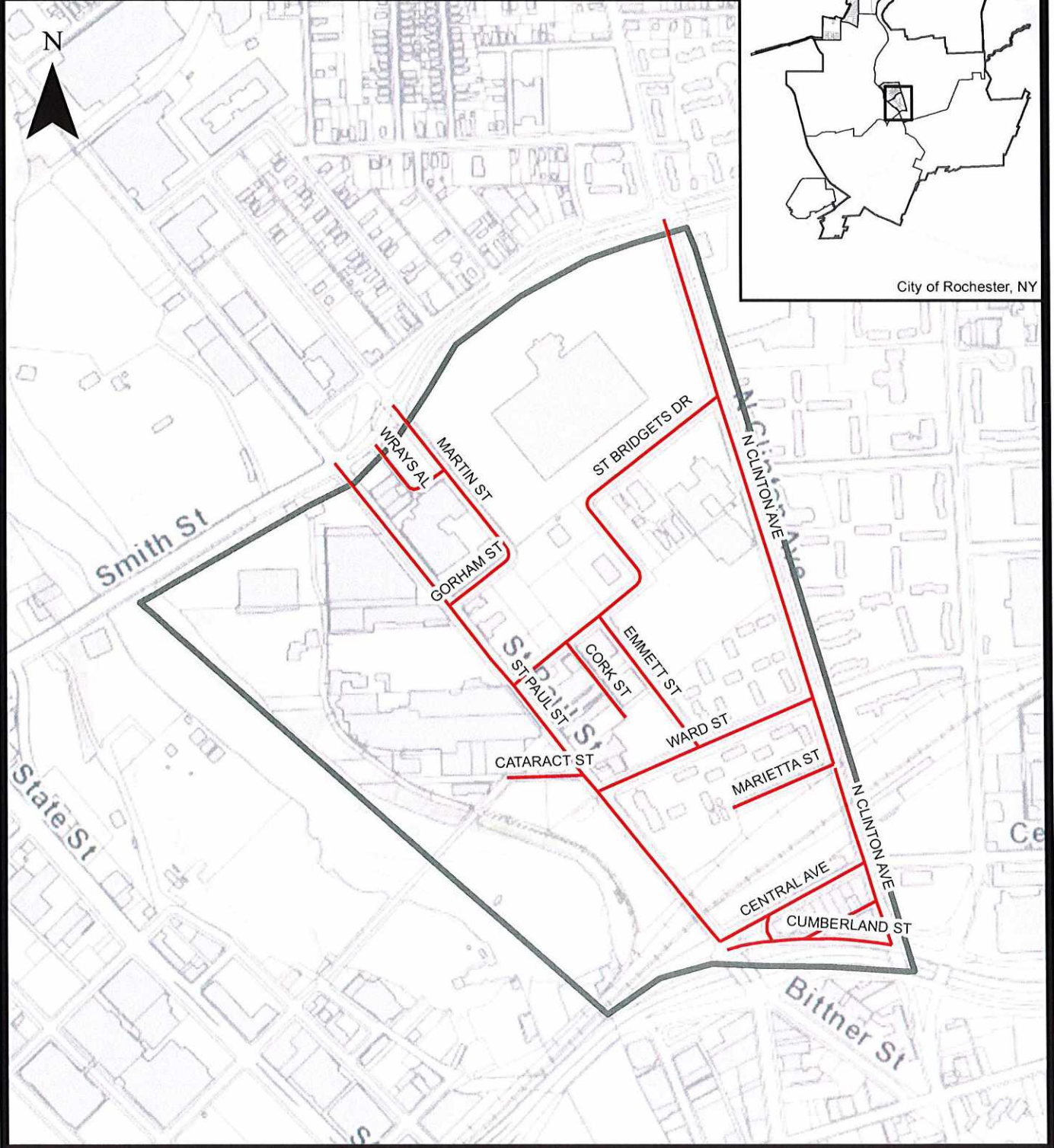


Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 1

DES05

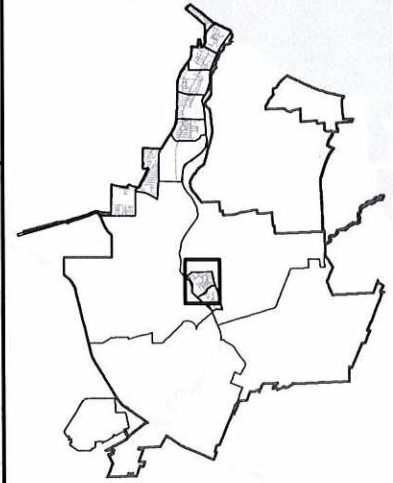


City of Rochester, NY

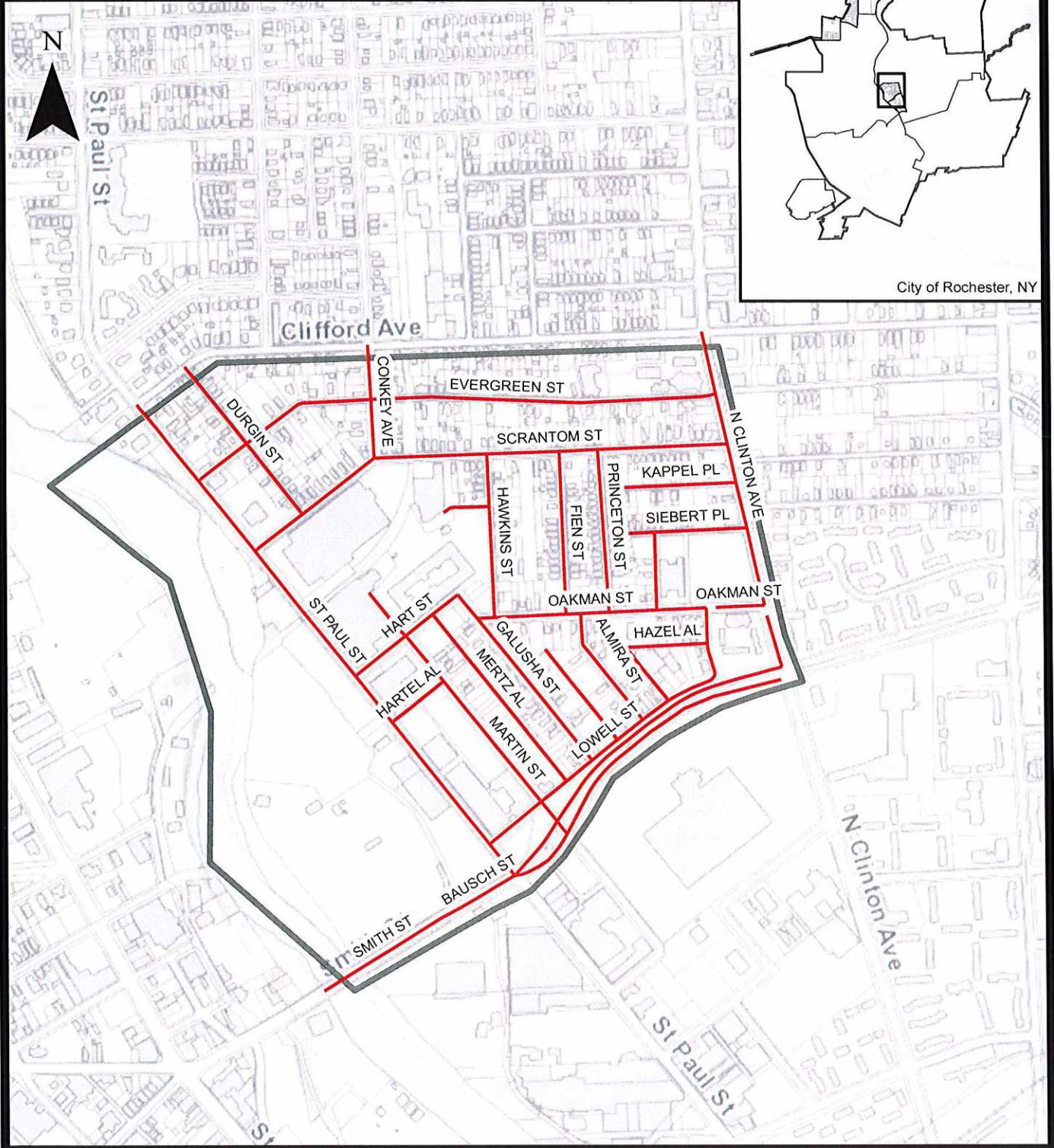


Hazardous Sidewalk Replacement Program 2023 Northwest Quadrant Phase 4 Section 2

DES05



City of Rochester, NY



INTRODUCTORY NO.

44

Ordinance No.

Bond Ordinance of the City of Rochester, New York authorizing the issuance of \$2,600,000 Bonds of said City to finance certain costs of the Hazardous Sidewalk Replacement Program Northwest Quadrant Contract 2023 - Phase 4

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The City of Rochester, in the County of Monroe, New York (herein called "City"), is hereby authorized to finance a portion of the costs of the Hazardous Sidewalk Replacement Program Northwest Quadrant Contract 2023 - Phase 4 along the streets noted on the attached Project Street List (Exhibit A), including replacing hazardous sidewalk segments along the listed streets (the "Project"). The estimated maximum cost of said class of objects or purposes, including preliminary costs and costs incidental thereto and the financing thereof, is \$3,913,875. The plan of financing includes the issuance of \$2,600,000 bonds of the City, which amount is hereby appropriated for the Project, \$370,665.75 from 2019-20 Cash Capital, \$527,821.24 from 2020-21 Cash Capital, \$415,388.01 from 2021-22 Cash Capital and the levy and collection of taxes on all the taxable real property in the City to pay the principal of said bonds and the interest thereon as the same shall become due and payable.

Section 2. Bonds of the City in the principal amount of \$2,600,000 are hereby authorized to be issued pursuant to the Constitution and laws of the State of New York, including the provisions of the Local Finance Law, constituting Chapter 33-a of the Consolidated Laws of the State of New York (herein called the "Law"), this Ordinance, and other proceedings and determinations related thereto.

Section 3. The City intends to finance, on an interim basis, the costs or a portion of the costs of said improvements for which bonds are herein authorized, which costs are reasonably expected to be reimbursed with the proceeds of debt to be incurred by the City, pursuant to this Ordinance, in the amount of \$2,600,000. This Ordinance is a declaration of official intent adopted pursuant to the requirements of Treasury Regulation Section 1.150-2.

Section 4. The period of probable usefulness of said class of objects or purposes described in Section 1 of this Ordinance, within the limitations of 11.00 a. 24 of the Law, is ten (10) years.

Section 5. Each of the bonds authorized by this Ordinance and any bond anticipation notes issued in anticipation of the sale of said bonds shall contain the recital of validity as prescribed by Section 52.00 of the Law and said bonds and any notes issued in anticipation of said bonds, shall be general obligations of the City, payable as to both principal and interest by an ad valorem tax upon all the taxable real property within the City without limitation as to rate or amount. The faith and credit of the City are hereby irrevocably pledged to the punctual payment of the principal of and interest on said bonds and any notes issued in anticipation of the sale of said bonds and provision shall be made

annually in the budget of the City by appropriation for (a) the amortization and redemption of the bonds and any notes in anticipation thereof to mature in such year and (b) the payment of interest to be due and payable in such year.

Section 6. Subject to the provisions of this Ordinance and of said Law, and pursuant to the provisions of Section 30.00 relative to the authorization of the issuance of bond anticipation notes or the renewals thereof, and of Sections 50.00, 56.00 to 60.00 and 168.00 of said Law, the powers and duties of the City Council relative to authorizing the issuance of any notes in anticipation of the sale of the bonds herein authorized, or the renewals thereof, and relative to providing for substantially level or declining debt service, prescribing the terms, form and contents and as to the sale and issuance of the bonds herein authorized, and of any notes issued in anticipation of the sale of said bonds or the renewals of said notes, as well as to executing agreements for credit enhancement, are hereby delegated to the Director of Finance, as the Chief Fiscal Officer of the City.

Section 7. The validity of the bonds authorized by this Ordinance and of any notes issued in anticipation of the sale of said bonds may be contested only if:

(a) such obligations are authorized for an object or purpose for which the City is not authorized to expend money, or

(b) the provisions of law which should be complied with at the date of the publication of such Ordinance are not substantially complied with, and an action, suit or proceeding contesting such validity, is commenced within twenty (20) days after the date of such publication, or

(c) such obligations are authorized in violation of the provisions of the Constitution.

Section 8. This Ordinance shall take effect immediately, and the City Clerk is hereby authorized and directed to publish a summary of the foregoing Ordinance, together with a Notice attached in substantially the form prescribed by Section 81.00 of the Law in "The Daily Record," a newspaper published in Rochester, New York, having a general circulation in the City and hereby designated the official newspaper of said City for such publication.

Exhibit A

Project Street List

The Project entails replacing hazardous sidewalk flags along the following street segments:

STREET	(FROM TO TO)
AFTON ST	(YARKER AVE TO DENISE RD)
ALMIRA ST	(UPPER FALLS BLVD TO FIEN ST)
ALONZO ST	(PRIVATE DR TO DENISE RD)
ALPHA ST	(BRADDOCK ST TO BEACH AVE)
ALPHA ST	(WILDER TER TO BRADDOCK ST)
ATWELL ST	(N LEMOYN AVE TO LAKE AVE)
BANKER PL	(END TO BENNINGTON DR)
BAUSCH ST	(SUNTRU ST TO ST PAUL ST)
BEACH AVE	(CITY LINE TO LAKE AVE)
BENNINGTON DR	(DEWEY AVE TO CITY LINE)
BENWELL RD	(BENWELL RD TO DEWEY AVE)
BERNICE ST	(W RIDGE RD TO MCCALL RD)
BONESTEEL ST	(W RIDGE RD TO CITY LINE)
BOXART ST	(LAKE AVE TO END)
BRADDOCK ST	(CLIO ST TO ALPHA ST)
BRITTON RD	(BRITTON RD TO LAKE AVE)
BROCTON ST	(END TO BEACH AVE)
N BURLEY RD	(CHERRY RD TO END)
BURLEY RD	(LAKE AVE TO END)
BURLING RD	(OAKWOOD RD TO DEWEY AVE)
CALVIN RD	(CALVIN RD TO BOXART ST)
CAMDEN ST	(END TO MERIDEN ST)
CANDLELIGHT DR	(MCCALL RD TO END)
CARLISLE ST	(W RIDGE RD TO CITY LINE)
CATARACT ST	(END TO ST PAUL ST)
CENTRAL AVE	(CUMBERLAND ST TO N CLINTON AVE)
CHELTENHAM RD	(LAKE AVE TO FALLESON RD)
CHERRY RD	(LAKE AVE TO N BURLEY RD)

CHESTERFIELD DR	(PEARSON ST TO LEROY ST)
CHRISTIAN AVE	(BERNICE ST TO DEWEY AVE)
CLAYTON ST	(ATWELL ST TO END)
CLAYTON ST	(END TO STUTSON ST)
CLEMATIS ST	(END TO BEACH AVE)
CLIO ST	(END TO BEACH AVE)
CLOVERDALE ST	(END TO BEACH AVE)
COBURG ST	(ATWELL ST TO END)
CONKEY AVE	(SCRANTOM ST TO CLIFFORD AVE)
CORK ST	(END TO ST BRIDGETS DR)
CORRIGAN ST	(ESTES ST TO ONTARIO BEACH PARK)
CUMBERLAND ST	(ST PAUL ST TO N CLINTON AVE)
DENISE RD	(CITY LINE TO HUGHES PL)
DEVITT RD	(W RIDGE RD TO DOROTHY AVE)
DEWEY AVE	(W RIDGE RD TO CITY LINE)
DOROTHY AVE	(DEVITT RD TO DEWEY AVE)
DUGAN PL	(LAKE AVE TO END)
DUNSMERE DR	(BERNICE ST TO DEWEY AVE)
DURGIN ST	(SCRANTOM ST TO CLIFFORD AVE)
EASTLAND RD	(EASTLAND RD TO DEWEY AVE)
EASTMAN AVE	(W RIDGE RD TO DEWEY AVE)
ELK ST	(LAGRANGE AVE TO RAMONA ST)
ELLINGTON RD	(CITY LINE TO DEWEY AVE)
ELMTREE RD	(CHESTERFIELD DR TO RIVER HTS)
ELWOOD DR	(CITY LINE TO ELLINGTON DR)
EMMETT ST	(WARD ST TO ST BRIDGETS DR)
ESTES ST	(FLEMING ST TO BEACH AVE)
EVERGREEN ST	(ST PAUL ST TO SULLIVAN ST)
FALLESON RD	(BURLEY RD TO BOXART ST)
FERGUSON CT	(END TO LATTA RD)
FIEN ST	(OAKMAN ST TO SCRANTOM ST)
FILLINGHAM DR	(BERNICE ST TO DEWEY AVE)
FLEMING ST	(LAKE AVE TO RUGGLES ST)
FOX ST	(TRUESDALE ST TO RAMONA ST)
FREMONT RD	(CHESTERFIELD DR TO LAKE AVE)

FREY ST	(LAKESHIRE RD TO DENISE RD)
GALENA ST	(END TO FREY ST)
GALUSHA ST	(UPPER FALLS BLVD TO HART ST)
GLENORA DR	(WEST RIDGE RD TO BOUNDARY)
GLENTHORNE RD	(BERNICE ST TO DEWEY AVE)
GORHAM ST	(ST PAUL ST TO MARTIN ST)
GRASSMERE PK	(FREY ST TO LAKE AVE)
HAMLIN ST	(PITTSFORD ST TO PERINTON ST)
HANNAHS TER	(END TO LAKE AVE)
HARBOR VIEW TER	(LAKE AVE TO AFTON ST)
HARDING ROAD	(LAKE AVE TO N BURLEY RD)
HART ST	(ST PAUL ST TO GALUSHA ST)
HARTEL AL	(ST PAUL ST TO MARTIN ST)
HAWKINS ST	(OAKMAN ST TO SCRANTOM ST)
HAZEL AL	(OAKMAN ST TO UPPER FALLS BLVD)
HAZEL AL	(HAZEL AL TO LOWELL ST)
HENLEY ST	(END TO BEACH AVE)
HEWITT ST	(HEWITT ST TO LAKE AVE)
HEWITT ST	(LEMOYN AVE TO HEWITT ST)
HINCHER ST	(END TO LAKE AVE)
HOLCOMB ST	(SHEPPLER ST TO LAKE AVE)
HOLCROFT RD	(LAKE AVE TO FALLESON RD)
HOLDEN ST	(END TO LAKE AVE)
HOPPER TER	(HARDING ROAD TO LEANDER ST)
IRENE ST	(PENROSE ST TO ALONZO ST)
JESSIE ST	(W RIDGE RD TO END)
KAPPEL PL	(PRINCETON ST TO N CLINTON AVE)
KEMPHURST RD	(LAKE AVE TO RIVER HEIGHTS CIR)
KINGSLEY RD	(CHESTERFIELD DR TO LAKE AVE)
LA GRANGE AVE	(RIDGEWAY AVE TO END)
LAKE AVE	(WINCHESTER ST TO BEACH AVE)
LAKECREST AVE	(LAKE AVE TO RIVER HTS)
LAKELAND AVE	(END TO LAKE AVE)
LAKESHIRE RD	(LAKESHIRE RD TO LAKE AVE)
LANCASTER ST	(DE WAIN ST TO W RIDGE RD)

LANGFORD RD	(BERNICE ST TO DEWEY AVE)
LATTA RD	(CITY LINE TO RIVER ST)
LEANDER RD	(HOPPER TER TO FALLESON RD)
LEMOYN AVE	(NORTH END TO SOUTH END)
LENRIET ST	(CULDORF ALY TO DEWEY AVE)
LEOPARD ST	(TRUESDALE ST TO RAMONA ST)
LEROY ST	(END TO LAKE AVE)
LIGHTHOUSE ST	(LATTA RD TO END)
LION ST	(TRUESDALE ST TO LAGRANGE AVE)
LOWELL ST	(ST PAUL ST TO HAZE AL)
LYDIA ST	(LATTA RD TO HOLDEN ST)
LYNCHESTER ST	(CULDORF ALY TO DEWEY AVE)
LYNCREST DR	(MCCALL RD TO SOUTHAMPTON DR)
LYNCREST DR	(SOUTHAMPTON DR TO SOUTHAMPTON DR)
MARIETTA ST	(END TO N CLINTON AVE)
MARTIN ST	(GORHAM ST TO END)
MAYFLOWER ST	(EASTMAN AVE TO DOROTHY AVE)
MAYNARD ST	(BONESTEEL ST TO END)
MC CALL ROAD	(CITY LINE TO DEWEY AVE)
MEECH PARK	(END TO VALLEY VIEW PL)
MERIDEN ST	(CLIO ST TO WILDER TER)
MERTZ AL	(UPPER FALLS BLVD TO HART ST)
MOOSE ST	(RIDGEWAY AVE TO ELK ST)
MORVILLE DR	(BERNICE ST TO DEWEY AVE)
MOZART PL	(END TO HAWKINS ST)
MT READ BLVD	(CHIPPEWA ST TO W RIDGE RD)
MT READ BLVD	(RAMP TO CHIPPEWA ST)
MT READ BLVD	(RIDGEWAY AVE TO RAMP)
MT READ BLVD	(RAMP TO RAMP)
MT READ BLVD	(RAMP TO MT READ BLVD)
MT READ BLVD	(BRIDGE TO RAMP)
N CLINTON AVE	(INNER LOOP TO CLIFFORD AVE)
N LEMOYN AVE	(S END TO N END)
N RIVER ST	(PORTSIDE DR TO CORRIGAN ST)
OAKMAN ST	(GALUSHA ST TO N CLINTON AVE)

OAKWOOD RD	(SOUTHAMPTON DR TO CITY LINE)
PARKWOOD RD	(BERNICE ST TO DEWEY AVE)
PENROSE ST	(FREY ST TO LAKE AVE)
PERINTON ST	(RIDGEWAY AVE TO WHEATLAND ST)
PETTEN ST	(LAKE AVE TO PETTEN STREET EXT)
PITTSFORD ST	(RIDGEWAY AVE TO WHEATLAND ST)
POLLARD AVE	(COBURG ST TO LAKE AVE)
PORTSIDE DR	(LAKE AVE TO END)
PRINCETON ST	(OAKMAN ST TO SCRANTOM ST)
RAMONA PK	(RAMONA ST TO RAMONA ST)
RAMONA ST	(RIDGEWAY AVE TO RAMONA PARK)
REDFIELD ST	(FREY ST TO ALONZO ST)
REVERE ST	(SHEPPLER ST TO LAKE AVE)
RIVER HEIGHTS CIR	(S END TO N END)
RIVER HGTS	(S END TO N END)
RIVER ST	(STUTSON ST TO CORRIGAN ST)
RIVER ST	(LAKE AVE TO N END)
ROCHELLE ST	(SHEPPLER ST TO LAKE AVE)
RUGGLES ST	(END TO BEACH AVE)
SCHAUMAN PL	(OAKMAN ST TO SIEBERT PL)
SCRANTOM ST	(ST PAUL ST TO N CLINTON AVE)
SHEPPLER ST	(S END TO STONEWOOD AVE)
SIEBERT PL	(END TO RAUBER ST)
SOUTHAMPTON DR	(LYNCREST DR TO MCCALL RD)
ST BRIDGETS DR	(ST PAUL ST TO N CLINTON AVE)
ST JOHNS PARK	(RIVER ST TO HUGHES PL)
ST PAUL ST	(INNER LOOP TO CLIFFORD AVE)
STONEWOOD AVE	(CITY LINE TO LAKE AVE)
STROHM ST	(CLAYTON ST TO LAKE AVE)
STUTSON ST	(LATTA RD TO RIVER ST)
THACKER ST	(END TO BOXART ST)
TIERNAN ST	(LAKE AVE TO RIVER HTS)
TRUESDALE ST	(RIDGEWAY AVE TO WHEATLAND ST)
UPPER FALLS BLVD	(ST PAUL ST TO N CLINTON AVE)
UPTON PL	(END TO LAKE AVE)

VALLEY ST	(HARBORVIEW TER TO DENISE RD)
VOGLER AL	(UPPER FALLS BLVD TO END)
W CHELTENHAM RD	(CHELTENHAM RD W TO LAKE AVE)
W HOLCROFT RD	(W HOLCROFT RD TO LAKE AVE)
W WYNDHAM RD	(W WYNDHAM RD TO LAKE AVE)
WARD ST	(ST PAUL ST TO N CLINTON AVE)
WESTCOTT ST	(CUMBERLAND ST TO N CLINTON AVE)
WESTON RD	(HOPPER TER TO N BURLEY RD)
WHEATLAND ST	(W END TO TRUESDALE ST)
WILDER TER	(ALPHA ST TO BEACH AVE)
WINANS ST	(SHEPPLER ST TO LAKE AVE)
WINCHESTER ST	(BERNICE ST TO DEWEY AVE)
WYNDHAM RD	(LAKE AVE TO FALLESON RD)
YARKER AVE	(LAKE AVE TO AFTON ST)

INTRODUCTORY NO.

45

Ordinance No.

Authorizing an amendatory agreement for the Hazardous Sidewalk Replacement Program Northwest Quadrant Contract 2023 - Phase 4

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into an amendatory professional services agreement with Vanguard Engineering, P.C. to provide additional Resident Project Representative (RPR) services for the hazardous sidewalk replacement programs in the Northwest Quadrant (the Project). The amendatory agreement shall amend the original agreement authorized in Ordinance No. 2022-58, by extending the RPR services to the Hazardous Sidewalk Replacement Program Northwest Quadrant Contract 2023 - Phase 4, increasing the maximum compensation by \$200,000 to a new total of \$500,000 and modifying the term to two years with the option to extend for up to two additional periods of one year each. The amendatory compensation shall be funded in the amount of \$200,000 in 2019-20 Cash Capital.

Section 2. The amendatory agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. This ordinance shall take effect immediately.



City of Rochester

City Hall Room 308A, 30 Church Street
Rochester, New York 14614-1290
www.cityofrochester.gov

Malik D. Evans
Mayor

PARKS & PUBLIC WORKS INTRODUCTORY NO.

46

DES06

January 31, 2023

TO THE COUNCIL

Ladies and Gentlemen:

Re: Appropriation – Rochester Pure Waters District,
Street Improvement Projects

Council Priority: Jobs and Economic Development

Comprehensive Plan 2034 Initiative Area:
Sustaining Green & Active Systems

Transmitted herewith for your approval is legislation authorizing the receipt and use of up to \$750,000 in anticipated reimbursements from the Rochester Pure Waters District (RPWD) to fund eligible portions of sewer costs on street improvement projects in accordance with the agreement authorized between the City and RPWD via Ordinance No. 2010-438.

Street improvements can require ancillary repairs to the sewer system including adjustments, repairs, replacements, and improvements to the sewer system manholes and catch basins. In the agreement referenced above, RPWD assumed responsibility for these maintenance costs and agreed to reimburse the City annually for the work.

The sewer improvements will result in the creation and/or retention of the equivalent of 8.2 full-time jobs.

Respectfully submitted,

Malik D. Evans
Mayor



INTRODUCTORY NO.

46

Ordinance No.

Authorizing receipt and use of reimbursement funds from the Rochester Pure Waters District for street improvement projects

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to accept and use reimbursement funds of \$750,000 from the Rochester Pure Waters District for sewer improvements associated with the City's street improvement projects in accordance with the agreement authorized by Ordinance No. 2010-438.

Section 2. The agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. This ordinance shall take effect immediately.



City of Rochester

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www.cityofrochester.gov

Malik D. Evans
Mayor

**PARKS & PUBLIC WORKS
INTRODUCTORY NO.**

47

DES07

January 31, 2023

TO THE COUNCIL

Ladies and Gentlemen:

Re: Agreement – Erdman Anthony and Associates, Inc. - Land Surveying Services

Comprehensive Plan 2034 Initiative
Area: Sustaining Green & Active Systems

Transmitted herewith for your approval is legislation establishing \$150,000 as maximum compensation for an agreement with Erdman Anthony and Associates, Inc. (Curt Helman, C.E.O., 145 Culver Road, Suite 200, Rochester, New York) to provide professional surveying services. The maximum annual compensation for the agreement shall be no more than \$30,000. The cost of this agreement will be funded from 2022-23 Cash Capital and future years' budgets, contingent upon their approval.

Erdman Anthony and Associates, Inc. was selected through a request for proposal (RFP) process described in the attached summary. Erdman has successfully serviced this contract for the last five years.

These services are required for planning and design of the City's annual Water Main Extensions and Improvements program, and other surveying needs of the Water Bureau.

The term of this agreement will be for five (5) years.

Respectfully submitted,

Malik D. Evans
Mayor



Vendor / Consultant Selection Process Summary

Department DES/Waterv Bureau

Project / Service Title: Land Surveying Services

Consultant Selected: FIRM

Method of selection: X Request for Proposal [*Complete 1-7*]
 ___ Request for Qualifications [*Complete 1-7*]
 ___ From the NY State Department of Transportation list of pre-approved regional engineering firms [*Complete 4-7*]

1. Date RFP / RFQ issued (and posted on City web site) 10/17/2022

2. The RFP / RFQ was also sent directly to:

David I. Carli, Architect
 Popli Design Group
 Razak Associates
 Costich Engineering, Land Surveying & Landscape Architecture D.P.C.
 Larsen Engineers
 Marquez & Associates, P.C.
 Pathfinders Engineers & Architects LLP
 Ravi Engineering and Land Surveying, P.C.
 A&A Land Surveying
 Prudent Engineering
 Clough Harbor & Associates
 Erdman Anthony and Associates
 Fisher Associates
 LaBella Associates
 LandTech Surveying & Planning P.L.L.C.

3. Proposals were received from

<u>FIRM</u>	<u>City/ST</u> [<i>if Rochester, include ZIP instead of ST</i>]
Labella	Rochester 14614
Ravi Engineering and Land Surveying, P.C.	Rochester 14604
Erdman Anthony and Associates	Rochester 14620
GdB Geospatial LS, P.C.	West Henrietta, NY

4. Evaluation criteria

<u>Criteria</u>	<u>Weighting Points possible</u>	<u>Points received by FIRM</u>
<i>Approach</i>	8	6.0
<i>Quality of Proposal</i>	7	6.3
<i>Timing</i>	6	6.0
<i>Utilization of Licensed Surveyors</i>	8	7.3
<i>Qualifications of Engagement Personnel</i>	8	8.0
<i>Firm-wide Industry Competence</i>	7	6.7

<i>Previous similar projects</i>	7	7.0
<i>Compliance with project requirements</i>	9	8.3
<i>Required Cost Structure</i>	14	14.0
<i>Cost of Service</i>	<u>28</u>	<u>27.7</u>
SUBTOTAL	100	97.3
<u>Bonus Points</u>		
City business: 10% of total	.10 x TT	10.0
Prime is an MWBE: 10% of total	.10 x TT	0.0
Prime uses 10% - 20% MWBE subs	.05 x TT	0.0
Prime uses 20%+ MWBE subs	.10 x TT	0.0
Workforce goals for M & W met	<u>.10 x TT</u>	<u>0.0</u>
BONUS POINTS SUBTOTAL	BP	10.0

TOTAL POINTS RECEIVED by the Firm: TT + BP = 107.3

5. **Review team included staff from:** DES/Water Bureau (3)

6. **Additional considerations/explanations** *[if applicable; e.g. interviews; demonstrations]*

Instructions included to provide cost for residential and commercial streets. Noticed Ravi Engineering and Labella used GDB Geospatial as a sub.

Ravi did not follow an instruction for flat fee per street. Ravi fee presented in a way that is variable depending on length. Did have \$/ft. cost.

Erdman's previous cost \$910.00 base fee/street and \$2.72/ ft.

7. **MWBE Officer has reviewed the recommended firm's proposal for MWBE and Workforce goals.** MWBE Officer Initials: SMD Date: 2/22/2022

47

Ordinance No.

Authorizing an agreement for land surveying services

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into a professional services agreement with Erdman Anthony and Associates, Inc. to provide land surveying services to the City. The term of the agreement shall be five years. The maximum annual compensation for the agreement shall be \$30,000, which shall be funded from 2022-23 Cash Capital for the first year and from future years' budgets contingent upon the approval of said future budgets.

Section 2. The agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. This ordinance shall take effect immediately.



City of Rochester

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**NEIGHBORHOOD &
BUSINESS DEVELOPMENT
INTRODUCTORY NO.**

Malik D. Evans
Mayor

48

January 31, 2023 NBD 08

TO THE COUNCIL

Ladies and Gentlemen:

Re: Sale of Real Estate

Council Priority: Creating and Sustaining a Culture of
Vibrancy

Comprehensive Plan 2034 Initiative Area:
Fostering Prosperity and Opportunity

Transmitted herewith for your approval is legislation approving the sale of four properties to the adjoining owners. City records have been checked to ensure that the purchasers (except those buying unbuildable vacant lots) do not own other properties with code violations or delinquent taxes, and have not been in contempt of court or fined as a result of an appearance ticket during the past five years.

The first two properties are residential parcels that are being sold to adjoining owners. They are listed on the attached spreadsheet under the heading I. Negotiated Sale – Vacant Land. The parcel at 105 Cady Street will be sold to Brooke Smith, 101.5 Cady Street, Rochester, New York, to provide street access to a currently landlocked parcel. The parcel at 487-487.5 Central Park will be sold to Monica L. Hanks, 495 Central Park, Rochester, New York, for use as additional green space. The sale prices have been determined according to parcel size based on the established sale price chart for City-owned residential vacant land.

The third and fourth properties are listed on the attached spreadsheet under the heading, II. Negotiated Sale - Unbuildable Vacant Land. The parcel at 78 Farbridge Street is being sold to Willy K. Rotich, 74 Farbridge Street, Rochester, New York. A portion of the parcel at 34 Harris Street (frontage of twenty feet) will be sold to Julio C. Perez, 38 Harris Street, Rochester, New York. The parcels are each being sold for \$1.00 (as per City policy) and will be combined with the primary parcels owned by the identified adjoining owners.

The first year projected tax revenue for these properties, assuming full taxation, current assessed valuations and current tax rates, is estimated to be \$1,146.

All City taxes and other charges, except water charges against properties being sold by the City, will be canceled on the first day of the month following adoption of the ordinance because either the City has agreed to convey the property free of City tax liens and other charges, or these charges have been included in the purchase price.

Respectfully submitted,

Malik D. Evans
Mayor

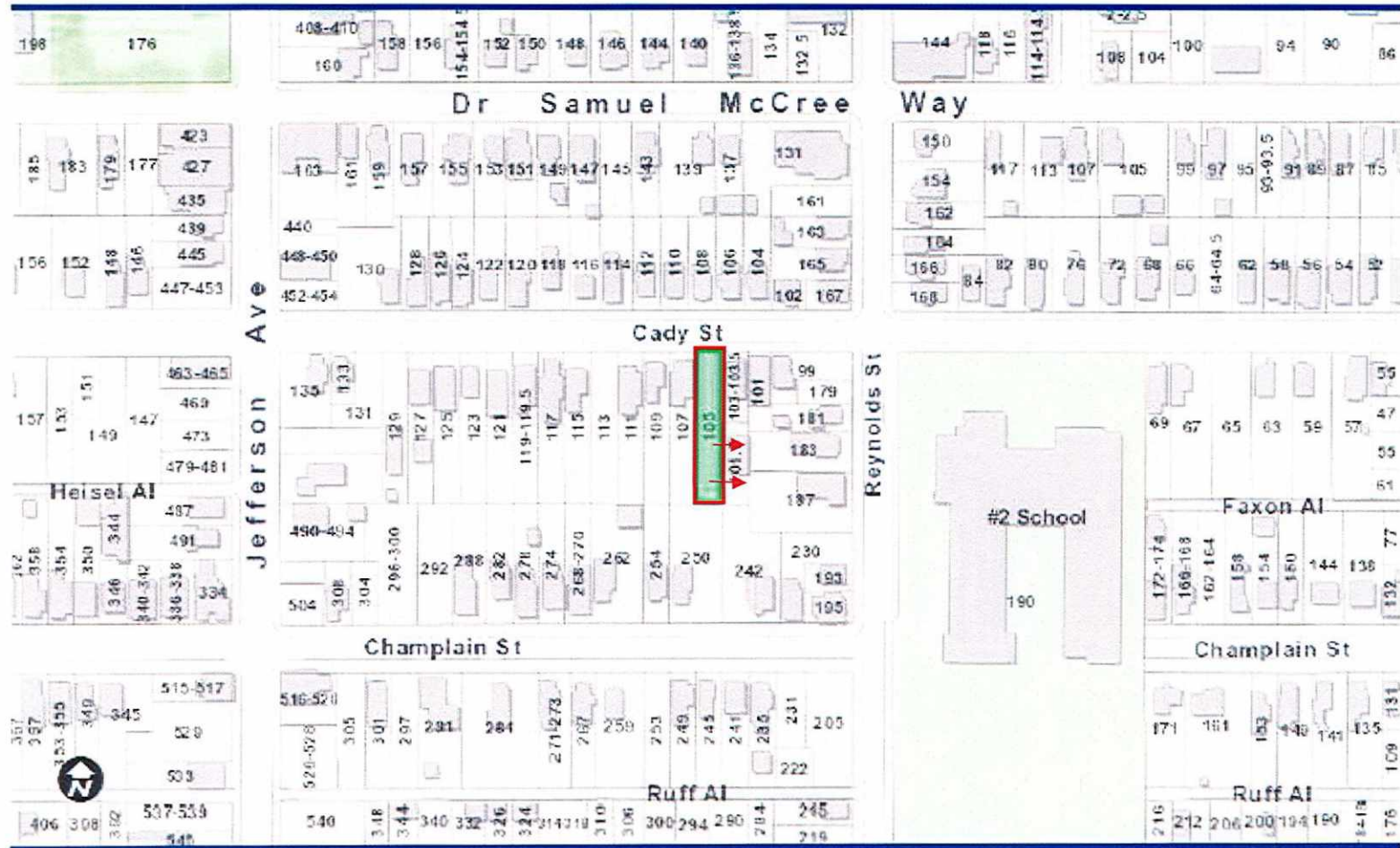


Sales to be Presented to Council
February 21, 2023

NBD 8
ATTACHEMENT

<u>I. Negotiated Sale - Vacant Land</u>							
<u>Address</u>	<u>SBL#</u>	<u>Lot Size</u>	<u>Sq.Ft.</u>	<u>Price</u>	<u>Purchaser</u>	<u>Address</u>	<u>Tax Impact</u>
105 Cady St	120.60-2-17.001	33 x 189.66	6,237	\$475	Brooke Smith	Rochester, NY 14608	\$ 369
487-487.5 Central Pk	106.60-2-9	40 x 120	4,800	\$425	Monica L. Hanks	Rochester, NY 14609	\$ 331
						Subtotal	\$ 700
<u>II. Negotiated Sale - Unbuildable Vacant Land</u>							
<u>Address</u>	<u>SBL#</u>	<u>Lot Size</u>	<u>Sq.Ft.</u>	<u>Price</u>	<u>Purchaser</u>	<u>Address</u>	<u>Tax Impact</u>
78 Farbridge St	091.71-4-29	35.99 x 117	4215	\$1	Willy K. Rotich	Rochester, NY 14621	\$ 298
Portion of 34 Harris St	Portion of 106.29-1-37.001	20 x 100	2,000	\$1	Julio C. Perez	Rochester, NY 14621	\$ 148
						Subtotal	\$ 446
						Total Tax Impact	\$ 1,146

105 Cady St



December 29, 2022

This map is intended for general reference only.

The City of Rochester makes no representation as to the accuracy or fitness of the data presented.

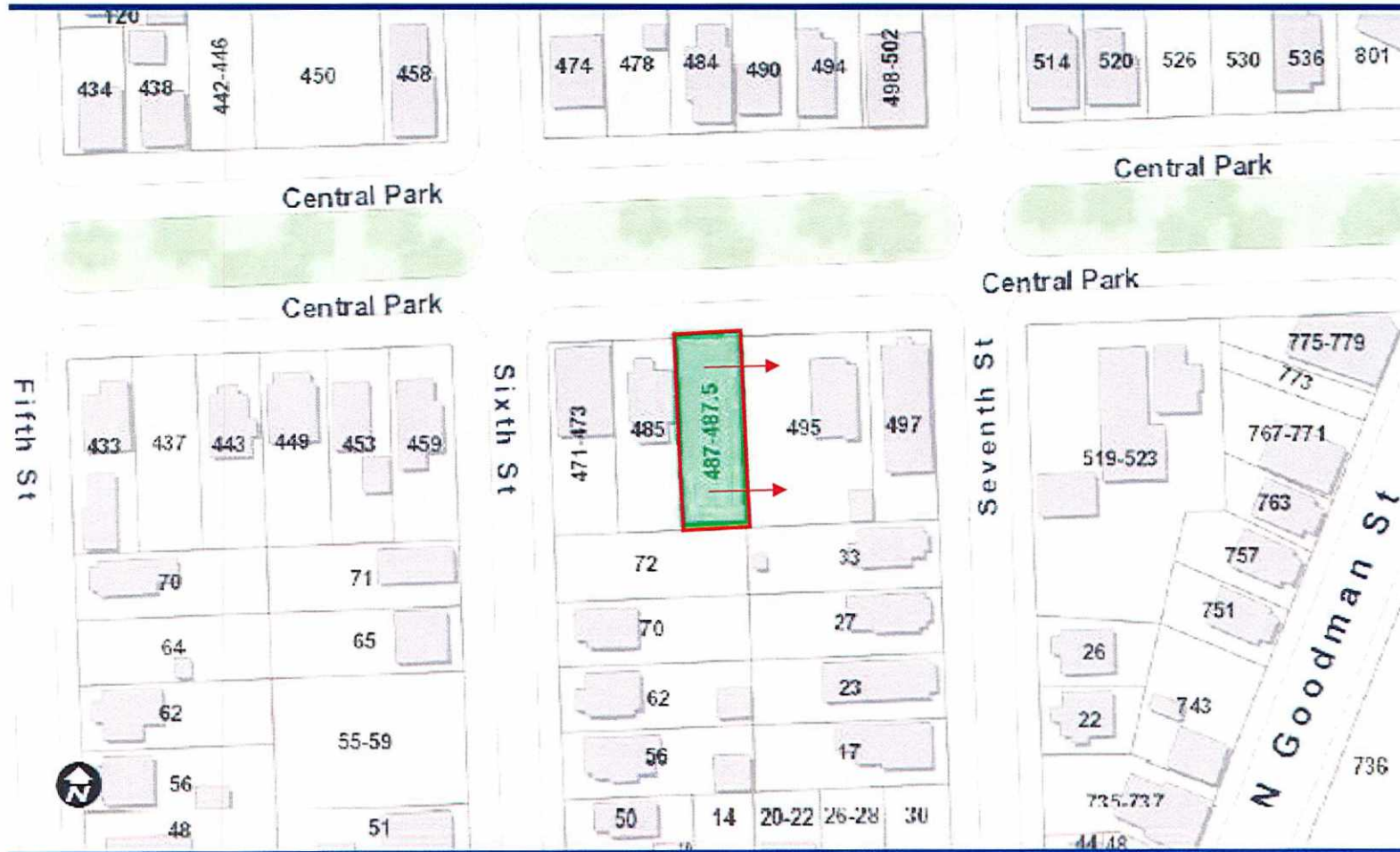
City of Rochester, NY



City of Rochester, NY
Mallik D. Evans, Mayor

487-487.5 Central Park

NBD 8
ATTACHMENT



December 29, 2022

This map is intended for general reference only.
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as to the accuracy or fitness of the data presented.

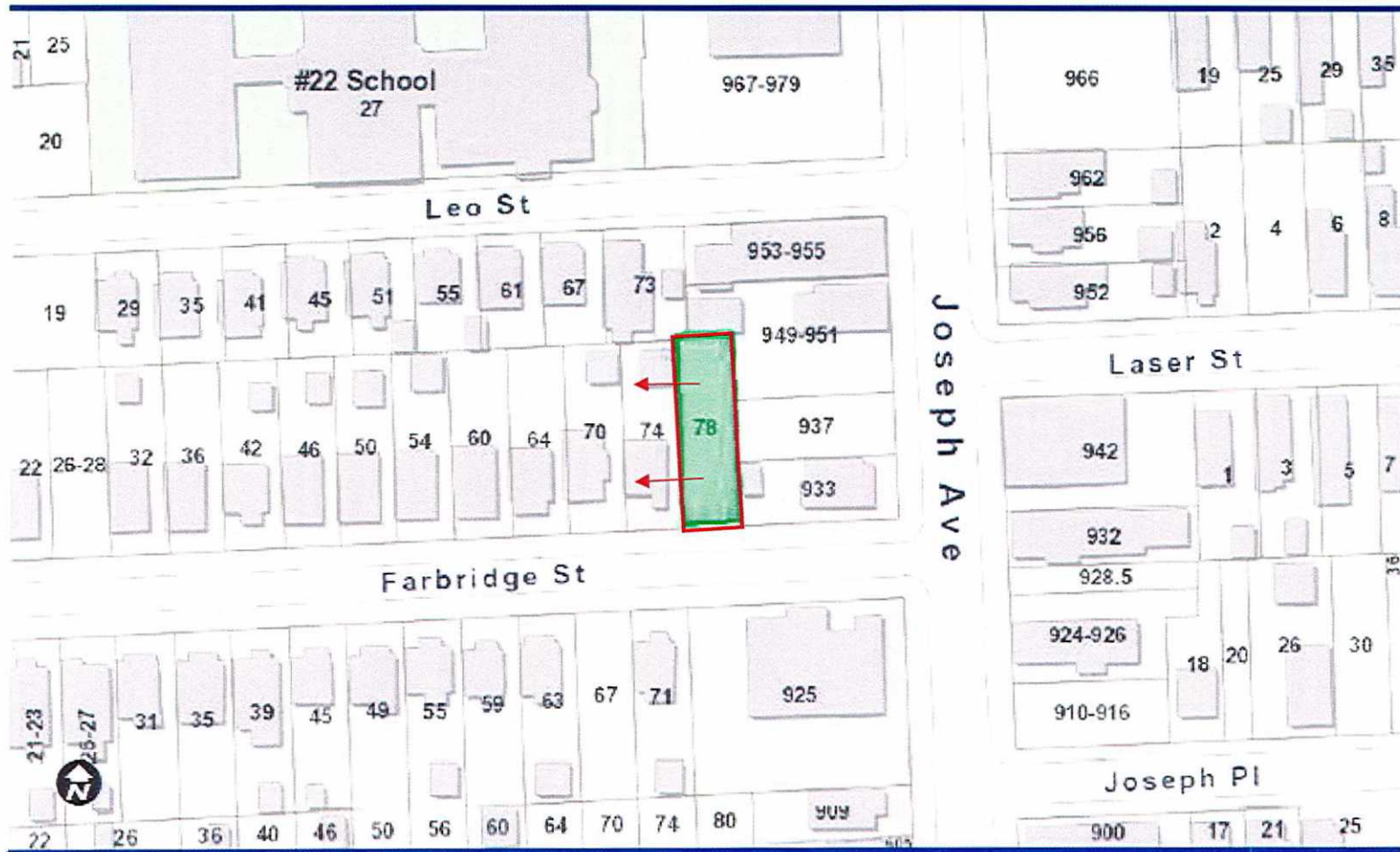
City of Rochester, NY



City of Rochester, NY
Malik D. Evans, Mayor

78 Farbridge St

NBD 8
ATTACHMENT



December 29, 2022

This map is intended for general reference only.

The City of Rochester makes no representation as to the accuracy or fitness of the data presented.

City of Rochester, NY



City of Rochester, NY
Malik D. Evans, Mayor

RESIDENTIAL UNBUILDABLE LOT ANALYSIS

NBD 8
ATTACHMENT

Address of Lot: 78 Farbridge St

SBL#: 091.71-4-29

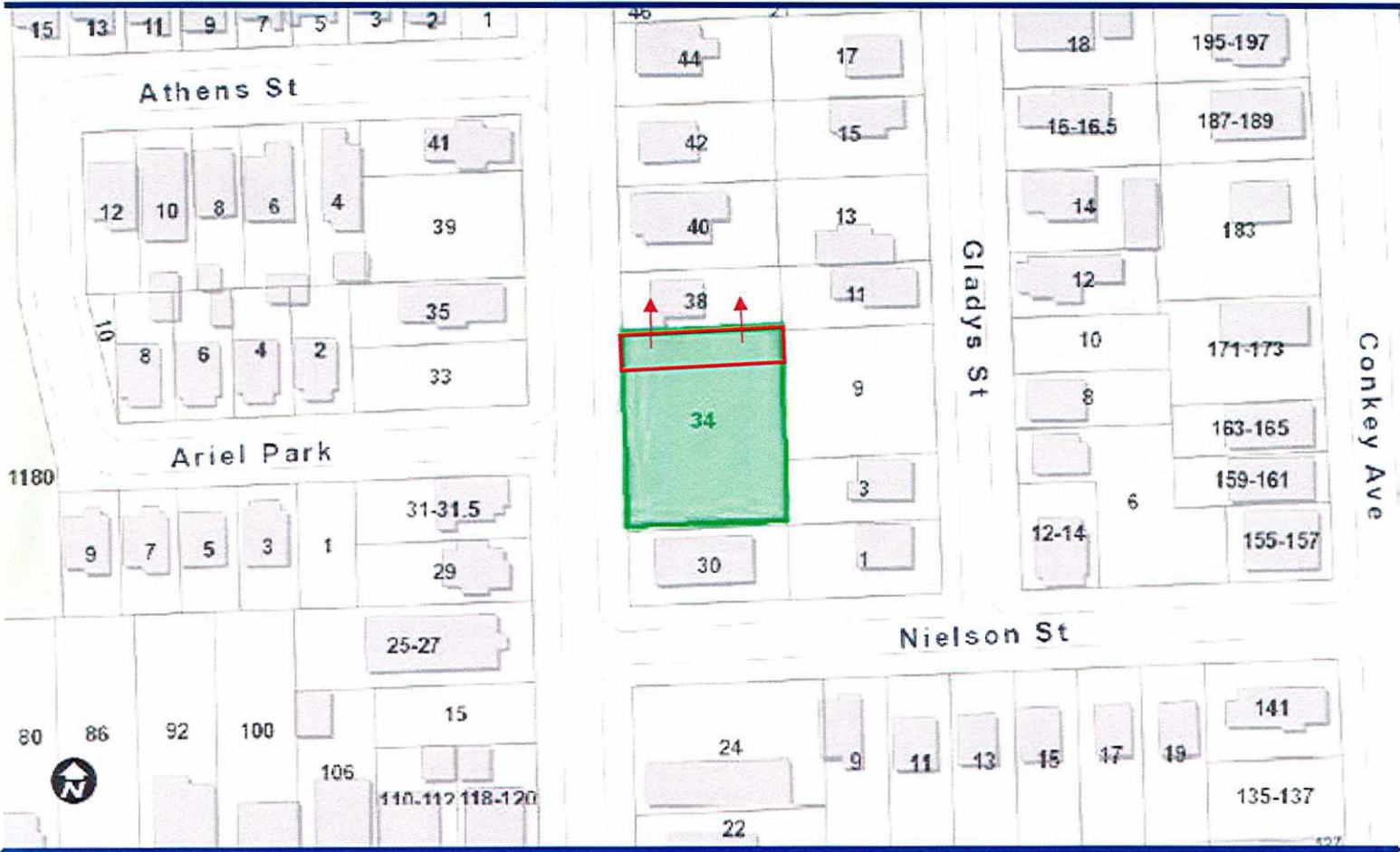
Date 12/2/22 Initials: IV

Based on criteria below: This is an Un-Buildable Lot

ITEM	YES	NO
Is the lot in an environmentally sensitive area where construction is prohibited?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the lot landlocked and less than 4,000 sq. ft.?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the lot have severe topographical characteristics that hinder development?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are utilities inaccessible for future development?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the lot encumbered with major easements which prohibit development?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The property has been reviewed to ensure that it does not adjoin a City-owned parcel with which it could be combined to create a development site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is residentially zoned and has a frontage of less than 40' or a depth of less than 100'	<input checked="" type="checkbox"/>	<input type="checkbox"/>
TOTAL	<input type="text" value="2"/>	<input type="text"/>

If the answer to any of the above questions is "Yes", the parcel is considered unbuildable.

Portion of 34 Harris St



December 29, 2022

This map is intended for general reference only.
The City of Rochester makes no representation
as to the accuracy or fitness of the data presented.

City of Rochester, NY



City of Rochester, NY
Malik D. Evans, Mayor

RESIDENTIAL UNBUILDABLE LOT ANALYSIS

**NBD 8
ATTACHMENT**

Address of Lot: Portion of 34 Harris St

SBL#: 106.29-1-37.001

Date 12/29/22 Initials: RM

Based on criteria below: This is an Un-Buildable Lot

ITEM	YES	NO
Is the lot in an environmentally sensitive area where construction is prohibited?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the lot landlocked and less than 4,000 sq. ft.?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the lot have severe topographical characteristics that hinder development?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are utilities inaccessible for future development?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the lot encumbered with major easements which prohibit development?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The property has been reviewed to ensure that it does not adjoin a City-owned parcel with which it could be combined to create a development site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is residentially zoned and has a frontage of less than 40' or a depth of less than 100'	<input checked="" type="checkbox"/>	<input type="checkbox"/>
TOTAL	<input style="width: 40px; height: 30px;" type="text" value="1"/>	<input style="width: 40px; height: 30px;" type="text"/>

If the answer to any of the above questions is "Yes", the parcel is considered unbuildable.

**LEGAL DESCRIPTION OF
PART OF #34 HARRIS STREET
PART OF T.A. #106.290-01-037.001**

**NBD 8
ATTACHMENT**

All that tract or parcel of land, situate in the City of Rochester, County of Monroe, State of New York, being the north half of Lot 52 of the Arthur Greenman Subdivision, as filed in the Monroe County Clerk's Office in Liber 3 of Maps, Page 37. Said north half of Lot 52 fronts 20.0 feet on the east side of Harris Street and is 100.0 feet in depth, all as shown on said subdivision.

Subject to covenants, easements or restrictions of record, if any.

Being one of the parcels conveyed to the City of Rochester by a deed dated May 14, 2012 and filed in Liber 11120 of Deeds, Page 353.

November 29, 2022

G:\DIV\MAPS\DESC\REGULAR\A-M\HARRIS34NPT.DOCX

INTRODUCTORY NO.

48

Ordinance No.

Authorizing the sale of real estate

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Council hereby approves the negotiated sale of each of the following parcels of vacant land to the owner of an adjoining parcel:

Address	SBL#	Lot Size	Sq.Ft.	Price	Purchaser
105 Cady St	120.60-2-17.1	33 x 189.66	6,237	\$475	Brooke Smith
487-487.5 Central Pk	106.60-2-9	40 x 120	4,800	\$425	Monica L. Hanks

Section 2. The Council hereby approves the negotiated sale of each of the following unbuildable parcels of vacant land to the owner of an adjoining parcel for \$1:

Address	SBL#	Lot Size	Sq. Ft.	Purchaser
78 Farbridge St	091.71-4-29	35.99 x 117	4,215	Willy K. Rotich
34 Harris St Northern 20'	106.29-1-37.1 North Portion	20 x 100	2,000	Julio C. Perez

Section 3. City taxes and other City charges, except water charges, against said properties are hereby canceled up to the first day of the month following the date of adoption of this ordinance for the reason that the City has agreed to convey said properties free of City tax liens and other charges or because these charges have been included in the purchase price.

Section 4. This ordinance shall take effect immediately.



City of Rochester

City Hall Room 308A, 30 Church Street
Rochester, New York 14614-1290
www.cityofrochester.gov

Malik D. Evans
Mayor

**NEIGHBORHOOD &
BUSINESS DEVELOPMENT
INTRODUCTORY NO.**

49

January 31, 2023 NBD 09

TO THE COUNCIL

Ladies and Gentlemen:

Re: Asset Control Area Program – Agreement
Renewal

Council Priority: Rebuilding and
Strengthening Neighborhood Housing

Comprehensive Plan 2034 Initiative Area:
Reinforcing Strong Neighborhoods

Transmitted herewith for your approval is legislation authorizing an agreement for the continuation of the Asset Control Area (ACA) program with the United States Department of Housing and Urban Development (HUD), through January 31, 2024.

The ACA program allows local government and not-for-profit developers to enter into agreements with HUD to purchase the inventory of HUD-owned, foreclosed, residential properties at a discount in designated areas. The discount allows the City to acquire properties at lower prices and reduce the amount of subsidy required for rehabilitation of each property, thus maximizing the number of vacant homes that can be addressed. The City's ACA Program is a component of the HOME Rochester Program. A program description is attached.

As a condition of the HUD/ACA agreement, the City must purchase all single-family properties in HUD designated census tract areas. Once acquired, each property must be fully rehabilitated and sold to owner-occupant, first time homebuyers. Buyers of HOME Rochester properties are required to have incomes at or below 120% of the Area Median Income and must agree to live in the property for a minimum of 15 years.

Since the program began in 2004, 488 properties have entered the ACA system. The City's ACA program, known as "HOME Rochester", has received excellent program compliance reviews conducted by independent auditors. The most recent agreement was approved by City Council on February 18, 2020, via Ordinance No. 2020-30.

Respectfully submitted,

Malik D. Evans
Mayor



Asset Control Area Partnership Program Description

The City of Rochester has had an agreement with The Department of Housing and Urban Development (HUD) known as the Asset Control Area Partnership since 2004. Under the ACA Program, the City acquires single family homes at significant discounts within HUD designated census tracts. These houses are owned by HUD as a result of FHA mortgage foreclosures. The homes are transferred from the City of Rochester to the Rochester Housing Development Fund Corporation (RHDFC) and incorporated into the Home Rochester Program for rehabilitation and resale to income eligible first time homebuyers. Purchasers of these homes must have incomes at or below 120% of area median and are required to reside in the premises for a period of 15 years which is consistent with HOME Investment Partnership Program guidelines. Grant funds from the City's HOME entitlement grant, Cash Capital fund as well New York State Affordable Housing Corporation are some of the sources utilized to offset the costs of rehabilitation.

Potential buyers are directed to the City of Rochester's Home Buyer Services office where each buyer's income and asset data is collected and analyzed and program eligibility is determined. All properties are sold with a one year warranty provided for systems or repairs that were addressed as part of the rehabilitation. The RHDFC and the construction manager work together to address any warranty issue.

Buyers complete pre-purchase and post-purchase training which is provided by various recognized home buyer training organizations. This pre and post training is a condition of the purchase and sale contract and cannot be waived.

**NBD 9
ATTACHMENT**

**Income guidelines - 2022-23 year
% of Median Family Income - Rounded
Rochester, NY MSA**

Family Size	30%	50%	HOME 60%	65%	80%	90%	100%	115%	120%
1	\$ 18,850	\$ 31,400	\$ 37,680	\$ 41,650	\$ 50,250	\$ 57,650	\$ 64,050	\$ 73,650	\$ 76,850
2	21,550	\$ 35,900	\$ 43,080	\$ 47,600	\$ 57,400	65,900	73,200	84,200	87,850
3	24,250	\$ 40,400	\$ 48,480	\$ 53,550	\$ 64,600	74,100	82,350	94,700	98,800
4	27,750	\$ 44,850	\$ 53,820	\$ 59,500	\$ 74,750	82,350	91,500	105,200	109,800
5	32,470	\$ 48,450	\$ 58,140	\$ 64,250	\$ 77,500	88,950	98,800	113,650	118,600
6	37,190	\$ 52,050	\$ 62,460	\$ 69,000	\$ 83,250	95,550	106,150	122,050	127,350
7	41,910	\$ 55,650	\$ 66,780	\$ 73,750	\$ 89,000	102,100	113,450	130,500	136,150
8	46,630	\$ 59,250	\$ 71,100	\$ 78,500	\$ 94,750	108,700	120,800	138,900	144,950

Sources: 1. (source for 30,50,60, 80, and the primary 100% #) FY 2022 Income Limits Documentation System -- Summary for Rochester, NY HUD Metro FMR Area (huduser.gov)

3. City of Rochester for MFIs of 65%, 90%, 115% and 120% MFI

Effective Dates: 4/18/22 for all non-HOME funded HUD activities and 30,50,80,100% MFI.

June 15,2022 for 60% MFI

49

Ordinance No.

Authorizing agreements for the Asset Control Area program

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into an agreement with the United States Department of Housing and Urban Development (HUD) to permit the continued participation of the City in the Asset Control Area (ACA) program, which provides for the acquisition and redevelopment of vacant residential properties in certain HUD designated census tracts of the City. The term of the agreement may extend through January 31, 2024.

Section 2. The agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. The Mayor is hereby authorized to execute such other agreements and other documents as may be necessary to effectuate the agreement authorized herein.

Section 4. This ordinance shall take effect immediately.



Rochester Urban Renewal Agency

City Hall Room 223B
30 Church Street
Rochester, New York
14614-1290

Dana K. Miller
Secretary

**NEIGHBORHOOD &
BUSINESS DEVELOPMENT
INTRODUCTORY NO.**

URA - 1

January 31, 2023

NBD 10

TO THE RURA

Ladies and Gentlemen:

Re: Approving the Rochester Urban Renewal
Agency Annual Report

Transmitted herewith for your approval is legislation approving the 2021-22 Rochester Urban Renewal Agency (RURA) Annual Report.

According to the State's policy regarding public authorities, the RURA is to file an annual report on various aspects of operations.

A copy of the report is on file in the Office of the City Clerk and will be posted on the RURA webpage: www.cityofrochester.gov/article.aspx?id=8589937368

Respectfully submitted,

Dana K. Miller
Secretary





Rochester Urban Renewal Agency

City Hall Room 223B
30 Church Street
Rochester, New York
14614-1290

**NBD 10
ATTACHMENT**

Dana K. Miller
Secretary

Rochester Urban Renewal Agency

Annual Report

7/01/21-6/30/22

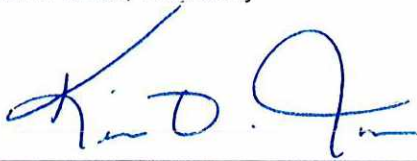


**NBD 10
ATTACHMENT**

The financial reports submitted are certified that based on the officer's knowledge, the information provided herein is accurate, correct and does not contain any untrue statement of material fact; does not omit any material fact which, if omitted, would cause the financial statements to be misleading in light of the circumstances under which such statements are made; and fairly presents in all material respects the financial condition and results of operations of the authority as of, and for, the periods presented in the financial statements.



Dana K. Miller, Secretary



Kim D. Jones, Chief Financial Officer

RURA

7/01/21-6/30/22

Operations, Accomplishments & Undertakings

1. Midtown - Construction was completed of a five-story mixed-use building on Parcel 2 for the headquarter building for Butler Till and residential apartments.
2. Funds received from the sale of the Wegmans Driving Park store that was donated to the City in the amount of \$425,000 continue to be used to fund the Targeted Commercial Exterior Improvement Grant in the Dewey-Driving Park Urban Renewal District. The City continues to market this program in the Dewey-Driving Park area.
3. The City is working on action items outlined in the Marketview Heights Urban Renewal District (URD) Plan, with a focus on the acquisition and demolition of properties, the development of affordable rental and owner-occupied housing, and continued engagement with the Marketview Heights Collective Action Project (CAP). The City continues to work with the CAP to refine and implement the URD plan action items, and plans to increase efforts towards developing housing options and removing blight. The City executed a contract with R.K. Hite & Co., Inc., for acquisition/relocation services. The City had multiple properties appraised in order to begin the process for property acquisition.
4. The City's Bull's Head Neighborhood Revitalization initiative continues with land assembly activities for the first phase targeted redevelopment area identified in the approved urban renewal plan. Land assembly for the area north of W. Main St. is anticipated to be completed in 2023. Environmental due diligence/cleanup remains a key component to creating developable ready sites. The City applied for and was awarded an approximately \$7.5 million streets/infrastructure grant through the federal Transportation Improvement Program (TIP). Preliminary design for streets will start in Spring 2023.

RURA

Rochester Urban Renewal Proceedings
7/1/21-6/30/22

Date	Resolution No.	Action
9/2021	2021-URA-4	Resolution authorizing the sale of 120 Savannah Street for the Southeast Towers Rehabilitation Project
2/2022	2022-URA-1	Resolution approving the 2020-21 Annual Report of the Rochester Urban Renewal Agency
3/2022	2022-URA-2	Resolution approving the Rochester Urban Renewal Agency 2022-23 annual budget, performance measures for 2022, and performance measures report for 2021

RURA

Summary Financial Information

Summary Statement of Net Assets

Assets	6/30/2022	6/30/2021	6/30/2020	6/30/2019	6/30/2018	6/30/2017	6/30/2016	6/30/2015	6/30/2014	6/30/2013	6/30/2012	6/30/2011
Current Assets												
Cash and cash equivalents	1,119,731	1,119,731	1,396,441	1,396,441	640,666	390,666	435,666	465,666	465,666	465,666	498,447	127,707
Investments												400,000
Receivables, net												
Other assets												
Total Current Assets	1,119,731	1,119,731	1,396,441	1,396,441	640,666	390,666	435,666	465,666	465,666	465,666	498,447	527,707
Noncurrent Assets												
Restricted cash and investments												
Long-term receivables, net	0	0										
Other assets												
Capital Assets												
Land and other nondepreciable property	0	0	0	0	0	0	0	0	0	0	0	0
Buildings and equipment												
Infrastructure												
Accumulated depreciation												
Net capital assets												
Total Noncurrent Assets	0	0	0	0	0	0	0	0	0	0	0	0
Total Assets	1,119,731	1,119,731	1,396,441	1,396,441	640,666	390,666	435,666	465,666	465,666	465,666	498,447	527,707
Liabilities												
Current Liabilities												
Accounts payable											3,130	
Pension contribution payable												
Other post-employment benefits												
Accrued liabilities												
Deferred revenues	0	0	0	0	0	0	0	0	0	0	0	0
Bonds and notes payable												
Other long-term obligations due within one year												
Total Current Liabilities	0	0	0	0	0	0	0	0	0	0	3,130	0
Noncurrent Liabilities												
Pension contributon payable												
Other post-employment benefits												
Bonds and notes payable												
Other long-term obligations												
Total Noncurrent Liabilities	0	0	0	0	0	0	0	0	0	0	0	0
Total Liabilities	0	0	0	0	0	0	0	0	0	0	3,130	0
Net Asset (Deficit)												
Net Assets												
Invested in capital assets, net of related debt												
Restricted	1,119,731	1,119,731	1,396,441	1,396,441	640,666	390,666	435,666	465,666	465,666	465,666	495,317	527,707
Unrestricted												
Total Liabilities and Net Assets	1,119,731	1,119,731	1,396,441	1,396,441	640,666	390,666	435,666	465,666	465,666	465,666	498,447	527,707

Summary Statement of Revenues, Expenses and Change in Net Assets

Operating Revenues												
Charges for services												
Rental & financing income												
Other operating revenues												
Total Operating Revenue	0	0	0	0	0	0	0	0	0	0	0	0
Operating Expenses												
Salaries and wages												
Other employee benefits												
Professional services contracts												
Supplies and materials												
Depreciation & amortization												
Other operating expenses												
Total Operating Expenses	0	0	0	0	0	0	0	0	0	0	0	0
Operating Income (Loss)	0	0	0	0	0	0	0	0	0	0	0	0
Nonoperating Revenues												
Investment earnings	0	0	0	0	0	0	0	0	0	0	182	434
State subsidies/grants												
Federal subsidies/grants												
Municipal subsidies/grants												
Public authority subsidies												
Other nonoperating revenues			0	771,750	250,000							
Total Nonoperating Revenue	0	0	0	771,750	250,000	0	0	0	0	0	182	434
Nonoperating Expenses												
Interest and other financing charges												
Subsidies to other public authorities												
Grants and donations						45,000	30,000	0	0	29,651	32,572	1,447,113
Other nonoperating expenses		276,710	0	15,975								
Total Nonoperating Expenses	0	276,710	0	15,975	0	45,000	30,000	0	0	29,651	32,572	1,447,113
Income (Loss) Before Contributions	0	-276,710	0	755,775	250,000	-45,000	-30,000	0	0	-29,651	-32,390	-1,446,679
Capital Contributions												
Change in net assets	0	-276,710	0	755,775	250,000	-45,000	-30,000	0	0	-29,651	-32,390	-1,446,679
Net assets (deficit) beginning of year	\$1,119,731	\$1,396,441	\$1,396,441	\$640,666	\$390,666	\$435,666	\$465,666	\$465,666	\$465,666	\$495,317	\$527,707	\$1,974,386
Other net assets changes												
Net surplus (deficit) at end of year	1,119,731	1,119,731	1,396,441	1,396,441	640,666	390,666	435,666	465,666	465,666	465,666	495,317	527,707

RURA

Debt Report

7/01/21-6/30/22

1. The authority did not have any outstanding debt, including conduit debt, at any point during the reporting period.
2. There was no new debt issuance during the reporting period.

G/L ACCOUNT - MASTER INQUIRY

**NBD 10
ATTACHMENT**

Org code: 33600000 URBAN RENEWAL FUND Type: E
 Object code: 640010 GENERAL DISBURSEMENT Status: A
 Project code: Budgetary: Y

Fund 1336 URBAN RENEWAL FUND
 Function 09 NEIGHBORHOOD BUSINESS DEVELOPM
 Department 00 UNASSIGNED
 Bureau 0000 UNASSIGNED
 SubB/Year 000000 UNASSIGNED
 Ord/Activity 00000 UNASSIGNED
 Unassigned 00000 UNASSIGNED
 Unassigned 000000 UNASSIGNED

Full description: URBAN RENE GENERAL DISBURSEMEN Short desc: GEN DISB
 Reference Acct: Auto-encumber? (Y/N) N

----- CURRENT YEAR MONTHLY AMOUNTS -----				
PER	ACTUAL	ENCUMBRANCE	BUD TRANSFER	BUDGET
00	.00	.00	.00	.00
01	.00	.00	.00	270,735.30
02	.00	.00	.00	.00
03	.00	.00	.00	.00
04	.00	.00	.00	.00
05	.00	.00	.00	.00
06	.00	.00	.00	.00
07	.00	.00	.00	.00
08	.00	.00	.00	.00
09	.00	.00	.00	.00
10	.00	.00	.00	.00
11	.00	.00	.00	.00
12	.00	.00	.00	.00
13	.00	.00	.00	.00
Tot:	.00	.00	.00	270,735.30

----- CURRENT YEAR TOTAL AMOUNTS -----			
Actual (Memo)	.00	Original Budget	270,735.30
Encumbrances	.00	Budget Tranfr In	.00
Requisitions	.00	Budget Tranfr Out	.00
Total	.00	Carry Fwd Budget	.00
Available Budget	270,735.30	Carry Fwd Bud Tfr	.00
Percent Used	.00	Revised Budget	270,735.30
Inceptn to SOY	15,975.10	Inceptn Orig Bud	286,710.40
		Inceptn Revsd Bud	286,710.40
Encumb-Last Yr	.00	DEPT	.00
Actual-Last Yr	.00	RECOMD	.00
Estim-Actual	270,735.30	MAYORS	.00
	.00	COUNCIL	.00
		ADOPTED	.00

G/L ACCOUNT - MASTER INQUIRY

NBD 10
ATTACHMENT

PER	ACTUAL	LAST YEAR MONTHLY AMOUNTS	
		ENCUMBRANCE	BUDGET
00	.00	.00	.00
01	.00	.00	270,735.30
02	.00	.00	.00
03	.00	.00	.00
04	.00	.00	.00
05	.00	.00	.00
06	.00	.00	.00
07	.00	.00	.00
08	.00	.00	.00
09	.00	.00	.00
10	.00	.00	.00
11	.00	.00	.00
12	.00	.00	.00
13	.00	.00	.00
Tot:	.00	.00	270,735.30

----- PRIOR YEARS TOTAL AMOUNTS -----	
2022 Actual	.00
2022 Closed @ YE	.00
2022 Encumbrance	.00
2022 Memo Bal	.00
2021 Actual	.00
2020 Actual	.00
2019 Actual	15,975.10
2018 Actual	.00
2017 Actual	.00
2016 Actual	.00
2015 Actual	.00
2014 Actual	.00
2013 Actual	.00
2022 Orig Budget	270,735.30
2022 Bud Tfr In	.00
2022 Bud Tfr Out	.00
2022 C Fwd Budget	.00
2022 Revsd Budget	270,735.30
2021 Orig Budget	270,735.30
2021 Revsd Budget	270,735.30
2020 Orig Budget	270,735.30
2020 Revsd Budget	270,735.30
2022	0.00
2021	0.00
2020	0.00

----- FUTURE YEAR AMOUNTS -----		
PER	2024 BUDGET	BUDGET
00	.00	2024 DEPT .00
01	.00	2024 RECOMD .00
02	.00	2024 MAYORS .00
03	.00	2024 COUNCIL .00
04	.00	2024 ADOPTED .00
05	.00	2024 Revised .00
06	.00	2025 Estimate .00
07	.00	2026 Estimate .00
08	.00	2027 Estimate .00
09	.00	2028 Estimate .00
10	.00	
11	.00	2024 Memo Bal .00
12	.00	2024 Encumbrance .00
13	.00	2024 Requisition .00
Tot:	.00	

----- ACCOUNT NOTES -----

**** END OF REPORT - Generated by Pragle, Christopher L. ****

RURA

Procurement Contracts Report

7/01/21-6/30/22

(Procurement contracts open during the reporting period with an actual or estimated value of \$5,000 or more.)

There were no procurement contracts for the reporting period.

RURA

Compensation Report 7/01/21-6/30/22

Compensation Schedule

Position	Title & Name of Person holding Position	Salary, Compensation, Allowance and/or benefits provided to any officer, director or employee in a decision making or managerial position whose salary is in excess of \$100,000

There are no paid officers, directors or employees of the Rochester Urban Renewal Agency.

RURA

Urban Renewal Parcel Status & Recommendations

7/1/2021-6/30/2022

Street Address	Current Use	Proposed Action	2020-comment/status
36 South Avenue	Parking Garage	No Action Proposed	No Action Proposed
50 Broadway	Leased to Benderson	Parcel disposition being evaluated following the death of the purchaser	Parcel planned to be sold
414 E. Broad	Leased to Benderson	Parcel disposition being evaluated following the death of the purchaser	Parcel planned to be sold
40 Broadway	Leased to Benderson	Parcel disposition being evaluated following the death of the purchaser	Parcel planned to be sold
48 Broadway	Leased to Benderson	Parcel disposition being evaluated following the death of the purchaser	Parcel planned to be sold
52 Broadway	Leased to Benderson	Parcel disposition being evaluated following the death of the purchaser	Parcel planned to be sold
60 Broadway	Leased to Benderson	Parcel disposition being evaluated following the death of the purchaser	Parcel planned to be sold
66 Broadway	Leased to Benderson	Parcel disposition being evaluated following the death of the purchaser	Parcel planned to be sold
2 Reynolds Street	Vacant	No Action Proposed	No Action Proposed
151 Mt. Hope Avenue	Reserved for redevelopment	No Action Proposed	No Action Proposed
780 Exchange	Vacant	No Action Proposed	No Action Proposed

RURA

Potential Disposition of Property
7/1/2021-6/30/2022

The attached list indicates properties held by RURA. The intent to dispose of these properties is dependent upon development opportunities. As appropriate opportunities arise, properties may be disposed of. These actions would be subject to RURA approval. RURA does not have an estimate of fair market value for all such property held at the end of the reporting period.

RURA

Real Property Transactions
7/1/2021-6/30/2022

One RURA-owned property located at 120 Savannah Street was sold in February of 2022, related to the Southeast Tower redevelopment project.

RURA

**NBD 10
ATTACHMENT**

Rochester Urban Renewal Agency: Real Property Report
7/1/2021-6/30/2022

OWNER NAME	PROPERTY ADDRESS	
Rochester Urban Renewal Agency	2 Reynolds Street	No action proposed
Rochester Urban Renewal Agency	36 South Avenue	No Action Proposed
Rochester Urban Renewal Agency	40 Broadway	Parcel disposition being evaluated following the death of the purchaser
Rochester Urban Renewal Agency	46-48 Broadway	Parcel disposition being evaluated following the death of the purchaser
Rochester Urban Renewal Agency	52 Broadway	Parcel disposition being evaluated following the death of the purchaser
Rochester Urban Renewal Agency	54-60 Broadway	Parcel disposition being evaluated following the death of the purchaser
Rochester Urban Renewal Agency	66 Broadway	Parcel disposition being evaluated following the death of the purchaser
Rochester Urban Renewal Agency	414 E. Broad Street	Parcel disposition being evaluated following the death of the purchaser
Rochester Urban Renewal Agency	50 Broadway	Parcel disposition being evaluated following the death of the purchaser
Rochester Urban Renewal Agency	151 Mt. Hope Avenue	No action proposed
Rochester Urban Renewal Agency	780 Exchange Street	No action proposed
Rochester Urban Renewal Agency	120 Savannah Street	Property sold as part of the Southeast Tower redevelopment project

RURA

Rochester Urban Renewal Report

7/01/21-6/30/22

Assessment of the effectiveness of the Authority's internal control structure and procedures.

Audit Report

The Rochester Urban Renewal Agency financial information is included in the City of Rochester's audited financial statements.

A copy of the City of Rochester's fiscal year ended 6/30/22 Annual Comprehensive Financial Report will be on file in the office of the Rochester Urban Renewal Agency.

INTRODUCTORY NO.

URA - 1

NBD #10

Resolution No.

Resolution approving the Rochester Urban Renewal Agency 2021-22 Rochester Urban Renewal Agency Annual Report

BE IT RESOLVED, by the Rochester Urban Renewal Agency as follows:

Section 1. The Agency hereby approves the 2021-22 Annual Report for July 1, 2021 to June 30, 2022 of the Rochester Urban Renewal Agency as submitted by the Secretary, and authorizes its submission to the State of New York.

Section 2. This resolution shall take effect immediately.



City of Rochester

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NEIGHBORHOOD & BUSINESS DEVELOPMENT INTRODUCTORY NO.

Malik D. Evans
Mayor

50

January 31, 2023

NBD 11

TO THE COUNCIL

Ladies and Gentlemen:

Re: Inter-Municipal Agreement - Monroe County,
Lead Paint Poisoning Prevention Inspection Services

Council Priority: Rebuilding and Strengthening
Neighborhood Housing

Transmitted herewith for your approval is legislation authorizing \$310,000 for a one-year extension to an inter-municipal agreement with Monroe County for lead paint poisoning prevention inspection services. The original agreement was authorized by Ordinance No. 2022-202 and provides reimbursement to the City for expenses related to the enforcement of the City's lead-based paint poisoning prevention ordinance. The extension will cover a reimbursement period of October 1, 2022 through September 30, 2023. The reimbursement is retroactive due to delays in Monroe County receiving the source grant from New York State. Of the \$310,000 total in reimbursement from this agreement, \$232,500 was previously budgeted and anticipated as revenue in the 2022-23 Budget of the Department of Neighborhood and Business Development (NBD), while \$77,500 is budgeted and anticipated as revenue in the 2023-24 Budget of NBD.

The funds associated with this agreement provide a reimbursement for City expenses related to the enforcement of the City's Lead-Based Paint Poisoning Prevention Ordinance. These funds are part of the NYS Department of Health Childhood Lead Poisoning Primary Prevention Program grant dollars provided to Monroe County. The \$310,000 covers visual inspections for lead hazards, Lead Dust Wipe Sampling tests and Clerical and IT support provided by the City of Rochester. A version of this agreement has been in place since October 1, 2007. A chart showing the history of the past eight years of the grant is attached.

Respectfully submitted,

Malik D. Evans
Mayor



**Summary Attachment
Monroe County Lead Grant- History of Grant Awards**

Fiscal Year	Maximum Grant Reimbursement
2009-10	\$ 230,000
2010-11	\$ 230,000
2011-12	\$ 230,000
2012-13	\$ 275,000
2013-14	\$ 275,000
2014-15	\$ 310,000
2015-16	\$ 310,000
2016-17	\$ 310,000
2017-18	\$ 310,000
2018-19	\$ 310,000
2019-20	\$ 310,000
2020-21	\$ 310,000
2021-22	\$ 310,000
2022-23	\$ 310,000

INTRODUCTORY NO.

50

Ordinance No.

Authorizing an amendatory intermunicipal agreement relating to lead paint poisoning prevention inspection services

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into an amendatory intermunicipal agreement with the County of Monroe for reimbursement to the City for lead paint poisoning prevention inspection services. The amendatory agreement shall extend the term of the agreement authorized by Ordinance No. 2022-202 by one year from October 1, 2022 through September 30, 2023. The maximum compensation for the amendatory agreement shall be \$310,000.

Section 2. The amendatory agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. This ordinance shall take effect immediately.



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NEIGHBORHOOD & BUSINESS DEVELOPMENT INTRODUCTORY NO. 51

Malik D. Evans
Mayor

January 31, 2023 NBD 12

TO THE COUNCIL

Ladies and Gentlemen:

Re: Appropriation – American Rescue Plan Act
Funding – Lead Water Service Replacement Program

Council Priority: Rebuilding and Strengthening
Neighborhood Housing;

Transmitted herewith for your approval is legislation related to the receipt and use of American Rescue Plan Act (ARPA) funding to assist residential property owners through the Lead Water Service Replacement Program. This legislation will:

- 1) Appropriate \$6,000,000 from ARPA to fund the Lead Water Service Replacement Program; and
- 2) Amend the 2022-23 Budget of the Department of Neighborhood and Business Development (NBD) by \$150,000 to reflect the addition of ARPA funding to support the program. The remaining funds will be anticipated and included in the 2023-24 and future budgets of NBD, contingent upon approval.

The City of Rochester received a \$202.1 million award from the Coronavirus State and Local Fiscal Recovery Fund established by ARPA. This program was included in the prior Administration's Strategic Equity and Recovery Plan, shared with City Council on September 29, 2021, and was shared by the current Administration in a Council work session on September 29, 2022. This program is an eligible use of ARPA funding under Final Rule Expenditure Category: 5.12 Lead Remediation, including in Schools and Daycares.

The funds provided will assist residential property owners in replacing lead service lines in an effort to reduce the amount of lead in drinking water. We estimate the program funds will replace approximately 1,200 water service lines.

The program will be administered jointly between the Department of Environmental Services (DES) and NBD over a three-year period. NBD will seek contractors through the City's public bid process to obtain up to five service providers to perform water service replacements. NBD will work with DES to ensure that this program runs concurrently with DES' water service replacement program in the City's right-of-way. DES will provide NBD with a list of property owners to contact for the program.

Respectfully submitted,

Malik D. Evans
Mayor



INTRODUCTORY NO.

51

Ordinance No.

Appropriating American Rescue Plan Act funds and amending the 2022-23 Budget for the Lead Water Service Replacement Program

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Council hereby appropriates the sum of \$6,000,000 provided by the United States Treasury pursuant to the American Rescue Plan Act of 2021 (ARPA) to fund the Lead Water Service Replacement Program to replace lead-containing water service lines to residential properties (the Program).

Section 2. Ordinance No. 2022-157, the 2022-23 Budget of the City of Rochester, as amended, is hereby further amended by increasing the revenue estimates and appropriations to the Budget of the Department of Neighborhood and Business Development by \$150,000 from the funds appropriated in Section 1.

Section 3. The Mayor is hereby authorized to execute any agreement or to provide such other documentation as may be necessary to implement the Program. Any such agreements and documents shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 4. This ordinance shall take effect immediately.



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**NEIGHBORHOOD &
BUSINESS DEVELOPMENT
INTRODUCTORY NO.**

52

Malik D. Evans
Mayor

January 31, 2023 NBD 13

TO THE COUNCIL

Ladies and Gentlemen:

Re: Appropriation – American Rescue Plan Act
Funding – Targeted Mixed-Use Rehabilitation Grant
Program

Council Priority: Rebuilding and Strengthening
Neighborhood Housing

Comprehensive Plan 2034 Initiative Area: Reinforcing
Strong Neighborhoods

Transmitted herewith for your approval is legislation related to the receipt and use of American Rescue Plan Act (ARPA) funding to assist eligible owners of mixed-use buildings with commercial space and residential units located in targeted areas through the Targeted Mixed-Use Rehabilitation Grant Program. This legislation will:

- 1) Appropriate \$2,080,000 from ARPA to fund the Targeted Mixed-Use Rehabilitation Grant Program;
- 2) Amend the 2022-23 Budget of the Department of Neighborhood and Business Development (NBD) by \$150,000 to reflect the addition of ARPA funding to support the program. The remaining funds will be anticipated and included in the 2023-24 and future budgets of NBD, contingent upon approval;
- 3) Amend an agreement with Hunt Engineers, Architects, Land Surveyors & Landscape Architect, D.P.C. (HUNT; Christopher Bond, Principal, 4 Commercial St., Rochester, NY) authorized by Ordinance No. 2022-199 to increase the maximum amount of compensation by \$50,000 to a new total of \$82,275 to provide architectural services. The additional \$50,000 shall be funded from the appropriation made in 1) above; and
- 4) Authorize program agreements with property owners for the remaining \$2,030,000, funded from the appropriation in 1) above.

The City of Rochester received a \$202.1 million award from the Coronavirus State and Local Fiscal Recovery Fund established by ARPA. This program was included in the prior Administration’s Strategic Equity and Recovery Plan, shared with City Council on September 29, 2021, and was shared by the current Administration in a Council work session on September 29, 2022. This program is an eligible use of ARPA funding under Final Rule Expenditure Category: 2.18 Housing Support: Other Housing Assistance.

Ordinance No. 2022-199 authorized an agreement with HUNT to provide residential architectural services. The amended agreement will also include architectural services for commercial mixed-use buildings enrolled in this program.



The Targeted Mixed-Use Rehabilitation Grant Program will provide financial assistance not to exceed up to \$199,999 to eligible property owners who own a mixed-used property in identified targeted areas.

Eligible uses for the program will include renovations to the residential units to address lead-based paint hazards, health and safety hazards, plumbing and electrical repairs, code violations, and other improvements to meet certificate of occupancy standards. The program will not fund improvements to commercial space.

To be eligible, the property must be mixed-use with commercial space with residential units. Property owner(s) must be current with City and Monroe County property taxes, not be subject to tax or mortgage foreclosure, and must be code compliant with all properties owned in the city of Rochester.

Property owners will be subject to a 10-year compliance period to ensure that the total household income for tenants of the residential units is at or below 80% of the Housing and Urban Development (HUD) Area Median Income (AMI) and that the rent amount for the residential units is affordable to tenants whose income is at or below 80% AMI in accordance with fair market rents published by HUD. Property owners will be subject to annual verification of tenant's income and rents to ensure HUD compliance. Lastly, owners will be subject to an annual inspection to ensure compliance with the City housing quality standards.

To secure grant funds the Property owner will be required to sign a 10-year Program Agreement and Note and Mortgage to be recorded as a lien with the Monroe County Clerk's office.

The selection process will include a windshield survey conducted by City staff of all commercial properties located within targeted areas. Based on this survey an inventory of possible candidates will be reviewed and owners will be contacted to invite their participation in the program. The first targeted area of this program will be targeted to eligible property owners near the "Buy the Block" project area along Hudson Avenue between Clifford Avenue and North Street, along Upper Falls Boulevard between Hudson Avenue and Joseph Avenue, and along Joseph Avenue between Upper Falls Boulevard and Clifford Avenue.

It is expected that approximately 10 properties will be assisted.

Respectfully submitted,



Malik D. Evans
Mayor

Appropriating funds, amending the 2022-23 Budget and authorizing agreements for the Targeted Mixed-Use Rehabilitation Grant Program

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Council hereby appropriates the sum of \$2,080,000 provided by the United States Treasury pursuant to the American Rescue Plan Act of 2021 (ARPA) to fund the Targeted Mixed-Use Rehabilitation Grant Program (Program).

Section 2. Ordinance No. 2022-157, the 2022-23 Budget of the City of Rochester, as amended, is hereby further amended by increasing the revenue estimates and appropriations to the Budget of the Department of Neighborhood and Business Development by \$150,000 from the funds appropriated in Section 1.

Section 3. The Mayor is hereby authorized to enter into an amendatory professional services agreement with Hunt Engineers, Architects, Land Surveyors & Landscape Architect, D.P.C. to provide architectural services to the Program. The amendatory agreement shall amend the agreement authorized by Ordinance No. 2022-199 to provide architectural services to the Program and to increase the maximum compensation by \$50,000 to a new total of \$82,275. The amendatory compensation shall be funded from the ARPA funds appropriated in Section 1.

Section 4. The Mayor is hereby authorized to enter into grant agreements with eligible property owners to implement the Program. No single grant agreement shall exceed \$199,999 and the maximum aggregate amount of all grant agreements shall be \$2,030,000, which shall be funded from the appropriation authorized in Section 1.

Section 5. The agreements authorized herein shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 6. This ordinance shall take effect immediately.



City of Rochester

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NEIGHBORHOOD & BUSINESS DEVELOPMENT INTRODUCTORY NO.

Malik D. Evans
Mayor

53

January 31, 2023

NBD 14

TO THE COUNCIL

Ladies and Gentlemen:

Re: Amendment – Foreclosure Prevention Program

Council Priority: Rebuilding and Strengthening
Neighborhood Housing

Comprehensive Plan 2034 Initiative Area:
Reinforcing Strong Neighborhoods

Transmitted herewith for your approval is legislation related to the Foreclosure Prevention Program. This legislation will:

- 1) Appropriate unspent Community Development Block Grant (CDBG) funds from the 2019-20 and 2021-22 Annual Action Plans as follows:
 - a. \$429.71 from the 2019-20 Homeownership Fund – Foreclosure Prevention project; and
 - b. \$2,061.93 from the 2021-22 Foreclosure Prevention project.
- 2) Amend an agreement with Empire Justice Center (Principal: Kristin Brown, 1 West Main Street, Rochester, New York) authorized in Ordinance No. 2022-194 to add \$2,491.64 for a new total maximum compensation of \$16,741.64 to provide foreclosure prevention services. The other terms of the agreement remain the same.

The Empire Justice Center is a leader in developing statewide standards for foreclosure prevention legal services. The Empire Justice Center will provide legal advice and litigation services when required by analysis of clients' circumstances. If funds are different, not available, or are less than anticipated, the agreement amounts and terms will be adjusted accordingly.

Respectfully submitted,

Malik D. Evans
Mayor



INTRODUCTORY NO.

53

Ordinance No.

Appropriating funds and authorizing an amendatory agreement for the Foreclosure Prevention Program

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The sum of \$2,491.64 is hereby appropriated to the Foreclosure Prevention Program (Program), in the amounts of: \$429.71 from the Homeownership Fund – Foreclosure Prevention project of the 2019-20 Annual Action Plan; and \$2,061.93 from the Foreclosure Prevention project of the 2021-22 Annual Action Plan.

Section 2. The Mayor is hereby authorized to enter into an amendatory professional services agreement with Empire Justice Center to provide additional legal services to the Program. The amendatory agreement shall increase the maximum compensation of the original agreement authorized in Ordinance No. 2022-194 by \$2,491.64 to a new total of \$16,741.64. The amendatory compensation shall be funded from the appropriations authorized in Section 1.

Section 3. The amendatory agreements shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 4. This ordinance shall take effect immediately.



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**NEIGHBORHOOD &
BUSINESS DEVELOPMENT
INTRODUCTORY NO.**

Malik D. Evans
Mayor

54

January 31, 2023 NBD 15

TO THE COUNCIL

Ladies and Gentlemen:

Re: Amendments and Agreements – Tenant
Landlord Services Program

Council Priority: Rebuilding and Strengthening
Neighborhood Housing

Comprehensive Plan 2034 Initiative Area:
Reinforcing Strong Neighborhoods

Transmitted herewith for your approval is legislation related to Tenant Landlord Services projects described in the 2017-18 Annual Action Plan, Consolidated Community Development Plan, as well as the 2018-2019, 2019-20, 2020-21 and 2021-22 Annual Action Plans, and amending agreements related to previous ordinances. This legislation will:

- 1) Re-appropriate \$56,025 of unspent Community Development Block Grant COVID (CDBG-CV) funds and amend the 2019-20 Annual Action Plan to transfer these funds from the CV-Assistance to Food Establishments project to the CV–Eviction and Homeless Prevention/Landlord Tenant Services project;
- 2) Establish \$56,025 as maximum compensation for an agreement with The Legal Aid Society of Rochester, New York (Principal: Carla Palumbo, 1 West Main Street, Rochester, New York) to provide housing stabilization services to mitigate COVID-19 pandemic related impacts to tenants and landlords. The cost of the agreement will be funded from the above re-appropriation. The term of the agreement will be for 12 months, with the option to extend for an additional 6 months;
- 3) Re-appropriate \$9,470.37 of unspent Community Development Block Grant (CDBG) funds and amend the respective Annual Action Plans as follows:

Annual Action Plan	Re-appropriate From	Transfer To	Amount
2017-18	10. Housing Development Fund - Aging in Place	5. Rental Market Fund-Landlord/Tenant Services	\$900.00
2018-19	30. Street Liaison	4. Rental Market Fund-Landlord/Tenant Services	\$1,518.69
2018-19	31. Business Association Support	4. Rental Market Fund-Landlord/Tenant Services	\$705.58
2019-20	8. Housing Development Fund - Aging in Place	4. Rental Market Fund - Eviction Prevention/Landlord Tenant Services	\$225.00
2019-20	28. Street Liaison	4. Rental Market Fund - Eviction Prevention/Landlord Tenant Services	\$420.00
2020-21	2. Street Liaison	6. Tenant and Landlord Services	\$24.00



Annual Action Plan	Re-appropriate From	Transfer To	Amount
2020-21	5. Legal Services for Seniors	6. Tenant and Landlord Services	\$4,111.10
2021-22	3. Street Liaison	6. Tenant and Landlord Services	\$1,566.00
		Total	\$9,470.37

- 4) Amend an agreement with the Legal Aid Society of Rochester, New York (Principal: Carla Palumbo, 1 West Main Street, Rochester, New York) authorized in Ordinance No. 2022-196 to add \$9,470.37 for a new total maximum compensation of \$87,572.37 to provide housing stabilization services to tenants and landlords. The cost of the agreement will be funded from the funding re-appropriated above. The other terms of the agreement remain the same.

The Tenant Landlord Services program provides housing stabilization services to both tenants and landlords. The Legal Aid Society of Rochester, New York will serve as lead agency in partnership with Legal Assistance of Western New York, Inc. (Principal: C. Kenneth Perri, 1 West Main Street, Rochester, New York) and The Housing Council at PathStone, Inc. (Principal: Mary Leo, 75 College Avenue, Rochester, New York). The programs have been in place for over a decade. Services include eviction prevention services for tenants to re-establish or maintain stable housing and training for landlords on operating rental property as a business and compliance with fair housing quality standards. If funds are different, not available, or are less than anticipated, the agreement amounts and terms will be adjusted accordingly.

Respectfully submitted,

Malik D. Evans
Mayor

JUSTIFICATION STATEMENT
Awarding a Professional Services Agreement without a Request for Proposals

Department: NBD
Services: TENANT LANDLORD SERVICES PROGRAM

Vendor/Consultant selected: The Legal Aid Society of Rochester New York

How was the vendor selected?

This program has been in place for multiple years with high levels of success. The increase to the original brings the funding closer to previous years' amounts without paying for new infrastructure or set-up costs, and the new contract provides for special assistance for pandemic-related concerns through the same services.

Why was no RFP issued for this service?

The Legal Aid Society of Rochester has an organizational mission of providing legal services and advocacy on behalf of low-income tenants, with proven success in helping both tenants and landlords maintain stable housing and avoid detrimental and costly evictions. The City has provided funding for this program and has monitored the activities for multiple years.

Is there previous experience with the vendor?

The City has worked with this vendor for several years, with very successful outcomes.

Are there unique circumstances?

The Legal Aid Society of Rochester is uniquely qualified, although circumstances do not meet an emergency definition. Rather, the efficacy and efficiency factors of continuing the agreement into the next program year outweigh the perceived value of issuing an RFP.

Is the service specialized and unique? Is the number of qualified providers limited?

These services have a significant impact on the state of rental housing within the City. The Legal Aid Society of Rochester Inc. will serve as lead agency in partnership with Legal Assistance of Western New York Inc. and The Housing Council at PathStone Inc. to leverage experience and quality of service as well as households served.

Does the project include multi-year State or Federal Funding? Yes: the CV related agreement will continue into the 23-24 program year.

Compensation Amount: new total for original agreement: \$87,572.37 (an increase of \$9,470.37); total for CV-related agreement: \$56,025.

How was this determined?

The original agreement's funds were allocated from the FY 2022-23 Improve Housing Stock and General Property Conditions fund, and represent a maintenance of effort but at a reduced amount from previous years. The services have already been provided at a rapid rate, and the increase is to address the current overwhelming need for the program. Tenant and Landlord services support the largest small business sector in the City, has an impact on sustaining and improving City rental properties and helps City combat homelessness.

The MWBE Officer has reviewed the proposed Agreement for MWBE and Workforce goals. MWBE Officer Initials: *Smo*

Date: 1/3/2023

Dana Miller (mwp)

Signature: Department Head

1/5/2023

Date

INTRODUCTORY NO.

54

Ordinance No.

Appropriating funds and authorizing an agreement for Tenant and Landlord Services

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The 2019-20 Annual Action Plan, as amended pursuant to the Coronavirus Aid, Relief, and Economic Security Act of 2020 to provide money for additional projects in response to the coronavirus pandemic (CV), is hereby further amended to transfer \$56,025 from the CV-Assistance to Food Establishments project to the CV-Eviction and Homeless Prevention/Landlord Tenant Services project.

Section 2. The Mayor is hereby authorized to enter into a professional services agreement with The Legal Aid Society of Rochester, New York in the maximum amount of \$56,025 to provide housing stabilization services to mitigate coronavirus pandemic related impacts to tenants and landlords. The agreement shall be funded from the CV-Eviction and Homeless Prevention/Landlord Tenant Services project of the 2019-20 Annual Action Plan, which amount is hereby appropriated for the professional services authorized herein. The agreement shall be for a term of one year, with the option to extend the term for an additional six months.

Section 3. The following Annual Action Plans are hereby amended to transfer funds to projects that are suitable to fund the City's Tenant Landlord Services Program:

Annual Action Plan	Project to Subtract From	Project to Transfer To	Amount
2017-18	10. Housing Development Fund - Aging in Place	5. Rental Market Fund-Landlord/Tenant Services	\$900.00
2018-19	30. Street Liaison	4. Rental Market Fund-Landlord/Tenant Services	\$1,518.69
2018-19	31. Business Association Support	4. Rental Market Fund-Landlord/Tenant Services	\$705.58
2019-20	8. Housing Development Fund - Aging in Place	4. Rental Market Fund - Eviction Prevention/Landlord Tenant Services	\$225.00
2019-20	28. Street Liaison	4. Rental Market Fund - Eviction Prevention/Landlord Tenant Services	\$420.00
2020-21	2. Street Liaison	6. Tenant and Landlord Services	\$24.00
2020-21	5. Legal Services for Seniors	6. Tenant and Landlord Services	\$4,111.10
2021-22	3. Street Liaison	6. Tenant and Landlord Services	\$1,566.00
Total			\$9,470.37

Section 4. The Mayor is hereby authorized to enter into an amendatory professional services agreement with The Legal Aid Society of Rochester, New York to provide additional housing stabilization services to tenants and landlords. The original agreement authorized in Ordinance No. 2022-196 shall be amended to increase the maximum compensation by \$9,470.37 to a new total of \$87,572.37. The amendatory compensation shall be funded from the Annual Action Plan projects that receive the funds transferred pursuant to Section 3 herein, which are hereby appropriated for the amendatory agreement.

Section 5. The agreements authorized herein shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 6. This ordinance shall take effect immediately.



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**NEIGHBORHOOD &
BUSINESS DEVELOPMENT
INTRODUCTORY NO.**

55

Malik D. Evans
Mayor

January 31, 2023 NBD 16

TO THE COUNCIL

Ladies and Gentlemen:

Re: Budget Amendment and Agreement – Rochester Area Community Foundation Initiatives, Inc. – Property Improvement Program

Council Priority: Rebuilding and Strengthening Neighborhood Housing

Comprehensive Plan 2034 Initiative Area: Reinforcing Strong Neighborhoods

Transmitted herewith for your approval is legislation related to the administration of a Property Improvement Program. The legislation will:

- 1) Amend the 2022-23 Budget of the Department of Neighborhood and Business Development by a total of \$435,000, appropriating said funds from the General Fund fund balance restricted by Enterprise Community Partners from Anti Displacement Learning Network (ADLN) funds for the establishment of a Housing Trust Fund (HTF). These funds were initially committed to fund balance via Ord. No. 2021-397 but later changed to restricted via Ord. No. 2022-41; and
- 2) Authorize an agreement establishing \$435,000 as maximum compensation with the Rochester Area Community Foundation Initiatives, Inc., (President/CEO Simeon Banister, 500 East Avenue, Rochester, NY) to implement the program, managed through their Rochester ENergy Efficiency and Weatherization (RENEW) initiative. The term of the agreement will be for one year, with the option to extend for an additional year if funds remain in the original appropriation, and will be funded through the amendment above.
- 3) Authorize the Mayor to execute such agreements and other documents as may be necessary to effectuate the agreement authorized herein.

In 2020, the NYS Attorney General's Office and Enterprise Community Partners, Inc. (Enterprise), launched the ADLN to support the efforts of municipalities in New York State to reduce or prevent the housing displacement of low-income communities through peer learning and the funding of targeted strategies. The Rochester ADLN team is comprised of representatives from Catholic Charities Family and Community Services, the City-Wide Tenant Union of Rochester, the Anthony L. Jordan Health Corporation, and the Volunteers of America along with City staff from Housing, Budget, and Planning and the President of City Council. The \$1,000,000 award from Enterprise has been used so far to combat COVID-19-related displacement, launch a Property Ownership Readiness pilot program, and for a consultant to provide research and recommendations on a framework for a local HTF specific to Rochester's needs.

The team particularly focused on an HTF as an innovative and flexible vehicle dedicated to promoting engagement as well as to fill gaps in housing opportunities and stability for people at risk of displacement. This also fulfills a recommendation from the City's Comprehensive Plan, **Rochester 2034**, in Section HSG-5g: "Explore the feasibility and value of a housing trust fund to



raise additional resources to help invest in housing and community development goals". This proposal is one of the activities developed for the upcoming HTF.

The Property Improvement Program was designed by the ADLN team to address a gap in services identified by a needs assessment completed in 2021 as well as community input. Additionally, it aligns with the Housing Quality Task Force recommendations and was approved by Enterprise Community Partners, Inc., the original source of the funds noted in the above-mentioned Ordinance.

As with other activities produced through ADLN, the priority is reducing displacement for low-income households, in particular tenant households headed by Black or Brown women. The ADLN team is aware that the pandemic has negatively impacted the quality of housing units, as well as relationships between tenants and housing providers. This award will allow RENEW to conduct and/or contract for repairs to properties that improve the condition of housing units for the above-mentioned households. Repairs will primarily be driven by the tenant's needs and may range from small updates including security features, to larger concerns such as rotted steps or mold. In most cases, the assistance will be paired with other programs available through RENEW, including, but not limited to, significant energy efficiency upgrades. It is a particular priority to find ways to reduce the burden of utility costs on low-income households. Further details about the proposed program are included in the attached exhibit.

An RFP for the *Property Improvement Program* was issued on October 6, 2022. RENEW was identified as the recommended consultant through the process described in the attached Vendor Selection Form.

Respectfully submitted,



Malik D. Evans
Mayor

RACF Initiatives, Inc. – Property Improvement Program

Anti Displacement Learning Network

Current Membership on Planning Team/RFP Review, January 2023

1. Catholic Charities Family and Community Services
 - a. Associate Director of Housing
 - b. Executive Assistant
2. City of Rochester
 - a. City Council: Council President
 - b. Housing: Manager; Associate Community Housing Planner
 - c. Planning/Mayor's Office: Associate Administrative Analyst
 - d. Budget: Senior Management Analyst
3. Citywide Tenant Union, two members, titles unknown
4. Jordan Health Center: Grant and Program Development Coordinator
5. Volunteers of America, Upstate New York: Director of Community Based Programs

Property Improvement Program Summary

Purpose:

Address minor to mid-level repairs or updates to a non-owner-occupied property where the low-income occupant and owner are in agreement that the work will improve the quality of life for the occupant and reduce the potential for displacement. These repairs could be as minor as a video doorbell or a new toilet/refrigerator, or could accommodate a more significant issue such as mold remediation, unsafe porch steps, or even cosmetic updates in certain circumstances. The program will not be limited to health and safety concerns, although those will be addressed where possible.

The RENEW team and the City/ADLN Team expects to work together to create a list of the most likely repairs, and a process for identifying areas where exceptions can be considered. Where deemed appropriate, more complex repairs/updates will also be considered, with prior approval by the City/ADLN program administrator. These may include but are not limited to:

1. Updates to reduce energy costs/utility bills where the non-owner occupant(s) (tenant/s) is/are currently responsible for payment
2. Work necessary to get a non-owner-occupied property 'NYSERDA ready' through this and other repair programs; in other words, ready for sustainability updates eligible for NYSERDA or RGE assistance

It is assumed that in all cases the program funds will be used where other programs cannot be leveraged, although it is acceptable and encouraged for the funds to be part of a greater pool in order to strive for a 'whole house' strategy. The RENEW staff and its partners will continue to review the property and applicant for eligibility for other programs, including but not limited to HEAP, other City of Rochester repair assistance, or New York State or RGE energy efficiency upgrade assistance.

Repairs are anticipated to be completed by RENEW-approved staff or contractors, with appropriate documentation of completion and materials used.

We anticipate serving approximately 50 households.

Eligible Households:

The maximum income level for an applicant household will be 80% Median Family Income (currently \$74,750 for a household of four).

Priority households:

- Households with children headed by Black/Brown women
- Very- or extremely-low income households
- Properties where the owner has fewer than 10 rental units in their portfolio and/or is also demonstrably low-income.

The program anticipates the option to assist an owner-occupant with extenuating circumstances, particularly if there are no other programs available for repair.

Recruitment:

There are several households who have already approached the RENEW staff and non-profit partners (Action for a Better Community, NeighborWorks Community Partners, PathStone) with requests for assistance that have been unable to be addressed ahead of this program. These will be contacted first. In addition, the City Contract Services department has a list of properties that could not be assisted during the pandemic due to lack of available funds or for units that were occupied. If eligible, these households will be contacted to see if they still need assistance.

Other referrals will be made by agencies or community partners, or applicants can reach out to RENEW or their partners directly.

Documentation:

We envision that RENEW and its partners will provide for tenant protections to avoid an owner profiting from the program while negatively impacting a tenant. Typically that is likely to take the form of a written agreement between the housing provider and the tenant, held and monitored by RENEW, which would include:

1. the agreed-upon repairs
2. documentation of any other changes or expectations
3. specific amount of time before the rent amount could be increased
4. the specific amount of time the rental agreement will not be terminated or not renewed
5. repercussions for noncompliance by either party

Vendor / Consultant Selection Process Summary

Department: NBD

Project / Service Title: Property Improvement Program

Consultant Selected: Rochester Energy Efficiency and Weatherization (Fiduciary: RACF Initiatives)

Method of selection: Request for Proposal [*Complete 1-7*]
 Request for Qualifications [*Complete 1-7*]
 From the NY State Department of Transportation list of pre-approved regional engineering firms [*Complete 4-7*]

1. Date RFP / RFQ issued October 6, 2022

2. The RFP / RFQ was also sent directly to: Aeon Baptist Church; Baber Chapel of AME Church; Baden Street Settlement House; Bridge Builders Ministries; Charles Settlement House/Community Place; Church of Life Ministries; Church of Love Faith Center; Connected Communities; Empire Justice Center; ESL Foundation; Faith Hope and Charity Worship Center; First Genesis Baptist Church; Full Gospel Tabernacle; Greater Harvest Church; Heart and Soul Community Church; Housing Council at PathStone; In Christ New Hope Ministries; Just Cause; Legal Aid Society of WNY; Legal Assistance of Western NY; Love Fellowship Worship; Marketview Heights Neighborhood Association; Memorial AME Zion Church; Montgomery Settlement at SWAN; NeighborWorks Community Partners; New Born Fellowship Church; New Life Fellowship; PathStone; Power House Kingdom Cathedral COGIC; Rochester Area Community Foundation; Rochester Housing Authority; Rochester Land Bank; Rochester Refugee Resettlement; SouthEast Area Coalition; St. Paul Believers Holiness Church; St. Phillip International Church; Urban League of Rochester

3. Proposals were received from

<u>FIRM</u>	<u>City/ST</u>
RENEW	Rochester, NY

4. Evaluation criteria

Below are review criteria, bonus points, and the final score for the top scoring proposal received:

<i>Proposal Review Criteria</i>	Possible Points	RENEW	
Proposal Quality	4	2.67	
Experience	3.5	2.68	
References	.5	.32	
Timeliness	1	.57	
Cost	.5	.38	
Commitment of Key Staff	.5	.35	
<i>SUBTOTAL</i>	10	6.23	
<i>Potential Bonus Points</i>			
City Business	1	1	
Prime is MWBE	1	0	
Prime uses 10-20% MWBE subs	0.5	0	<i>NOTE: RENEW is a non-profit agency, so cannot be certified as an MWBE</i>
Prime uses >20% MWBE subs	1	0	
Workforce goals: M(20%) & W (6.9%)	1	0	

<i>BONUS POINT SUBTOTAL</i>	4.5	1
TOTAL POINTS	14.5	7.23

TOTAL POINTS RECEIVED by RENEW is 7.23.

5. Review team included representation from: Rochester City Council (1); NBD/Housing (2); Mayor's Office/Planning (1); Budget (1); Catholic Charities Family and Community Services (2); City-Wide Tenant Union of Rochester (2); Anthony L. Jordan Health Corporation (1); Volunteers of America (1)

6. Additional considerations/explanations: The RENEW infrastructure is already in place to begin directly assisting households with repairs within a short period of time, as well as leveraging significant other financial assistance. Their partnerships and programs provide access and support for a variety of households, including referrals and education, and the funds also support local non-profit entities such as PathStone and Action for a Better Community. RENEW and its community partners make good faith efforts to achieve significant M/WBE contractor participation in their activities.

7. MWBE Officer has reviewed the recommended firm's proposal for MWBE and Workforce goals. MWBE Officer Initials: *SMD* Date: **11/30/2022**

Ordinance No.

Amending the 2022-23 Budget and authorizing agreements for a Property Improvement Program

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. Ordinance No. 2022-157, the 2022-23 Budget of the City of Rochester, as amended, is hereby further amended by increasing the revenue estimates and appropriations to the Budget of the Department of Neighborhood and Business Development (NBD) by \$435,000, which are hereby appropriated to a Property Improvement Program from the Anti-Displacement Learning Network grant funds deposited in the General Fund in accordance with Ordinance No.2022-41.

Section 2. The Mayor is hereby authorized to enter into a professional services agreement with Rochester Area Community Foundation Initiatives, Inc. to implement the Property Improvement Program. The maximum compensation for the agreement shall be \$435,000, which shall be funded from the 2022-23 Budget of NBD. The term of the agreement shall be one year with the option to extend for one additional year if funds appropriated in Section 1 remain. The Mayor is hereby authorized to execute such other agreements and documents as may be necessary to effectuate the agreement.

Section 3. The agreements authorized herein shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 4. This ordinance shall take effect immediately.



January 31, 2023

TO THE COUNCIL

Ladies and Gentlemen:

Re: Professional Services Agreement – Pallet
Shelters at Peace Village

Transmitted herewith for your approval is legislation related to improvements at Peace Village, 97 Industrial Street, to better serve unhoused people by providing higher quality facilities (the "Project").

This legislation will:

- 1) Allocate \$750,000 towards the Project from a portion of the unspent funds allocated to the Police Accountability Board (PAB) in the 2022-23 Budget of the City Council & Clerk. In December (Resolution No. 2022-50), this Council acknowledged that a significant portion of the funds budgeted for the PAB in the present fiscal year will remain unspent and we resolved to reallocate those funds to four specified community need categories (Community Needs). This legislation is a first step in that initiative.
- 2) Authorize \$460,000 as maximum compensation with Pallet SPC (Amy King, Principal; Everett, Washington) for a professional services agreement to create and assist in the installation of 15 insulated transitional housing units with 2 beds apiece and supporting structures at the Peace Village (97 Industrial Street, Rochester) site. The agreement will provide for the housing units plus two hygiene units (including one that is handicap accessible), an office space and an approximately 400 square-foot community space. The agreement will have a term of one year.

A justification for not issuing a Request for Proposals is attached. Attachment A is a product catalogue provided by Pallet which includes examples of the structures. Attachment B is the Shelter 64 product specifications. Attachment C is the Class C Fire Rating.

- 3) Authorize a grant agreement with Person Centered Housing Options (PCHO), or another organization if deemed more appropriate, to oversee and maintain the improvements as described above at the Peace Village site. The maximum agreement will be \$290,000, funded from the appropriations stated above. The term of the agreement will be one year.

There are many ways to serve our unhoused community members, and many models to accommodate different needs. The unhoused persons served by Peace Village often struggle to be placed right away in regular homeless shelters or other accommodations intended to transition them to permanent housing. Providing these individuals with a better quality of life and greater number of temporary lodgings at a location where they can be helped with various social-emotional challenges (i.e., Mental Health services, Substance Abuse Treatment) will be critically important to their

success. These transitional structures and supports in combination with the work of other service providers will also assist with finding permanent housing. This request will serve all four of our "Community Needs" by addressing: Housing & Homelessness; Substance Abuse Treatment; Mental Health; and Public Safety & Violence. Pallet SPC will provide an innovative approach to serve an immediate need.

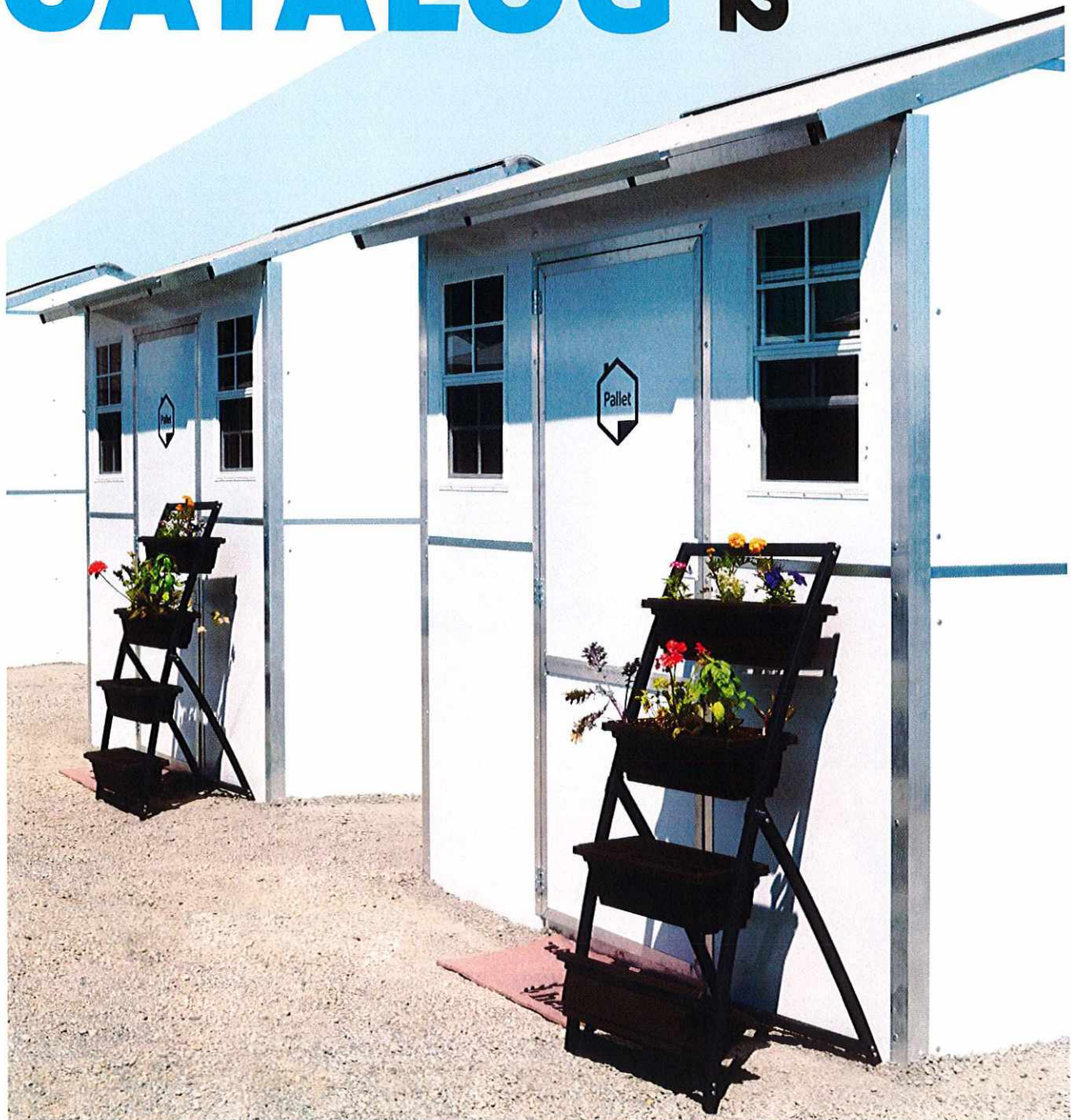
Respectfully submitted,

A handwritten signature in blue ink that reads "Miguel A. Meléndez Jr." The signature is written in a cursive style with a large, stylized initial 'M' and a prominent 'Jr.' at the end.

Miguel A. Meléndez, Jr.
President



PRODUCT CATALOG 2022



WHY PALLET

No one should go unsheltered when a shelter village can be built in a day.

Pallet responds to emergencies and housing needs with solutions built fast, at scale. From private shelters with lockable doors to on-site bathrooms, our village residents have peace of mind while they rest their heads in a safe space. Each shelter can be assembled in an hour.

Public Benefit Company

Pallet invests in people and is a fair chance employer. More than half of our team has experienced homelessness, substance use disorder, and/or the criminal justice system. They've found stability through meaningful employment. We're builders at heart and train our employees with the skills they need to be successful.



End-to-End Support

Pallet has built thousands of shelters across the United States. Our team offers personalized consultative services to all clients. We have end-to-end expertise in the multi-stakeholder process required to create healing shelter villages at speed and scale.

TABLE OF CONTENTS

04 - 05 **CLIMATE CONTROL OPTIONS**

08 - 13 **SHELTER**

15 - 19 **HYGIENE**

20 - 21 **LAUNDRY**

22 - 23 **ACCESSORIES**

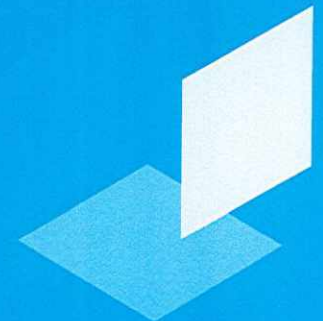


TABLE OF CONTENTS

COMFORT AND DIGNITY IN ANY CLIMATE





No matter the weather, we have a shelter configuration that provides comfort, dignity, and safety.

There are three elements to consider when configuring a shelter for your climate: Heating for cold temperatures, air conditioning for hot temperatures, and structural strength to match the wind and snow load your area experiences. Working with our Community Development Team to select the ideal combinations of these variables will ensure resident comfort, and safety.

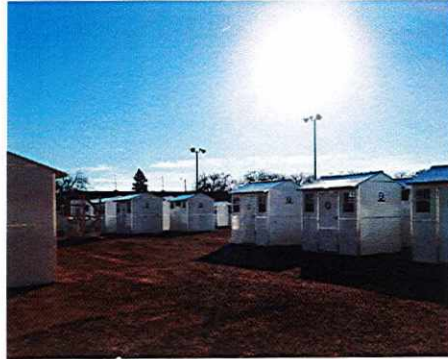
1 Cold Temperature Comfort

For effective and efficient heating in all conditions, we offer four main configurations that cover the US climate. The chart below shows heater unit variations and shelter wall thickness options to ensure interior temps stay above 70°F even on the coldest night of the year.

Heat System Options

 SEVERE COLD CLIMATE	1.5" wall thickness for added insulation	4500w heater for plenty of heating power	Capable of maintaining an interior temperature of 70°F when outside temps drop as low as -20°F	Delta T 90°F
 COLD CLIMATE	0.5" wall thickness, efficient, and sturdy	4500w heater for plenty of heating power	Capable of maintaining an interior temperature of 70°F when outside temps drop as low as -10°F	Delta T 80°F
 4-SEASON CLIMATE	1.5" wall thickness for added insulation	1500w heater, efficient heating for mid-range climates	Capable of maintaining an interior temperature of 70°F when outside temps drop as low as 10°F	Delta T 60°F
 TEMPERATE CLIMATE	0.5" wall thickness, efficient, and sturdy	1500w heater, efficient heating for mid-range climates	Capable of maintaining an interior temperature of 70°F when outside temps drop as low as 30°F	Delta T 40°F

**Delta T is the maximum difference between the outside environment temperature and the temperature inside the shelter.*



2 Warm Temperature Comfort

To provide safety and comfort in the hottest days of summer, we offer two air conditioning options. The right choice for your village will ensure proper cooling while maintaining the most efficient level of energy consumption.

A/C Options

5000 BTU AC Quiet and efficient cooling for most climates

6000 BTU AC Extra powerful cooling for extremely hot climates

3 High Wind and Snow Load

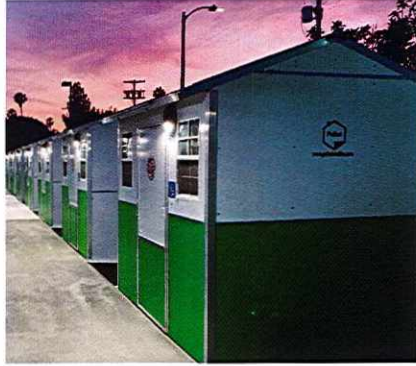
For locations that experience extreme winds and heavy snow we offer an additional configuration with enhanced structural support. The aluminum studs and roof supports of our Heavy Duty (HD) shelter stands up to storm winds up to 170 mph and snow load of 50 lbs. per square foot.

Wind and Snow Loading Options

STANDARD STRUCTURE Capable of withstanding winds of 110 mph and snow load of 25 lbs./sq. ft.

HEAVY DUTY STRUCTURE Capable of withstanding winds of 170 mph and snow load of 50 lbs./sq. ft.





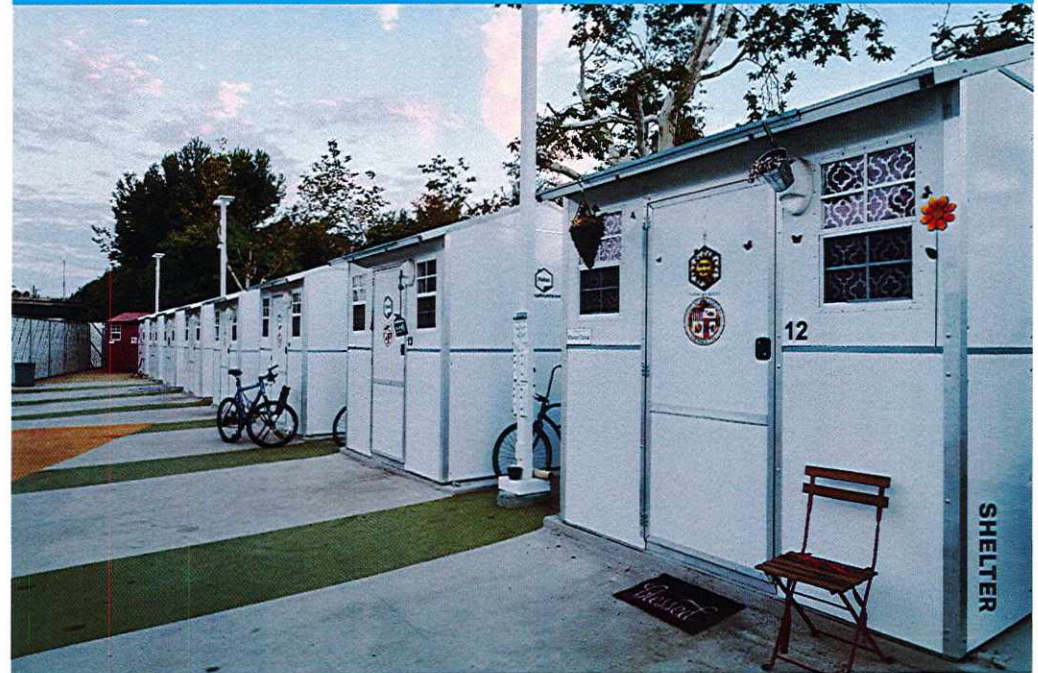
SHELTER

Pallet Shelters

Pallet shelter villages offer the dignity of private space in a healing community environment. They are designed to rapidly address unsheltered populations with a resource net of on-site social services, as well as food, showers, laundry, and more to help people transition to permanent housing.

Infrastructure Needs

Pallet shelters are a flexible system that can be installed on a wide variety of surfaces and connected to a number of power sources and standard sewer service lines.



Shelter 64

PROVEN: Thousands of shelters in use since first introduced in 2016.

DIGNIFIED: Heat, air conditioning, and other amenities for comfort, function, and security.

DURABLE: Long-lasting and built to handle wind, snow, and rain.



SHELTER 64

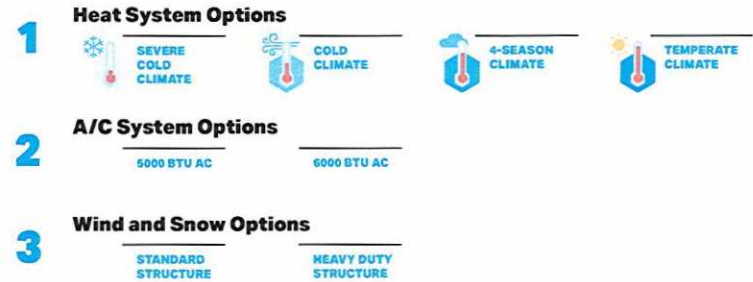
Designed and built with the right balance of efficiency and comfort, the Shelter 64 is the industry-standard rapid-response sleeping shelter. Optimized for one or two people. Climate-control options and a locking door provide residents comfortable, secure, and dignified shelter.

Features

- Locking door and windows
- Interchangeable bed/desk options
- Hardwired smoke/carbon monoxide detector
- Wall mounted fire extinguisher
- 5-year limited warranty
- Emergency egress door
- Assemble in an hour

The Right Shelter for your Needs

Selecting the right mix of options is essential to providing comfort, safety and dignity for your residents. The chart below outlines the options available. Select from each section to create your shelter.



TECHNICAL SPECIFICATIONS

SIZE (NOMINAL)	8'6" wide x 7' deep x 9'3" high
SQUARE FOOTAGE	64 sq. ft.
INTERIOR HEADROOM	107" max. / 90" min.
SLEEPING BUNK DIMENSIONS	28.25" x 81"
SHELTER WEIGHT	400 lbs., 0.5" shell 520 lbs., 1.5" shell
WIND RATING	110 mph (Standard) 170 mph (Heavy Duty)
SNOW LOAD RATING	25 lbs./sq. ft. (Standard) 50 lbs./sq. ft. (Heavy Duty)
MINIMUM TEMPERATURE RATING	30°F - 0.5" walls with 1500w heater 10°F - 1.5" walls with 1500w heater -15°F - 0.5" walls with 4500w heater -30°F - 1.5" walls with 4500w heater

Shelter 100

PROVEN: Thousands of shelters in use since first introduced in 2016.

DIGNIFIED: Heat, air conditioning, and other amenities for comfort, function, and security.

FLEXIBLE: Sleeps up to four or can be configured as an office or storage unit.



SHELTER 100

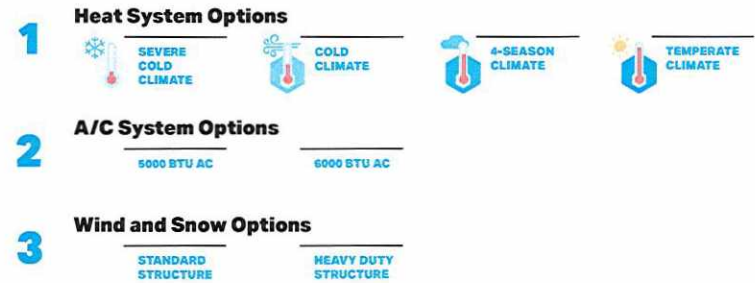
This 100 square foot shelter is a versatile structure with options for sleeping up to four people, or can be configured as a village services office. Families, couples, or individuals can live with peace of mind and comfort with features such as a smoke detector, climate control, and lockable door.

Features

- Locking door and windows
- Interchangeable bed/desk options
- Hardwired smoke/carbon monoxide detector
- Wall-mounted fire extinguisher
- 5-year limited warranty
- Emergency egress door
- Assemble in an 1 hour

The Right Shelter for your Needs

Selecting the right mix of options is essential to providing comfort, safety and dignity for your residents. The chart below outlines the options available. Select from each section to create your shelter.



TECHNICAL SPECIFICATIONS

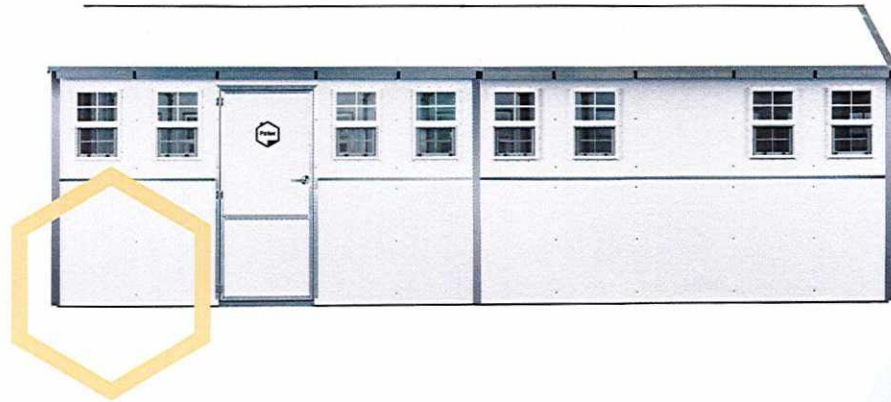
SIZE (NOMINAL)	13'8" wide x 7' deep x 9'3" high
SQUARE FOOTAGE	100 sq. ft.
INTERIOR HEADROOM	107" max. / 90" min.
SLEEPING BUNK DIMENSIONS	28.25" x 81"
SHELTER WEIGHT	916 lbs.
WIND RATING	110 mph (Standard) 170 mph (Heavy Duty)
SNOW LOAD RATING	25 lbs./sq. ft. (Standard) 50 lbs./sq. ft. (Heavy Duty)
MINIMUM TEMPERATURE RATING	10°F - 1.5" walls with 1500w heater -30°F - 1.5" walls with 4500w heater

Community 400 + 800

PROVEN: Thousands of shelters in use since first introduced in 2016.

FLEXIBLE: Electrical and heating options tailored to fit your needs.

DURABLE: Long-lasting and built to handle wind, snow, and rain.



COMMUNITY 400 + 800

Pallet's larger community structures provide a safe and comfortable space for residents to meet for meals, meetings, social gatherings, and work. With flexible open floor plans and proven, durable construction, the community structures are a versatile village addition.

Features

- Multiple windows for lots of natural light
- Electrical and lighting options built in
- Locking door and windows
- Hardwired smoke/carbon monoxide detector options
- 5-year limited warranty
- Resistant to mold and pests
- Assembles in 1 day

TECHNICAL SPECIFICATIONS

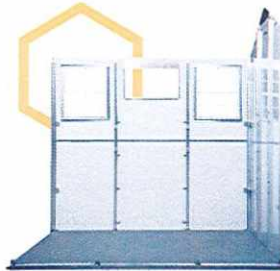
SIZE (NOMINAL)	COMMUNITY 400	COMMUNITY 800
	27'3" wide x 16'10" deep x 10'8" high	54'1" wide x 16'10" deep x 10'8" high
SQUARE FOOTAGE	400 sq. ft.	800 sq. ft.
INTERIOR HEADROOM	104" max. / 90" min.	104" max. / 90" min.
WIND RATING	110 mph	110 mph
SNOW LOAD RATING	25 lbs./sq. ft.	25 lbs./sq. ft.

PALLET'S PATENTED COMPOSITE CONSTRUCTION

All Pallet structures are built by our fair chance workforce who have lived experience. By utilizing aerospace construction methodology and materials, each shelter is lightweight, strong, and durable.

Aluminum Load Frame

T6061 aircraft grade aluminum cross sections serve as a structural frame that allows our shelters to be rated to handle wind speeds of up to 110 mph and endure snow loads of 25 lbs. per square foot. The HD structural frame can withstand wind speeds of up to 170 mph and endure snow loads of 50 lbs. per square foot.



Composite Sandwich Construction Wall Panels

With a rigid outer skin and a lightweight foam interior, these custom engineered panels provide incredible strength and insulation properties in a lightweight package. Offered in 0.5" and 1.5" thickness, they are easy to clean and maintain so energy is focused on residents and community, not village upkeep.



Safety Systems

Our shelters are designed to meet or exceed industry guidelines. Local authorities inspect them before residents move in. Each shelter is equipped with smoke/carbon monoxide detectors, interior and exterior lighting, and ample electrical outlets. An on-site service provider also ensures resident safety.



HYGIENE

Pallet Hygiene Units

Designed for comfort, function, and privacy, all Pallet hygiene units use standard bathroom fixtures and layouts. Each unit is easy to install and maintain, with complete plumbing and power systems in place upon delivery. Adding these facilities to a village is as simple as placing them and connecting them to standard infrastructure lines.

Infrastructure Needs

Pallet hygiene units are a flexible system that can be installed on a wide variety of surfaces and connected to a number of power sources and standard sewer service lines.



Two-Stall Hygiene

EASY TO MAINTAIN : Simple layout with easy-to-clean materials and surfaces.

DIGNIFIED : The privacy and comfort of lockable doors and standard residential fixtures.

PROVEN : Thousands of shelters in use since first introduced in 2016.



TWO-STALL HYGIENE

Based on the proven durability and longevity of the Shelter 100, this hygiene structure provides a private, lockable space with flushable toilet, a sink, and a shower in each of its two rooms. Easy to install, clean, and maintain, the Two-Stall Hygiene unit is an essential part of a dignified shelter community.

Features

- Standard flush toilets and hot/cold water sinks and showers
- Standard sewer and electrical hookups for easy installation
- Locking doors
- Heat, AC, exhaust fan, humidity sensor come standard
- 5-year material lifespan
- Resistant to mold and pests



TECHNICAL SPECIFICATIONS

SIZE (NOMINAL) 13'8" wide x 7' deep x 9'3" high

SQUARE FOOTAGE 100 sq. ft.

INTERIOR HEADROOM 107" max. / 90" min.

WATER HEATER Electric on demand

COMFORT CONTROL Electric AC/heater combo wall unit

WIND RATING 110 mph

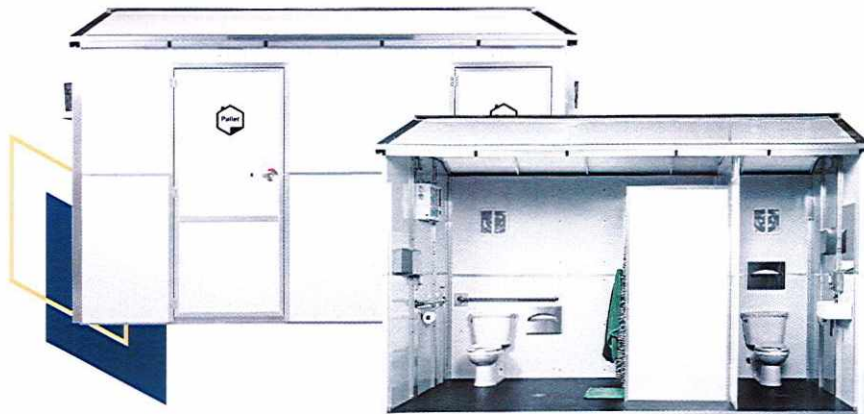
SNOW LOAD RATING 25 lbs./sq. ft.

Accessible Hygiene + Half Bath

ACCESSIBLE: Designed with accessibility features and layout that satisfies most local codes.

PROVEN: Thousands of shelters in use since first introduced in 2016.

DIGNIFIED: The privacy and comfort of lockable doors and standard residential fixtures.



ACCESSIBLE HYGIENE + HALF BATH

The same features as our standard unit with the added benefit of an additional half bath. Perfect for adding bathroom capacity or as an admin staff bathroom, this 100 square foot unit offers turnkey installation ease, and familiar residential fixtures.

Features

- Standard flush toilets and hot/cold water sinks and showers
- Locking doors
- Fold down bench and changing area
- Second half bath unit for admin staff
- Standard sewer and electrical hookups for easy installation
- 5-year material lifespan
- Resistant to mold, and pests



TECHNICAL SPECIFICATIONS

SIZE (NOMINAL) 13'8" wide x 7' deep x 9'3" high

SQUARE FOOTAGE 100 sq. ft.

INTERIOR HEADROOM 107" max. / 90" min.

WATER HEATER Electric on demand

COMFORT CONTROL Electrical AC/heater combo wall unit

WIND RATING 110 mph

SNOW LOAD RATING 25 lbs./sq. ft.

Laundry

EASY TO INSTALL: Comes assembled and ready to connect with traditional electrical services.

HIGH CAPACITY: Four full-sized laundry stations to support large village populations.

DURABLE: Built to handle wind, snow, and rain.



LAUNDRY

Built on the proven Shelter 100 platform featuring four full-size washers and dryers, the Pallet Laundry unit is the perfect way to round out a full-service village. With an accessibility focused layout and featuring a folding table, wash sink, lighting, and climate control the Pallet Laundry unit is a plug-and-play solution.

Features

- Commercial grade washers and dryers included
- Folding laundry table
- Utility sink
- 5-year limited warranty
- Resistant to mold and pests



TECHNICAL SPECIFICATIONS

SIZE (NOMINAL)	13'8" wide x 7' deep x 9'3" high
SQUARE FOOTAGE	100 sq. ft.
INTERIOR HEADROOM	107" max. / 90" min.
WATER HEATER	Electric on demand
COMFORT CONTROL	Electrical AC
WIND RATING	110 mph
SNOW LOAD RATING	25 lbs./sq. ft.

Interior Options

No shelter is complete without features that provide a comfortable and productive interior environment for the resident. These options are designed for efficiency, durability, dignity, and comfort.

BUNK KIT

Add sleeping capacity to our 64 and 100 square foot shelters with this sturdy, foldable bunk. Its lightweight aluminum frame lets residents fold it flat against the wall to create extra space for daytime use.

- Foldable design for extra space
- Sturdy aluminum frame rated up to 350 lbs.



DESK

A multi-use addition to any shelter, our collapsible desk gives residents a place to sit and eat, read, or work. It's made with solid aluminum framing and folds flat against the wall.

- Collapsible design saves space when not in use
- Sturdy aluminum construction supports up to 150 lbs., evenly distributed



MATTRESS

Made of a comfortable, durable foam, our mattress is six inches thick. It's easy to clean, soft, and custom-made for our bunks.

- Supportive and comfortable foam construction
- Easy to clean with machine-washable cover



SHELTER 64

STANDARD PRODUCT SPECIFICATIONS



DESCRIPTION	STANDARD SPECIFICATIONS
Size (nominal)	8ft 6in wide x 7ft 6in deep x 9ft 3in high
Square Footage	64 square feet
Maximum Sleeping Accommodations	2
Interior Head Room (max/min)	107in / 90in
Lockable Security door dimensions (From inside to outside)	1 @ 36in x 80in
Openable Windows	2 @ 16in x 25in, 2 @ 12in x 19in
Storage Shelves	2 @ 16in x 101in, 1 @ 13in x 39in
Sleeping Bunks	Up to 2 @ 28.25in x 81in
Weight of Unit with 0.5in Wall Thickness	400lbs
Weight of Unit with 1.5in Wall Thickness	600lbs
Assembly Time	<2hrs
Maximum Wind Load (Standard/HD)	110mph 170mph
Maximum Snow Load Capacity (Standard/HD)	25lbs/ft ² 50lbs/ft ²

MATERIALS and CONSTRUCTION

DESCRIPTION	STANDARD MATERIALS of CONSTRUCTION
Base	Aluminum welded frame with sandwich composite floor
Walls, Roof and Shelves	Aluminum frame with sandwich composite panels
Windows	Metal frame with glass

INFRASTRUCTURE CONNECTIONS

DESCRIPTION	INFRASTRUCTURE CONNECTIONS
Electric Connection	110V or 240V service options available

STANDARD FEATURES

- Locking door and windows
- Integrated shelving system
- Three 120V Convenience Plugs
- Interior LED lighting
- Smoke Detector
- Carbon Monoxide Detector
- Fire Extinguisher
- Emergency Egress Opening
- Water diversion with integrated rain gutter
- All materials of construction are non-organic, reducing mold, mildew, and bedbugs
- Wall mounted 1500W or 4500W heater
- Wall mounted 5000BTU or 6000BTU Air Conditioner

OPTIONAL ACCESSORY FEATURES

- Folding Desk
- Mattress
- Bunk Kit



Technical Data

Glasliner FRP Panels Wall Panel - Class C – Embossed and Smooth

Code:	D-QS-16
Revision:	00
Effective since:	15-Apr-2015
Page:	1 of 2

1. Product description.

Glasliner Fiberglass Reinforced Polyester (FRP) Wall Panels, manufactured by Stabilit America, Inc. are available in textured and smooth surfaces, provide ultimate durability, satisfying the most demanding applications. Glasliner FRP panels will not mold, mildew, rot or corrode. Glasliner FRP panels are engineered to provide durability, easy cleaning and maintenance.

2. Purpose.

Glasliner FRP panels are designed for indoors wall finishes that require a class C fire rating product. Glasliner FRP Panels are ideal for high traffic areas in Commercial, Industrial and Agro-Industrial applications where durability, hygiene, easy cleaning, easy maintenance and abrasion resistance are required: offices, restaurants, supermarkets, food processing areas, storage areas, car washes, restrooms, and many others.

Glasliner FRP panels also recommended for Residential use like garages, play rooms, bathrooms, laundry rooms, etc.

3. Physical Properties - Typical Values

0.075in Nominal Thickness / 1000 Series		
Property	Value	Test Method
Flexural Strength	14,780 psi	ASTM D790
Flexural Modulus	7.0 x 10 ⁵ psi	ASTM D790
Tensile Strength	6,490 psi	ASTM D638
Tensile Modulus	7.70 x 10 ⁵ psi	ASTM D638
% Elongation	1.50 %	ASTM D638
Izod Impact	5.1 ft-lb/in	ASTM D256
Coefficient of Linear Thermal Expansion	2.22 x 10 ⁻⁵ in/in/°F	ASTM D696
Barcol Hardness	36	ASTM D2583
Abrasion Resistance	0.293 % Wt. Loss	Taber Test
Water Absorption	0.17% - 72 hr @ 77°F	ASTM D570
Specific Gravity	1.6138	ASTM D792
Flame Spread	≤ 200	ASTM E84
Smoke Development Index	< 450	ASTM E84

4. Selections

Thickness	Series	Finish	Color ^Δ	Sizes ^Δ
0.075 in	1000	Embossed / Smooth	Bright White Almond Ivory Beige Light Gray Silver Black	4 ft x 8 ft 4 ft x 9 ft 4 ft x 10 ft 4 ft x 11 ft 4 ft x 12 ft

^ΔCustom Capabilities: other sizes and colors are available, minimum order requirements and other terms apply

5. Standard Specifications

- a) Glasliner FRP panels conform to the specification set on ASTM D5319:
- Flammability Classification: Class C - Flame spread index 76 to 200, smoke development index of 450 or less.
 - Thickness classification: Grade 5 - 0.067 to 0.083 in. (1.70 to 2.11 mm); 0.075in. nominal (1.91 mm)..



Technical Data

Glasliner FRP Panels Wall Panel - Class C – Embossed and Smooth

Code:	D-QS-16
Revision:	00
Effective since:	15-Apr-2015
Page:	2 of 2

- Size (Length and Width): Specified length and width $\pm 1/8$ in.
 - Squareness: $\pm 1/8$ in.
 - Thickness: Specified thickness ± 10 %.
- b) Color: Panel color shall be per specification. Within 1 dE of the specified color using the CIE Lab scale.
- c) Panels shall have a pebble texture or smooth texture front side. Panel backside is smooth and may possess slight imperfections that do not adversely affect performance or physical properties and are not cause for rejection.
- d) Panels shall be installed in strict accordance with Glasliner FRP panel Installation Instructions (D-SA-01).

6. Approvals and Certifications

- a) Manufactured on an ISO 9001 Certified plant (TÜV Rheinland of North America, Inc.; Certificate Registration No. 74 300 3629).
- b) Certified Product under Greenguard and Greenguard Gold criteria (Certificates Number: 23966-410 and 23966-420).
- c) Meets USDA/FSIS requirements.
- d) Canadian Food Inspection Agency and Agriculture Canada approved.
- e) Meets minimum requirements of major model building codes for Class C interior wall and ceiling finishes of flame spread ≤ 200 , smoke developed index 450 or less (per ASTM E84).
- f) Mold & Mildew Resistant per ASTM D3273 and D3274 tests.

7. Storage Recommendations

- a) Store panels indoors in a cool, dry, well-ventilated area.
- b) Panels should be stacked on skids not more than 5 skids high.
- c) Do not allow moisture to collect on or in-between panels.

8. Installation Overview

- a) Safety: Use eye protection. Wear filter mask to cover nose and mouth, especially when cutting panels.
- b) Tools Required: Power saw (carbide tip), saber saw (metal cutting blade), caulking gun, tape measurer, drill, file, hammer, level, saw horses and supports.
- c) Preparation: It is important to store Glasliner FRP flat, on a clean, dry surface for 24 hours before installation. It is preferable to store them inside the actual area of installation or, at least, under similar climate conditions. Walls must be clean and free of all substances. Level any high or low spots on walls. Concrete block walls may require a leveling coat of plaster or other similar material.
- d) Inspection: Carefully inspect all panels prior to installation. If any portion of material does not provide an acceptable appearance, Stabilit America, Inc should be notified immediately. Upon verification of unacceptability, that portion of material will be replaced by Stabilit America, Inc. Stabilit America, Inc's responsibility is for the replacement of defective materials but not for labor or other handling or installation expenses.
- e) Limitations: Glasliner FRP panels shall maintain its performance characteristics and physical properties in temperatures ranging from -40°F to 130°F . Glasliner FRP panels may discolor near heat sources such as: ovens, fryers, heat lamps and toasters, where temperatures exceed 130°F .



DISCLAIMER: Stabilit America Inc., provides these results data for material comparison purposes only. The information offered herein is offered without charge and is accepted at recipient's sole risk. The results expressed of this document pertain only to the specific sample(s) evaluated. Stabilit America, Inc. Testing Laboratory is not a certified testing lab, however all equipment used is calibrated using traceable standards. Because conditions of use vary and are beyond our knowledge and control, Stabilit makes no representation about and is not responsible for the accuracy of data, nor with toxicological effect or industrial hygiene requirements associated with particular uses of any product or process described herein. Stabilit requests that customers test and inspect our products before use and satisfy themselves as to contents and suitability. Nothing herein shall constitute a warranty, express or implied, including any warranty or merchantability or fitness, nor is protection from any law or patent inferred. All patent rights are reserved. The exclusive remedy for all proven claims is replacement of Stabilit materials only. FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS: the numerical flame spread and smoke development ratings are not intended to reflect alleged hazards presented by Stabilit America Inc., products under actual fire conditions and this product has not been tested by Stabilit America, Inc., except as set forth below. These ratings are determined by small-scale tests conducted by independent testing facilities using the ASTM E84 test standard. Like other organic building materials (e.g. wood), panels made of fiberglass reinforced plastic resins will burn. When ignited, FRP may produce dense smoke very rapidly. All smoke is toxic. Fire safety requires proper design of facilities and fire suppression systems, as well as precautions during construction and occupancy. Local codes, insurance requirements and any special needs of the product user will determine the correct fire-rated interior finish and fire suppression system necessary for a specific installation.

NO RFP JUSTIFICATION STATEMENT

Awarding a Professional Services Agreement Without a Request for Proposals

The Procurement of Professional Services Policy (Ord. No. 2012-318) requires an RFP to be issued under most circumstances. If it is determined that an RFP will not be issued, this form must be completed, signed by the Department Head, and kept on file (electronically or hard copy). It must also be submitted:

1. To City Council as an attachment to the transmittal letter for any PSA that exceeds \$10,000, and
2. To the contract record when entered in Munis.

Department: City Council **Services(s):** Transitional Housing Structures & Installation

Vendor/Consultant selected: Pallet SPC

How was the vendor selected? A mockup was requested from the vendor after a presentation attended by members during the National League of Cities conference in November 2022.

Why was no RFP issued for this service?

There are a limited number of qualified vendors who can provide these services. Pallet SPC is highly specialized in creating rapid shelter solutions that immediately offer transitional housing to the unhoused population; additionally, the vendors services include shipping, construction, installation, and outfitting of the structures.

Furthermore, with high levels of violence, limited shelter beds, and a housing crisis in the City, there is an increased need to provide a safe, dignified option for the unhoused, and Peace Village is in dire need of a long-lasting solution. The shelters include health and security features such as smoke detectors, carbon monoxide detectors, and fire extinguishers, in addition to locking windows & doors, climate control, and electricity. Two hygiene units will also be installed, which include toilets, showers, sinks, and changing areas. The material is mold, rot and pest resistant, and able to withstand wind & snow conditions.

Providers partnering with PCHO will assist residents in finding permanent housing and provide wraparound support services to address mental health, substance abuse, and other various challenges.

Compensation Amount: \$460,000

How was this determined? A detailed quote was provided by the vendor, which includes the cost of materials, shipping, and installation. The amount of transitional housing units in this quote was determined based on the lot size at Peace Village.

The MWBE Officer has reviewed the proposed Agreement for MWBE and

Workforce goals. MWBE Officer Initials: *SMO*

Date: *1/31/2023*

Miguel A. Melendez Jr.

1/31/2023

Signature: Department Head

Date

INTRODUCTORY NO.

Council 01

56

Ordinance No.

Appropriating funds and authorizing agreements for Peace Village improvements

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The sum of \$750,000 allocated for the Police Accountability Board in the 2022-23 Budget of the City Council & Clerk is hereby reallocated and appropriated to improve the Peace Village at 97 Industrial Street to serve more unhoused people with better quality facilities (the Improvements).

Section 2. The Mayor is hereby authorized to enter into a professional service agreement with Pallet SPC to produce and install at Peace Village approximately 15 insulated transitional housing units with 2 beds apiece and supporting hygiene, storage and community space structures. The term of the agreement shall be one year with the option to renew for one additional year. The maximum compensation shall be \$460,000, which shall be funded from the appropriation to Improvements in Section 1.

Section 3. The Mayor is hereby authorized to enter into a grant agreement with _____ to fund improvements to the Peace Village site to accommodate the structures authorized in Section 2 and to maintain and improve the quality of the site for the people it serves. The term of the agreement shall be one year with the option to renew for one additional year. The maximum grant amount shall be \$290,000, which shall be funded from the appropriation to Improvements in Section 1.

Section 4. The agreements authorized herein shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 5. This ordinance shall take effect immediately.



City of Rochester

City Hall Room 308A, 30 Church Street
Rochester, New York 14614-1290
www.cityofrochester.gov

**RECREATION & HUMAN
SERVICES COMMITTEE
INTRODUCTORY NO.**

Malik D. Evans
Mayor

57

January 31, 2023 DRHS 17

TO THE COUNCIL

Ladies and Gentlemen:

Re: Agreement – Marie C. and Joseph C. Wilson
Foundation, Inc.

Council Priority: Support the Creation of Effective
Educational Systems

Comprehensive Plan 2034 Initiative Area: Fostering
Prosperity and Opportunity

Transmitted herewith for your approval is legislation related to the Youth Voice, One Vision youth leadership program. This legislation will:

1. Authorize an agreement with the Marie C. and Joseph C. Wilson Foundation, Inc. (Rachel Sherman, Vice President of Operations, 6 South Main Street, Pittsford, NY 14534) for the receipt and use of a \$10,000 grant for the Youth Voice, One Vision (YVOV) youth leadership program; and
2. Amend the 2022-23 Budget of the Department of Recreation and Human Services by \$10,000 to reflect the grant funding.

Youth Voice, One Vision (YVOV) is a youth leadership and youth development program administered by the Department of Recreation and Human Services since 1996. YVOV is led by a team of twenty-five youth who serve on the Executive, Community Engagement, or Public Safety Committees and engages an additional 50 youth at council meetings and 75 -150 youth at city-wide special events and service learning projects. The participants range in age from 8 to 19, with the majority between the ages of 10 and 15.

The grant will be used to fund YVOV's Youth Mental Health Guide book project. Youth will have the opportunity to facilitate workshops on how to navigate the mental health guide book. This guide book will be shared with R-Centers, Rochester City School District, charter schools, and other youth leadership groups. Each youth will receive a \$50 stipend for every workshop they facilitate.

Respectfully submitted,

Malik D. Evans
Mayor



57

Ordinance No.

Authorizing a grant agreement and amending the 2022-23 Budget relating to the Youth Voice, One Vision youth leadership program

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into an agreement with the Marie C. and Joseph C. Wilson Foundation, Inc. for the receipt and use of \$10,000 relating to the Youth Voice, One Vision youth leadership program (Program).

Section 2. Ordinance No. 2022-157, the 2022-23 Budget of the City of Rochester, as amended, is hereby further amended by increasing the revenue estimates and appropriations to the Budget of the Department of Recreation and Human Services by \$10,000 to reflect the receipt of funds for the Program as authorized in Section 1 herein.

Section 3. The agreement authorized herein shall have such additional terms and conditions as the Mayor deems appropriate.

Section 4. This ordinance shall take effect immediately.



**RECREATION & HUMAN
SERVICES COMMITTEE
INTRODUCTORY NO.**

58

January 31, 2022 DRHS 18

TO THE COUNCIL

Ladies and Gentlemen:

Re: Budget Amendment & Agreement - American
Rescue Plan Act, R-Center Health, Wellness and
Social-Emotional Programming and Support

Council Priority: Public Safety

Comprehensive Plan 2034 Initiative Area: Reinforcing
Strong Neighborhoods

Transmitted herewith for your approval is legislation related to the R-Center Health, Wellness, and Social-Emotional programming and support. This legislation will:

1. Amend the 2022-23 Budget of the Department of Recreation and Human Services (DRHS) by \$400,000. This will reflect a portion of the \$2,000,000 in American Rescue Plan Act (ARPA) funding previously appropriated for this project via Ordinance No. 2022-319 in November 2022, and this is the first year for this program. The remaining ARPA funds for this project will be anticipated and included in future Budgets of DRHS.
2. Establish \$933,334 as maximum compensation for an agreement with the Center for Youth Services, Inc. (Elaine Spaul, Executive Director, 905 Monroe Ave., Rochester, NY) to provide professional social-emotional, health and wellness supports and programming in R-Centers for the period of March 1, 2023 to December 31, 2024. This agreement will be funded by the 2022-23 (\$400,000) and the 2023-24 (\$533,334) Budgets of DRHS. This agreement will have an optional renewal period of January 1, 2025 to December 31, 2026 with maximum compensation of \$1,066,666 to be funded by 2024-25 (\$533,333) and 2025-26 (\$533,333) Budgets of DRHS, contingent upon approval.

Youth and families within the city of Rochester have been struggling with how to navigate the many thoughts and feelings that accompany the trauma associated with the COVID pandemic, from the increase in violence, to the isolation experienced during key developmental years. The City of Rochester staff in the R-Centers, in particular, have seen how the youth and families they engage with on daily basis are struggling to process the traumatic events they may have encountered. The City has recognized the need for these youth and families to process their trauma in a healthy, productive way and in a setting in which they are comfortable thus choosing to imbed mental health supports into the daily program offerings at four R-Center locations.

The Center for Youth Services, Inc. will provide professional social-emotional, health and wellness supports and programming to the youth and families that attend R-Centers. The Center for Youth Services, Inc. will employ four full-time licensed Child and Family Therapists able to provide onsite mental health supports, and four full-time Social Learning Specialists able to organize restorative circles, provide daily check ins, build relationships and engage in healthy conversation with R-Center patrons on a regular basis. All services will be embedded into the daily programming at R-Centers.

The program will aim to serve 600 unduplicated youth and their families across four R-Center locations; David F. Gantt, Willie W. Lightfoot, Tyshaun Caldwell R-Center for Hope and Thomas P. Ryan R-Center.



The Center for Youth Services, Inc. was selected through a request for proposals process. A vendor selection form is attached.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'M. Evans', with a long horizontal flourish extending to the right.

Malik D. Evans
Mayor

Vendor / Consultant Selection Process Summary

Department: Department of Recreation and Human Services

Project / Service sought: Health, Wellness and Social-Emotional Supports in R-Centers

Consultant Selected: The Center for Youth Services, Inc.

Method of selection: X Request for Proposal [Complete 1-6]

Request for Qualifications [Complete 1-6]

From the NY State Department of Transportation list of pre-approved regional engineering firms [Complete 4-5]

1. Date RFP / RFQ issued (and posted on City web site): 10/24/2022

2. The RFP / RFQ was also sent directly to:

- Bivona Child Advocacy Center
- Catholic Charities Family and Community Services
- Center for Youth
- University of Rochester Medical Center
- Villa of Hope

3. Proposals were received from

<u>FIRM</u>	<u>City/ST</u>
Bivona Child Advocacy	14620
Center for Youth Services	14620
Cameron Community Ministries	14606
Lepinay Publishing	Sheridan, WY
Nature Never Lie LLC	14605
Sankofa Family Counseling	14621

4. Evaluation criteria

<u>Criteria</u>	<u>Points possible</u>	<u>Points received by FIRM</u>
<i>Understanding</i>	45	43.8
<i>Experience</i>	25	24.2
<i>Budget</i>	15	13.2
<i>Commitment</i>	<u>10</u>	<u>8.6</u>
SUBTOTAL	<u>95</u>	<u>89.8</u>

Bonus

City business	10% of total	.10 x 89.8 =	8.98
M/WBE	10% of total	.10 x TT	0.
TOTAL			98.78

5. Review team included staff from: DRHS/Recreation (2), DRHS/Human Services (1), and Monroe County Office of Mental Health (2)

6. Additional considerations/explanations [if applicable; e.g. inteNiews; demonstrations]

The top two applicants were invited to an in-person interview to review budget and plan for implementation. The interview determined that one of the vendors would be unable to provide the staffing needed at the capacity needed.

S. Green | 1.5.23

7. MWBE Officer has reviewed the recommended firm's proposal for MWBE and Workforce goals. MWBE Officer Initials: SMD Date: 1/6/2023

INTRODUCTORY NO.

58

Ordinance No.

Amending the 2022-23 Budget and authorizing an agreement relating to R-center health, wellness, and social-emotional programming and support

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. Ordinance No. 2022-157, the 2022-23 Budget of the City of Rochester, as amended, is hereby further amended by increasing the revenue estimates and appropriations to the Budget of the Department of Recreation and Human Services (DRHS) by \$400,000 to reflect the receipt and use of American Rescue Plan Act (ARPA) funds previously appropriated for R-center health, wellness, and social-emotional programming and support previously authorized in Ordinance No. 2022-319.

Section 2. The Mayor is hereby authorized to enter into an agreement with the Center for Youth Services, Inc. to provide professional social-emotional, health, and wellness supports and programming in City R-Centers. The term of the agreement shall be from March 1, 2023 to December 31, 2024, with an option to extend for an additional two years through December 31, 2026. The maximum compensation for the initial term shall be \$933,334, which shall be funded in the amounts of \$400,000 from the 2022-23 Budget of DRHS and \$533,333 from the 2023-24 Budget of DRHS, contingent upon the approval of the latter budget. The maximum compensation for the optional term extension shall be \$1,066,666 which shall be funded in the amounts of \$533,333 from each of the 2024-25 and 2025-26 Budgets of DRHS, contingent upon the approval of said budgets.

Section 3. The agreement authorized herein shall have such additional terms and conditions as the Mayor deems appropriate.

Section 4. This ordinance shall take effect immediately.



City of Rochester

City Hall Room 308A, 30 Church Street
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**RECREATION & HUMAN
SERVICES COMMITTEE
INTRODUCTORY NO.**

Malik D. Evans
Mayor

59

January 31, 2023 DRHS 19

TO THE COUNCIL

Ladies and Gentlemen:

Re: Agreements – Blue Sky Associates of Upstate NY, Inc. dba Dale Carnegie Training of Rochester and the Close Up Foundation

Council Priority: Support the Creation of Effective Educational Systems

Comprehensive Plan 2034 Initiative Area: Fostering Prosperity and Opportunity

Transmitted herewith for your approval is legislation related to the Youth Voice One Vision and Rochester Mayor’s Youth Academy programs. This legislation will:

1. Establish maximum compensation of \$8,800 for an agreement with Blue Sky Associates of Upstate NY, Inc. dba Dale Carnegie Training of Rochester (Doug Escher, Rochester, New York) for delivery of the Preparing Young Leaders for the Real World training program. The training provides participants with the skills they need to reach their goals and live up to their full potential – at school, home, and work. Approximately 20 youth Youth Voice One Vision participants will attend the professional development training. The cost of this agreement will be funded from the 2022-23 Budget of DRHS and the term of this agreement will be through June 30, 2023.
2. Establish maximum compensation of \$19,172 for an agreement with the Close Up Foundation (Eric Adydan, CEO, Arlington, VA) for the Rochester Mayor’s Youth Academy participants to attend the Close Up program in Washington, DC. The purpose of the Close Up program is to supplement classroom teaching through a meaningful dialogue and exchange of ideas designed to help students overcome personal circumstances, become active and engaged citizens, and develop the skills and attitudes to become leaders in their schools and communities. Participants will visit/tour various congressional and historical sites in Washington, DC. The same 13 youth who participate in DRHS programs will go on the trip, planned for April 16, 2023 – April 21, 2023. The cost of this agreement, which includes trainings, workshops, tours, all transportation, hotel, food and fees will be funded from the 2022-23 Budget of DRHS and the term of this agreement will be through June 30, 2023.

The Mayor's Youth Advisory Council is a leadership development program that engages youth ages 13-19, in grades 7-12, through social emotional learning while they participate in various initiatives, events, and activities that inspire change. The Rochester’s Mayor’s Academy program is an internship for city youth, grades 9-12, that will focus on leadership, civic engagement, and career development. Youth participants will ultimately be placed in various city departments and paired with a department liaison to explore various career paths in city government. Dale Carnegie of Western NY and Close Up Foundation were selected to provide the youth participants with these services based on the reputation as a long standing vendor for city trainings and the unique programming that is being offered. Close Up Foundation has connected youth leaders across the country this past year. A full justification for not issuing a request for proposals is attached.



Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'M. Evans', with a long horizontal flourish extending to the right.

Malik D. Evans
Mayor

NO RFP JUSTIFICATION STATEMENT

Awarding a Professional Services Agreement Without a Request for Proposals

The Procurement of Professional Services Policy (Ord. No. 2012-318) requires an RFP to be issued under most circumstances. If it is determined that an RFP will not be issued, this form must be completed, signed by the Department Head, and kept on file (electronically or hard copy). It must also be submitted:

1. To City Council as an attachment to the transmittal letter for any PSA that exceeds \$10,000, and
2. To the contract record when entered in Munis.

Department: DRHS	Services(s): Leadership Training-Preparing Young Leaders for the Real World
-------------------------	--

Vendor/Consultant selected: Blue Sky Associates of Upstate NY, Inc. dba Dale Carnegie Training of Rochester

How was the vendor selected? This vendor has provided quality services to the City in the past. The vendor has shown a high level of professionalism, expertise, and the ability to engage and educate youth participants. The vendor is familiar with City policies and procedures.

Why was no RFP issued for this service?

(Your rationale should include the following information when applicable)

- **Is there previous experience with the vendor? Describe why it is in the City's best interest to continue with them and not solicit others. Yes, City staff have successfully completed the program and benefitted from the training. Having youth leaders complete the training will offer the same benefits.**
- **Are there unique or emergency circumstances? Describe how an RFP process would jeopardize the success of the project. Yes. There aren't many vendors that offer the specific things that Dale Carnegie offers and were getting a significant discount.**
- **Is the service specialized and unique? Is the number of qualified providers limited? Yes. Describe the Department's experience with and knowledge of the market and why an RFP would not produce additional qualified consultants. Considering the long history with Dale Carnegie, the City has developed a strong relationship with the staff and trainers of Dale Carnegie. Also, participants who completed the program in the past were able to get college credits (through Roberts Wesleyan University).**
- **Does the project include multi-year State or Federal funding? No. Explain why it is in the best interest of the project and the City to continue with the same consultant (e.g. where the design consultant on a project is retained for resident project representation services).**


Compensation Amount: \$8,800

How was this determined? Explain how it is a reasonable and best value for the City. **As stated above, Dale Carnegie is giving us a significant discount and they value investing in Rochester's youth leaders.**

The MWBE Officer has reviewed the proposed Agreement for MWBE and Workforce goals.

MWBE Officer Initials: SMD

Date: 1/6/2023

Signature:  Department Head

Date: 1.5.23

JUSTIFICATION STATEMENT

Awarding a Professional Services Agreement Without a Request for Proposals

The Procurement of Professional Services Policy (Ord. No. 2012-318) requires an RFP to be issued under most circumstances. If it is determined that an RFP process will not benefit the City, this form must be completed, signed by the Department Head, and kept on file (electronically or hard copy). It must also be submitted:

1. To City Council as an attachment to the transmittal letter for any PSA that exceeds \$10,000, and
2. To the contract record when entered in Munis.

Department: DRHS

Service(s): Civic/Leadership Training

Vendor/Consultant selected: Close Up Foundation

How was the vendor selected? The vendor was selected because of prior history working with them.

Why was no RFP issued for this service?

(Your rationale should include the following information when applicable)

- Is there **previous experience** with the vendor? Describe why it is in the City's best interest to continue with them and not solicit others.
 - **Previous experience:** Close Up Foundation has connected the Mayor's Youth Advisory Council to youth leaders across the country this past year. The youth participated in various discussions around civic engagement/leadership, the importance of voting, and was introduced to Senators in Washington, DC.
- Are there **unique or emergency circumstances?** Describe how an RFP process would jeopardize the success of the project.
 - **Unique circumstances:** The participation in this program is time sensitive due to airline ticket prices and program schedule.
- Is the service **specialized and unique?** Is the number of **qualified providers limited?** Describe the Department's experience with and knowledge of the market and why an RFP would not produce additional qualified consultants.
 - **Specialized skill:** Close Up is directly connected to Capitol Hill and the legislators. Youth will go through a mock congress activity and debate various current issues in the US.
- Does the project include **multi-year State or Federal funding?** Explain why it is in the best interest of the project and the City to continue with the same consultant (e.g. where the design consultant on a project is retained for resident project representation services).
 - No. Having a connection to Capitol Hill allows the youth to build upon the relationships they form.

Compensation Amount: \$19,172.00

How was this determined? Explain how it is a reasonable and best value for the City. The compensation is for airfare, hotel, food, and transportation. Close Up has resources that allows them to save the City money.

The MWBE Officer has reviewed the proposed Agreement for MWBE and Workforce goals.

MWBE Officer Initials: Smo

Date: 1/6/2023



1.6.23

Signature: Department Head

Date

INTRODUCTORY NO.

59

Ordinance No.

Authorizing agreements relating to the Preparing Youth Leaders for the Real World and Rochester Mayor's Youth Academy Close Up programs

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into an agreement with Blue Sky Associates of Upstate NY, Inc. for delivery of the Preparing Youth Leaders for the Real World training program. The maximum compensation for the agreement shall be \$8,800, which shall be funded from the 2022-23 Budget of the Department of Recreation and Human Services (DRHS). The term of the agreement shall extend through June 30, 2023.

Section 2. The Mayor is hereby authorized to enter into an agreement with the Close Up Foundation for Rochester Mayor's Youth Academy participants to attend the Close Up program in Washington, D.C. The maximum compensation for the agreement shall be \$19,172, which shall be funded from the 2022-23 Budget of DRHS. The term of the agreement shall extend through June 30, 2023.

Section 3. The agreements authorized herein shall have such additional terms and conditions as the Mayor deems appropriate.

Section 4. This ordinance shall take effect immediately.



City of Rochester

City Hall Room 308A, 30 Church Street
Rochester, New York 14614-1290
www.cityofrochester.gov

**PUBLIC SAFETY
COMMITTEE
INTRODUCTORY NO.
60**

Malik D. Evans
Mayor

January 31, 2023 MAYOR 20

TO THE COUNCIL

Ladies and Gentlemen:

Re: Authorizing Agreements – Rochester Peace Collective

Council Priority: Public Safety

Comprehensive Plan 2034 Initiative Area: Reinforcing Strong Neighborhoods

Transmitted herewith for your approval is legislation related to authorizing agreements for violence prevention initiatives as part of the Rochester Peace Collective Initiative; \$5,000,000 in funds provided to the City pursuant to the American Rescue Plan Act of 2021 (ARPA) were originally appropriated by City Council for this purpose in Ordinance No. 2022-140. This legislation will:

Establish \$1,080,000 as total maximum compensation for the agreements of vendors as described in the chart on the second page. All seven agreements will be for a total of a one-year term, with the option of one two-year renewal. There will be an optional no-cost, six-month extension, available in all agreements to ensure that the organizations are able exhaust all of their awards. If after review of each application by the City's Law Department it is determined that a fiduciary is necessary, Coordinated Care Services, Inc. (CCSI) will be utilized for that role.

Further information and description of the projects is included in the accompanying attachments. These organizations were selected through a request for proposals process described in vendor selection forms. Each consultant will be required to provide reporting to the City periodically to ensure that services are being rendered as described in each proposal.

Respectfully Submitted,

Malik D. Evans
Mayor



ROCHESTER PEACE COLLECTIVE CONSULTANTS

Organization	Contact Name & Title	City, State, Zip	Project Focus
Kareemba McCullough and/or Montina Langston d/b/a Area U	Kareem McCullough, Co-Founder	Rochester, NY 14609	Youth development, developmental assets.
Justin Morris d/b/a Untrapped Ministries	Justin Morris, Founder & CEO	Rochester, NY 14614	Re-entry, job prep, mediation/conflict resolution, life skills
First Genesis Baptist Church, Inc.	Dr. Fredrick Johnson Sr., Sr. Pastor	Rochester, NY 14603	Mentoring
Lavonn Wilson d/b/a Line 'em Up Barbering	Lavonn Wilson, Owner	Rochester, NY 14609	Job training and preparation, youth development, skills training
Rise Up Rochester, Incorporated	Wanda Ridgeway, Executive Director	Rochester, NY 14608	Re-entry, mediation, mental health, outreach
ROC the Peace, Inc.	Sirena Cotton, Executive Director	Rochester, NY 14624	Support groups, restorative services, outreach, youth mentorship
Alicia Gayden d/b/a Sownd Howse	Alicia Gayden, Co-Owner	Rochester, NY 14608	Arts and Music, Re-entry

ALLOCATIONS

Organization	Maximum Compensation Amount (1st year)	Maximum Compensation Amount (for 1st year of renewal term, if exercised)	Maximum Compensation Amount (for 2nd year of renewal term, if exercised)	Total Maximum Compensation Amount
Kareemba McCullough and/or Montina Langston d/b/a Area U	\$175,000.00	N/A	N/A	\$175,000.00
Justin Morris d/b/a Untrapped Ministries	\$175,000.00	N/A	N/A	\$175,000.00
First Genesis Baptist Church, Inc.	\$30,000.00	N/A	N/A	\$30,000.00
Lavonn Wilson d/b/a Line 'em Up Barbering	\$30,000.00	N/A	N/A	\$30,000.00
Rise Up Rochester, Incorporated	\$133,333.33	\$133,333.33	\$133,333.34	\$400,000.00
ROC the Peace, Inc.	\$75,000.00	\$75,000.00	\$75,000.00	\$225,000.00
Alicia Gayden d/b/a Sownd Howse	\$15,000.00	\$15,000.00	\$15,000.00	\$45,000.00
TOTAL	\$633,333.33	\$223,333.33	\$223,333.34	\$1,080,000

PROJECT DESCRIPTIONS

Area U: \$175k to provide youth with a healthy development that will help participants acquire the skills to become caring, responsible, and empathetic young people.

Using an MTSS (Multi-Tiered Systems of Support) framework, Ubuntu is a whole-person village approach to prevention and intervention for youth aged 14-20. Ubuntu will focus on participants city-wide with an additional target of the 14608 area of the city due its high needs for support.

Ubuntu will be able to service 30-50 participants over the course of the program. Using the evidence-based 40 developmental assets allows Ubuntu to provide youth with a healthy development that will help participants acquire the skills to become caring, responsible, and empathetic young people. The 3-tiered system will enable Ubuntu to reach all participants at their current levels of need for support. Tier 1 will focus on universal support for all young people participating in the program. This will give everyone access to what Ubuntu has to offer. Tier 2 will support participants with some risk factors and offer a more focused program for prevention and intervention that will complement Tier 1. Tier 3 will be for those with the highest risk and need the most intensive support for prevention and intervention.

Center for Dispute Settlement, Inc. (CDS) / Untrapped Ministries: \$175k to provide workforce development and violence prevention on-the-job training to young adults, ages 18-24 years old.

Community Vanguard 2.0 Project recruits young adults who are known to be affected by and/or involved in violence. The 16-week course includes community service projects, certified trainings in Mental Health First Aid, Peer Mediation, Conflict Resolution, Community Building Circle, Advocacy, and CPR & Narcan Deployment.

Community Vanguard 2.0 Project runs as a 16-week program. During the 16-week session, participants will have a personalized schedule spanning 5-days a week, during which time they will work with staff and peers to complete programming goals.

At the completion of the 16-week session, each young adult will participate in a program graduation to highlight their achievement. The specialized skillset that each young adult gains from completing the program will greatly enhance their life skills and employability to become credible outreach workers and be equipped to utilize de-escalation tactics in real-time incidents.

First Genesis Baptist Church, Inc: \$30k to serve 50-100 men sessions, ages 16 and older for the Black Men Empowerment Series.

The Black Men Empowerment Series focus on black men ages 16+, provides workshops on decision making and mentoring. The Black Men Empowerment Series plan to reach up to 50 and maximum of 100 men per session. The program will focus on young Black Men with the objective of reducing violence and crime and as well promoting education and career goals. Where possible, we will provide "stipend-based" internships in the space of audio/visual/sound technology, for those young men interested in this area.

Estimate of over 2,500 men served and will participate in the empowerment workshops to develop skills of anger management, fiscal accountability and developing family coping skills.

Line 'em Up Barbering: \$30k to reach disadvantaged and disenfranchised individuals who desire a career in barbering for men and women, 16 years or older.

The Barber's Plunge is a grass roots 6-week program designed to provide job training and preparation, youth development, on-ground outreach, and skills training (life skills and employment skills).

Participants will meet for discussion on Business Etiquette and Professionalism, Conflict Resolution, Basics of Entrepreneurship, Sanitation and Hygiene, Barbering Basics, and Community Barbershop Pop-Ups. Once a week, a guest speaker from the community and/or the Rochester Peace Collective. At the end of the program, participants will be provided with barbering kit so that they can begin to start practicing barbering, and potentially start earning money as an apprentice.

Rise Up Rochester, Incorporated: \$400k to support growth in its provision of violence prevention services that support crime victims and their families.

Rise Up Rochester empowers the community to establish and maintain a nonviolent culture through supportive services such as housing, mediation/conflict resolution, youth development, mental health support, on-the-ground outreach, and skills training.

Funding will enable Rise Up Rochester to employ additional staff to help expand the focus on carrying out activities for existing and new individuals and families throughout the year, in:

- Dispute resolution planning and support, compassionate engagement with victims of gun violence and their families,
- Antiviolence and homicide victim support events,
- Monthly support groups guided by an LMSW facilitator,
- Ongoing partnership with RIT's Project CERV as Survivor Intervention Team members, working directly with violence survivors and their loved ones starting at Rochester General Hospital Emergency Department, as needed for immediate cooling-off phase needs of non-fatal shooting survivors,
- Court appearance support, reminders, and transportation for victims of violence,
- Provision of first month's rent or hosting families in hotels while they search for safe housing,
- Provision of gift cards for victims for their emergency housing and court needs, and
- Follow-up in the months following the family's move to learn if victims avoided further victimization and violence, and if they maintained stable housing.

ROC the Peace, Inc.: \$225k to support the growth and expansion of violence prevention initiatives.

The ROC the Peace Capacity Building Project will facilitate seven initiatives:

Youth for Peace is a support group for youth ages 5 – 18 years who have lost a family member or close friend to violence. The youth, along with community mentors, participate in activities to help deter violence and bring change to the community.

The *#ColdCaseFiles* (#CCF) is a series of walks to bring awareness and obtain information regarding unsolved murder cases to help families heal. Also, individuals can anonymously submit information to

ROC the Peace and police departments. #CCF is in partnership with Young & Gifted Global Ministries, and the Rochester Police Department.

The *Christopher Jones Memorial Scholarship* awards African American/Black and Latin / Hispanic graduating high school seniors who have been accepted into a college or university with a GPA of 2.0 or higher.

The *Annual ROC the Peace Fest* brings the community together to bring awareness and promote positivity and peace. The fest includes guest speakers, dignitaries, performers, vendors, community resources, food, raffles, a children's corner, and more.

Why My Baby?! is a support group for individuals who have lost a child or grandchild by to violence or prison. This is a chance for individuals to surround themselves with those who can relate to their situation, share stories, and gain emotional support.

Walk, Talk, and Pray brings people together to share their experiences and knowledge, and to pray. Walk, Talk, and Pray also provides resources and refreshments along the walks. The initiative starts in June and ends in September at the National Day of Remembrance for Murder Victims.

Sownd House: \$45k to provide a positive musical outlet for youth ages 10-17 years old in low-income neighborhoods.

The Music/Art Program will educate youth through an interactive, hands-on approach to assist in quality music production and distribution; and provide an opportunity to express emotions in writing creative nonviolent music. Sownd Howse staff will educate youth through an interactive, hands-on approach, and assist in advocating for the love of music. The goals of the Music/Art Program is to:

- Develop a quality plan for successful awareness of the music in terms of accessibility, advocacy, and youth participation;
- Promote musical innovation, creative intellect, and growth;
- Sustain a safe and productive environment for youth music production and distribution; and Establish background and context in music production education.

CONSULTANTS PROJECT OUTCOMES

Organization	Project Focus	Agency's planned outcome measures
Kareemba McCullough and/or Montina Langston d/b/a Area U	Youth development, developmental assets.	<ul style="list-style-type: none"> • Mental health assessment at start of program & use of Multi-Tiered System of support (MTSS) provides quantitative and qualitative data for assessment on level of support needs over time
Justin Morris d/b/a Untrapped Ministries	Re-entry, job prep, mediation/conflict resolution, life skills	<ul style="list-style-type: none"> • Number of young adults served • % of participants completing each of the five certifications: Mental Health First Aid; Peer Mediation; Conflict Resolution; Community Building Circle; Advocacy; CPR/Narcan Deployment
First Genesis Baptist Church, Inc.	Mentoring	<ul style="list-style-type: none"> • Reduce rates of re-victimization via housing assistance • # Of victims assisted with court appointments • % Of participants involved in retaliatory violence • % Of rehoused families tracked for further violence • Total individuals and families served
Lavonn Wilson d/b/a Line 'em Up Barbering	re-entry services, job prep, and employment skills	Improvements in: <ul style="list-style-type: none"> • Coping skills • Conflict resolution • Reduced violence
Rise Up Rochester, Incorporated	Re-entry services, mental health support, life skills training	Improvements in: <ul style="list-style-type: none"> • Anger management • Family coping skills • Fiscal accountability
ROC the Peace, Inc.	Re-entry, mediation, mental health, outreach	Entry and exit survey to show improvements in: <ul style="list-style-type: none"> • Self-confidence • Career interests • Professionalism
Alicia Gayden d/b/a Sownd Howse	Arts and Music, Re-entry	<ul style="list-style-type: none"> • Written and produced non-violent music

Authorizing agreements relating to the Rochester Peace Collective

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into a professional services agreement with each of the following organizations to provide violence prevention programming for the Rochester Peace Collective, and with Coordinated Care Services, Inc. where a fiduciary is necessary for an organization as determined by the Mayor. The initial term for each agreement shall be one year and, for some agreements, there shall be an option to extend the term for up to one additional period of two years. In addition, each agreement shall provide an option to extend the term for up to six additional months in the event that a portion of the compensation funds provided for herein remains unspent at the expiration of an initial or optional extended term, provided, however, that said term extension shall not extend past June 30, 2026. The maximum compensation for the initial term and, where applicable, for the optional extended term of each agreement shall be as follows:

Organization	Maximum Compensation (first year)	Maximum Compensation Amount (for optional second year)	Maximum Compensation Amount (for optional third year)	Maximum Compensation (total)
Kareemba McCullough and/or Montina Langston d/b/a Area U	\$175,000.00	N/A	N/A	\$175,000.00
The Center for Dispute Settlement, Inc. d/b/a Untrapped Ministries	\$175,000.00	N/A	N/A	\$175,000.00
Rise Up Rochester, Incorporated	\$133,333.33	\$133,333.33	\$133,333.34	\$400,000.00
ROC the Peace, Inc.	\$75,000.00	\$75,000.00	\$75,000.00	\$225,000.00

First Genesis Baptist Church, Inc.	\$30,000.00	N/A	N/A	\$30,000.00
Lavonn Wilson d/b/a Line 'em Up Barbering	\$30,000.00	N/A	N/A	\$30,000.00
Alicia Gayden d/b/a Sownd Howse	\$15,000.00	\$15,000.00	\$15,000.00	\$45,000.00
TOTALS	\$633,333.33	\$223,333.33	\$223,333.34	\$1,080,000

Section 2. The agreements authorized herein shall be funded in the amounts of \$633,333.33 from the 2022-23 Budget of the Office of the Mayor (Mayor) for the first year, \$223,333.33 from the 2023-24 Budget of the Mayor for the second year, and \$223,333.34 from the 2024-25 Budget of the Mayor for the optional third year if the optional term extensions are exercised, and contingent upon the approval of the future years' budgets.

Section 3. The agreements authorized herein shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 4. This ordinance shall take effect immediately.



**PUBLIC SAFETY
COMMITTEE
INTRODUCTORY NO.**

Malik D. Evans
Mayor

61

January 31, 2023 POLICE 25

TO THE COUNCIL

Ladies and Gentlemen:

Re: Agreement – Monroe County, Criminal
Justice Discovery Reform Grant

Council Priority: Public Safety

Comprehensive Plan 2034 Initiative Area:
Reinforcing Strong Neighborhoods

Transmitted herewith for your approval is legislation relating to a Criminal Justice Discovery Reform Grant. This legislation will:

1. Authorize an agreement with Monroe County for the receipt and use of \$129,000 for a Criminal Justice Discovery Reform grant. This grant is made available by the NYS Division of Criminal Justice Services to support local law enforcement agencies with expenses related to the implementation of discovery and pretrial reforms that took effect January 1, 2020. The term of the agreement is April 1, 2022 through March 31, 2023.
2. Establish \$129,000 as maximum compensation for an agreement with Insight Public Sector, Inc. of Chandler, AZ (Joyce Mullen, President and CEO) to install Body-Worn Camera (BWC) equipment in all RPD patrol vehicles. The agreement will be funded with the funds appropriated herein. The term of the agreement will be January 15, 2023 through March 31, 2023.

Monroe County will reimburse costs of up to \$129,000 for the installation of new data cables and docking stations in our patrol vehicles to facilitate the data transfer from Officers' BWC to Cloud storage, wherein the video can be retrieved directly by RPD and the Monroe County District Attorney's Office, thus offering greater efficiency in the accessibility and timeliness of needed video evidence to comply with Discover Reform guidelines.

A No RFP Justification Statement is attached.

This is the first time RPD has received this grant.

Respectfully submitted,

Malik D. Evans
Mayor



NO RFP JUSTIFICATION STATEMENT

Awarding a Professional Services Agreement Without a Request for Proposals

The Procurement of Professional Services Policy (Ord. No. 2012-318) requires an RFP to be issued under most circumstances. If it is determined that an RFP will not be issued, this form must be completed, signed by the Department Head, and kept on file (electronically or hard copy). It must also be submitted:

1. To City Council as an attachment to the transmittal letter for any PSA that exceeds \$10,000, and
2. To the contract record when entered in Munis.

Department: Rochester Police Department

Services(s): Installation of Body-Worn Camera (BWC) and Digital Evidence Management System (DEMS) equipment in Rochester Police Department fleet vehicles

Vendor/Consultant selected: Insight Public Sector, Inc.

How was the vendor selected? In September 2022, City Council authorized the City to contract with Insight Public Sector, Inc. to provide body-worn camera equipment and to design and implement a digital evidence management system for the Rochester Police Department.

Why was no RFP issued for this service?

(Your rationale should include the following information when applicable)

- Is there **previous experience** with the vendor? Describe why it is in the City's best interest to continue with them and not solicit others.

Yes, Insight is currently under contact with the City working on the BWC/DEMS project. Insight is principle partner responsible for the design, implementation, and support of the Department's new program which will join iPro body-worn camera hardware with Genetec digital-evidence management software. As the City's principle partner, Insight is acutely aware of program specifics, technology requirements, and implementation deadlines.

- Are there unique or **emergency circumstances**? Describe how an RFP process would jeopardize the success of the project.

Equipment installs (in fleet vehicles) must be completed prior to switching to the new program. An RFP process would adversely impact the overall BWC/DEMS project timeline and put the Department's existing program further at risk. The current camera stock is out of warranty coverage and no longer supported.

- Is the service **specialized and unique**? Is the number of **qualified providers limited**? Describe the Department's experience with and knowledge of the market and why an RFP would not produce additional qualified consultants.

To ensure program continuity during the switch over from the existing BWC technology, fleet vehicles will need the new hardware installed alongside the existing equipment. The hardware manufacturer (iPro) warranties require a

product-specific certification for installers. The iPro certification cost \$4,000 per installer. Insight personnel maintain this certification and are familiar with our vehicle set-ups after successfully implementing our pilot program. The additional time and cost associated with an RFP process would unnecessarily impact the ability to deliver an on-time and in-scope BWC/DEMS program changeover.

- Does the project include **multi-year State or Federal funding**? Explain why it is in the best interest of the project and the City to continue with the same consultant (e.g. where the design consultant on a project is retained for resident project representation services).

The project does not include multi-year State or Federal funding. This is a one-time equipment installation.

Compensation

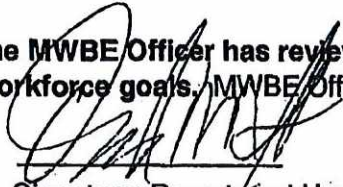
Amount: \$129,000

How was this determined? Explain how it is a reasonable and best value for the City.

The compensation amount was determined by Monroe County, who will reimburse costs of up to \$129,000 for the installation of new data cables and docking stations in our patrol cars to facilitate data transfer, thus offering greater efficiency in the accessibility and timeliness of needed video evidence.

The MWBE Officer has reviewed the proposed Agreement for MWBE and Workforce goals. MWBE Officer Initials: SMD

Date: 1/17/2023



Signature: Department Head

1/9/23

Date

Form date 1/7/1

Authorizing a grant agreement and professional services agreement relating to criminal justice discovery reform and installing cameras in police patrol vehicles

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into an agreement with the County of Monroe for the receipt and use of a Criminal Justice Discovery Reform Grant in the amount of \$129,000. The term of the agreement shall be April 1, 2022 through March 31, 2023.

Section 2. The Mayor is hereby authorized to enter into an agreement with Insight Public Sector, Inc. to install Body-Worn Camera equipment in all Rochester Police Department patrol vehicles. The maximum compensation for the agreement shall be \$129,000 which shall be funded from the proceeds of the grant agreement authorized in Section 1 herein. The term of the agreement shall extend from January 15, 2023 through March 31, 2023.

Section 3. The agreements authorized herein shall have such additional terms and conditions as the Mayor deems appropriate.

Section 4. This ordinance shall take effect immediately.



City of Rochester

City Hall Room 308A, 30 Church Street
Rochester, New York 14614-1290
www.cityofrochester.gov

**FINANCE
INTRODUCTORY NO.
62**

Malik D. Evans
Mayor

January 31, 2022

MAYOR 21

TO THE COUNCIL

Ladies and Gentlemen:

Re: Rochester Housing Authority & Financial Empowerment Center PSA

Council Priority: Jobs and Economic Development

Comprehensive Plan 2034 Initiative Area: Fostering Prosperity & Opportunity

Transmitted herewith for your approval is legislation related to the City's Financial Empowerment Center program. This legislation will:

Authorize an amendatory agreement with Rochester Housing Authority (Shawn Burr, Executive Director, 675 West Main Street, Rochester, NY 14611) to provide FEC clients transitioning from the Section 8 Rental Voucher to the Homeownership Program with \$1,000 grants. The original agreement, authorized in Ord. 2022-42, established maximum compensation of \$30,000 and a one-year term. This amendment will extend the contract to September 30, 2023.

Clients of the Financial Empowerment Center who attend three financial counseling sessions and close on a home through the Rochester Housing Authority's Homeownership Program receive \$1,000 grants to support their transition to homeownership. These individuals are able to utilize the Section 8 Voucher for their mortgage payments. In 2022, 6 individuals met the program's eligibility criteria and closed on their homes and received the \$1,000 grants. This program is funded through ESL.

Respectfully submitted,

Malik D. Evans
Mayor



62

Ordinance No.

Authorizing an amendatory agreement to relating to transitioning clients of the Financial Empowerment Center from the Section 8 Rental Voucher to the Homeownership Program

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The Mayor is hereby authorized to enter into an amendatory agreement with the Rochester Housing Authority to provide grants to Financial Empowerment Center clients transitioning from the Section 8 Rental Voucher to the Homeownership Program. The amendatory agreement shall extend the term of the original agreement authorized by Ordinance No. 2022-42 through September 30, 2023.

Section 2. The amendatory agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. This ordinance shall take effect immediately.



City of Rochester

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FINANCE INTRODUCTORY NO.

63

Malik D. Evans
Mayor

January 31, 2023 LIBRARY 22

TO THE COUNCIL

Ladies and Gentlemen:

Re: 2022-23 Budget Amendment – RASE Funding

Council Priority: Jobs and economic Development

Comprehensive Plan 2034 Initiative Area: Fostering
Prosperity & Opportunity

Transmitted herewith for your approval is legislation related to the use of the City's designated RASE implementation funding. This legislation will amend the 2022-23 Budget by transferring \$90,500 from Undistributed to the Library for RASE recommended personnel changes and professional services to support job access, MWBE businesses and making corrections in the library catalog.

One million dollars was set aside in the 2022-23 Budget of Undistributed to assist with implementation of RASE Commission recommendations. The RASE Report highlighted job accessibility as Key Issue #3. The Central Library Technology Center provides assistance related to job accessibility including helping with resumes and job applications, securing identification documents online, navigating government websites, and providing general instruction on the use of computers. This funding will help increase the number of hours that these services are available.

Additionally, RASE Report Business Development Key Issue #2 highlighted the importance of providing culturally competent mentorship and support that is proactive at reaching MWBE businesses and entrepreneurs where they currently are. The Central Library Business Center helps people interested in entering the cannabis marketplace. This RASE funding will increase accessibility to these services, especially as the application period for cannabis licensing is underway.

Lastly, the Library will be making corrections to subject headings in the catalog as recommended under RASE Report Education Key Issue #6 School Segregation and Integration. The current project has identified racist, ableist, and homophobic subject headings and made recommendations for changes.

Respectfully submitted,

Malik D. Evans
Mayor



63

Ordinance No.

Amending the 2022-23 Budget to fund the Rochester Public Library's implementation of recommendations set forth in the report of the Racial and Structural Equity (RASE) commission

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. Ordinance No. 2022-157, the 2022-23 Budget of the City of Rochester, as amended, is hereby further amended by increasing the revenue estimates and appropriations to the Budget of the Library by the sum of \$90,500, which amount is hereby appropriated from the Budget of Undistributed Expenses to fund the Library's implementation of programs that are consistent with the recommendations set forth in the report of the RASE commission.

Section 2. The Mayor is hereby authorized to execute such agreements, purchase orders or other documents as may be necessary to implement the RASE-related programs authorized to be funded herein. Such documents shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. This ordinance shall take effect immediately.



City of Rochester

City Hall Room 308A, 30 Church Street
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FINANCE INTRODUCTORY NO.

64

Malik D. Evans
Mayor

February 2023 LIBRARY 23

TO THE COUNCIL

Ladies and Gentlemen:

Re: Appointment and Reappointment—Rochester
Public Library Board of Trustees

Council Priority: Creating and Sustaining a Culture of
Vibrancy

Comprehensive Plan 2034 Initiative Area:
Reinforcing Strong Neighborhoods

Transmitted herewith for your approval is legislation confirming the appointment of James Kraus, Rochester, NY 14607, and the reappointment of Daniel Karin, Rochester, NY 14620 to the Rochester Public Library (RPL) Board of Trustees for five-year terms from January 1, 2023–December 31, 2027.

Mr. Kraus has agreed to serve on the Board and the Board's Nominating Committee is recommending his appointment.

Mr. Karin has served on the RPL Board since March 2016. He is currently on the Board's Nominating Committee and has most recently served as the Treasurer of the Board. The Board unanimously voted to recommend him for an additional five-year term at the November 2022 Board meeting.

Mr. Karin's resume and RPL Board meeting attendance records have been submitted to the City Clerk.

Respectfully submitted,

Malik D. Evans
Mayor



64

Resolution No.

Resolution approving appointments and reappointments to the Rochester Public Library Board of Trustees

BE IT RESOLVED, by the Council of the City of Rochester as follows:

Section 1. The Council hereby approves the appointment and reappointment of the following individuals to the Rochester Public Library Board of Trustees, each for a term which shall expire on December 31, 2027:

Name	Address
James Kraus	27 Gardiner Park, Rochester, NY 14607
Daniel Karin	191 Highland Parkway, Rochester, NY 14620

Section 2. This resolution shall take effect immediately.



January 31, 2023 FINANCE 24

TO THE COUNCIL

Ladies and Gentlemen:

Re: Firefighters' Insurance Fund

Transmitted herewith for your approval is legislation authorizing expenditures from the Firefighters' Insurance Fund ("Two Percent Fund") as per the Settlement Agreement between the Rochester Firefighters, Inc., Local 1071, IAFF, AFL-CIO and the City of Rochester dated August 7, 2012. The legislation will:

1. Appropriate a total of \$471,450 from the Firefighters Insurance Fund at the request of the Rochester Firefighters Two Percent Committee ("TPC") to benefit City firefighters.
2. Appropriate a total of \$213,421.57 from the Firefighters' Insurance Fund for uses nominated by the City to benefit City firefighters.

The Firefighters' Insurance Fund is the City Fund established to collect and distribute monies received from the State pursuant to Sections 9104 and 9105 of the Insurance Law, and is under the custody of the City Treasurer.

Ordinance No. 2012-313 authorized the settlement agreement resulting from litigation brought by Rochester Firefighters Local 1071. These funds must be used in a manner that is consistent with the Court Order and with the provisions of Insurance Law Sections 9104 and 9105. Fund expenditures must be for the benefit of firefighters as provided in statutory law, case law, administrative rules and regulations, and the New York State Comptroller's Opinions.

In accordance with the Settlement Agreement the firefighters have formed a not-for-profit corporation named the Rochester Firefighters Two Percent Committee ("TPC") to be the firefighters' representative for purposes of the Fund. Items to be paid from the Fund may be nominated by the firefighters or by the City.

The following are firefighter nominated items submitted by the TPC to be appropriated from the Firefighters' Insurance Fund.

- 1) Fire house items set forth in Section 1G of the original agreement (\$120,000).
- 2) Legal and Accounting expenses (\$47,000).
- 3) Fire house cable and internet expenses (\$55,000).
- 4) RFBA Firefighters Ball (\$20,000).
- 5) Building Expenses (\$150,000).
- 6) Demand Account expenses (\$77,000)
- 7) Audit of the Two Percent Fund held by the City of Rochester and the Two Percent Committee (\$2,450).



The following are City nominated items submitted by the TPC to be appropriated from the Firefighters' Insurance fund:

- 1) Snow plow services for apparatus bay driveways at firehouses (\$50,310).
- 2) Linen and laundry expense (\$80,000).
- 3) Small equipment and minor firehouse renovations (\$77,000).
- 4) Turn out gear storage bags (\$5,061.57)
- 5) Audit of the Two Percent Fund held by the City of Rochester and the Two Percent Committee (\$1,050).

The City of Rochester has engaged Freed Maxick to conduct an audit of the Two Percent Fund held by the City of Rochester and the Two Percent Committee ("TPC"). The cost of the audit is estimated at \$3,500, of which the City will pay 30% and the Two Percent Committee ("TPC") will pay 70% of the auditing fee, as per Section 1J of the agreement. The cost of the audit will be funded from the respective Two Percent Fund accounts controlled by the City of Rochester.

Respectfully submitted,



Malik D. Evans
Mayor

Appropriating Firefighters' Insurance Funds

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The following funds are hereby appropriated from the Firefighters' Insurance Fund ("Two Percent Fund") for the following purposes to benefit the firefighters of the City in accordance with the terms of the settlement agreement with Rochester Firefighters Local 1071 dated August 7, 2012 ("Agreement") that was authorized in Ordinance No. 2012-313:

- A. Firefighter Nominated Items. A total of \$471,450 at the request of the Rochester Firefighters Two Percent Committee ("TPC") as follows:
- 1) Firehouse items set forth in Section 1G of the Agreement (\$120,000);
 - 2) Legal and accounting expenses (\$47,000);
 - 3) Firehouse cable and internet expenses (\$55,000);
 - 4) Rochester Firefighters' Benevolent Association Firefighters Ball (\$20,000);
 - 5) Building Expenses (\$150,000);
 - 6) Demand Account expenses (\$77,000); and
 - 7) Audit of the Two Percent Fund held by the City of Rochester and the TPC (\$2,450).
- B. City Nominated Items. A total of \$213,421.57 for uses nominated by the City of Rochester as follows:
- 1) Snow plow services for apparatus bay driveways at firehouses (\$50,310);
 - 2) Linen and laundry expense (\$80,000);
 - 3) Small equipment and minor firehouse renovations (\$77,000);
 - 4) Turn out gear storage bags (\$5,061.57) and
 - 5) Audit of the Two Percent Fund held by the City of Rochester and the TPC (\$1,050).

Section 2. This ordinance shall take effect immediately.



**City of Rochester, NY
Rochester City Council**

City Hall Room 301A • 30 Church Street • Rochester, New York 14614-1290

**FINANCE
INTRODUCTORY NO.**
66

Miguel A. Meléndez, Jr. Council President, Councilmember At-Large
Mitch Gruber Finance Chair, Councilmember At-Large

January 31, 2023

TO THE COUNCIL

Ladies and Gentlemen:

Re: Agreement – _____ CPAs,
Auditing Services

Council Priority: Deficit reduction and long term
financial stability

Transmitted herewith for your approval is legislation establishing an agreement with
_____ for auditing services.

Auditing services will be provided to the City of Rochester, Rochester Land Bank and the Library.
The contract will be 3 years with an option of two 1-year extensions.

_____ was selected through a request for proposal process and the summary
is attached.

Respectfully submitted,

Miguel A. Meléndez, Jr.
President
Councilmember At-Large

Mitch Gruber, PhD
Chair, Finance Committee
Councilmember At-Large

INTRODUCTORY NO.

Council 02

66

Ordinance No.

Authorizing an agreement for auditing services

BE IT ORDAINED, by the Council of the City of Rochester as follows:

Section 1. The sum of \$_____ is hereby established as the maximum compensation for a professional services agreement with _____ to provide auditing services to the City of Rochester and for special audits and/or services requested by the City. The agreement shall have a term of three years, with the option to extend for up to two one-year periods. The agreement shall be funded in the amount of \$_____ from the 2022-23 Budget of _____ and from subsequent Budgets of the City of Rochester, contingent upon the adoption of subsequent budgets.

Section 2. The Agreement shall contain such additional terms and conditions as the Mayor deems appropriate.

Section 3. This ordinance shall take effect immediately.